



## FAIRFIELD AT MURPHY RANCH MILPITAS, CALIFORNIA

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**OWNERS/DEVELOPERS**

FAIRFIELD RESIDENTIAL  
5510 MOREHOUSE DRIVE, SUITE 200  
SAN DIEGO, CA 92121  
(858) 457-2123

**CIVIL ENGINEER**

CARLSON, BARBEE & GIBSON, INC.  
6111 BOLLINGER CANYON ROAD, SUITE 150  
SAN RAMON, CA 94583  
(925) 866-0322

**LANDSCAPE ARCHITECT**

IMA DESIGN  
2500 MICHELSON DRIVE, SUITE 125  
IRVINE, CA 92612  
(949) 250-0023

**ARCHITECTS**

WOODLEY ARCHITECTURAL GROUP, INC.  
9137 S. RIDGELINE BLVD, SUITE 120  
HIGHLANDS RANCH, CO 81029  
(303) 683-7231

ARCHITECTS ORANGE  
144 NORTH ORANGE STREET  
ORANGE, CA 92866  
(714) 639-9860

**RECEIVED**

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CITY OF MILPITAS  
PLANNING DIVISION

**PRINTED**

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CARLSON, BARBEE  
& GIBSON, INC.

JUNE 27, 2007



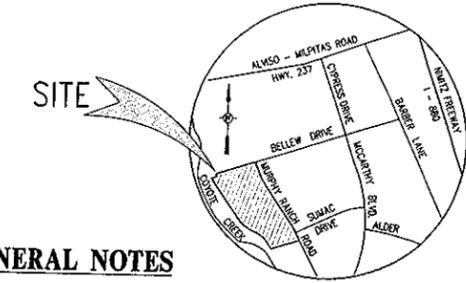
WOODLEY  
ARCHITECTURAL  
GROUP, INC.



**MURPHY RANCH**  
**PLANNED DEVELOPMENT**  
MILPITAS, CALIFORNIA



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& Gibson, Inc.**  
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**GENERAL NOTES**

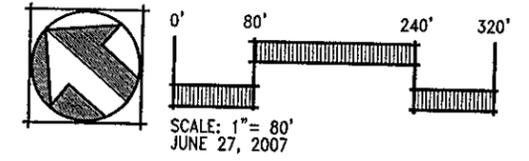
- ASSESSORS PARCEL NO: 086-01-041  
086-01-042
- SITE ADDRESS: SOUTHWEST PARCEL AT THE INTERSECTION OF TECHNOLOGY DRIVE AND MURPHY RANCH ROAD
- SITE AREA: 21.73 ACRES
- EXISTING ZONING: MP (INDUSTRIAL PARK)  
PROPOSED ZONING: PD
- EXISTING USE: VACANT  
PROPOSED USE: MULTI-FAMILY RESIDENTIAL
- MINIMUM LOT SIZE: 7.584 AC (LOT 1)  
(330,200 SF)
- REFERENCE BENCHMARK: A BRASS DISK IN MONUMENT WELL AT THE INTERSECTION OF BELLEW DRIVE AND MCCARTHY BOULEVARD. ELEVATION = 19.016 (NGVD 29)
- EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN BOUNDARY TO BE REMOVED.
- STREETS: ALL STREETS WITHIN THE SUBDIVISION WILL BE PRIVATE STREETS AND WILL BE PRIVATELY MAINTAINED. ALL STREETS WILL BE WITHIN P.S.U.E.'S (MINIMUM LONGITUDINAL SLOPE = 0.5%). ACCESS EASEMENTS WILL BE PROVIDED FOR BOTH PROPERTIES.
- STREET TREES: STREET TREES SHALL BE PROVIDED AS REQUIRED BY THE CITY AND WILL BE PRIVATELY MAINTAINED.
- STREET LIGHTS: STREET LIGHTS ON PRIVATE STREETS WILL BE PRIVATELY MAINTAINED.
- WALLS: ALL WALLS WILL BE PRIVATE FACILITIES AND PRIVATELY MAINTAINED.
- STORM DRAIN: PROPOSED STORM DRAIN FACILITIES WILL BE PRIVATE FACILITIES AND WILL BE PRIVATELY MAINTAINED, EXCEPT AS NOTED.
- PUBLIC UTILITIES: PROPOSED STORM DRAIN, WATER AND SANITARY SEWER FACILITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND WATER FACILITIES WITHIN STREETS A, B, C AND D WILL BE CONSTRUCTED AS PER CITY OF MILPITAS STANDARDS AND DEDICATED TO CITY.
- PRIVATE UTILITIES: PROPOSED SANITARY SEWER FACILITIES WITHIN THE SUBDIVISION AND WATER FACILITIES WITHIN THE PRIVATE DRIVEWAYS WILL BE PRIVATELY MAINTAINED, EXCEPT AS NOTED.
- WELLS ONSITE: NONE
- WATER: CITY OF MILPITAS
- SEWER: CITY OF MILPITAS
- GAS & ELECTRIC: PG&E
- TELEPHONE: SBC
- CABLE TV: AT&T BROADBAND
- CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR LOT 1 AND LOT 2. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 659 UNITS.
- DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL PARCEL MAP.

**CONTACTS**

- OWNER/SUBDIVIDER: FAIRFIELD RESIDENTIAL  
5510 MOREHOUSE DRIVE, SUITE 200  
SAN DIEGO, CA 92121  
(858) 457-2123
- ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
6111 BOLLINGER CANYON ROAD, SUITE 150  
SAN RAMON, CA 94583  
(925) 866-0322  
JASON J. NERI

**VESTING TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



**cbg** Carlson, Barbee & Gibson, Inc.  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
6111 Bollinger Canyon Road, Suite 150 • San Ramon, CA 94583  
925-866-0322 • fax 925-866-8578  
www.cbgsd.com

SHEET NUMBER  
**TM-01**

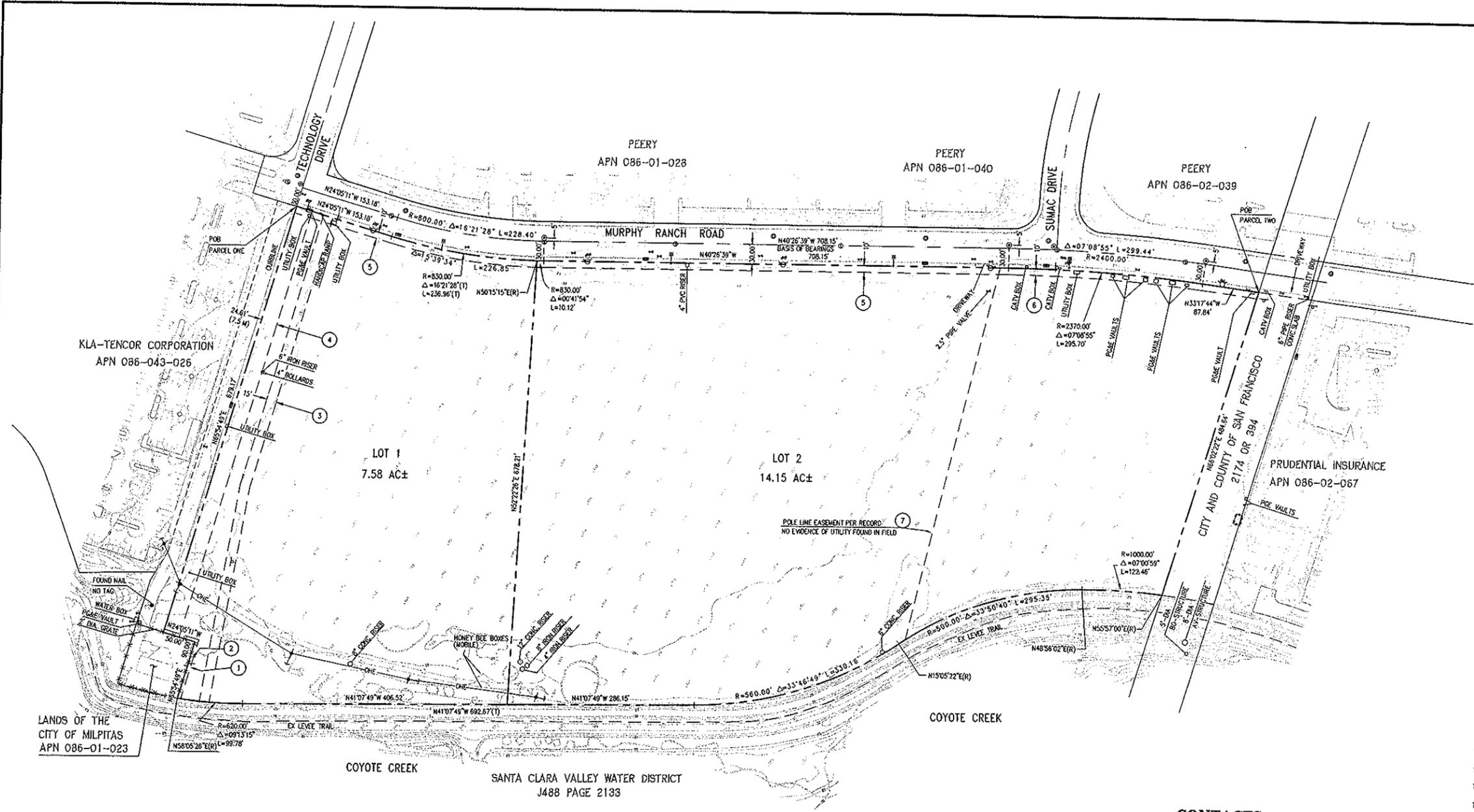
SCALE: 1" = 80'  
JUNE 27, 2007

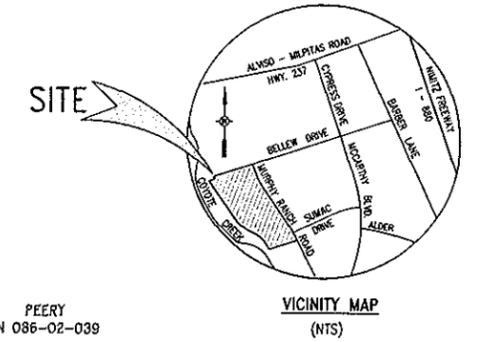
**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	PROPERTY LINE
x 100.0	x 100.0	SPOT ELEVATIONS
	E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT
	P.S.U.E.	PUBLIC SERVICES & UTILITY EASEMENT
	1	LOT NUMBER

**EXISTING EASEMENTS**

- AN EASEMENT FOR PUBLIC UTILITY, PUBLIC SERVICE AND INCIDENTAL PURPOSES, RECORDED JULY 26, 1996 AS INSTRUMENT NO. 13384433 IN BOOK 435, PAGE 0738 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF SAN JOSE.
- AN EASEMENT FOR UNDERGROUND GAS PIPE LINES AND INCIDENTAL PURPOSES, RECORDED PUBLIC UTILITY, PUBLIC SERVICE AND INCIDENTAL PURPOSES, RECORDED DECEMBER 31, 1954 AS BOOK 3048, PAGE 158 OF OFFICIAL RECORDS. IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION.
- AN EASEMENT FOR PIPELINE FOR CONVEYING GAS AND INCIDENTAL PURPOSES, RECORDED JUNE 23, 1944 AS BOOK 1200, PAGE 477 OF OFFICIAL RECORDS. IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION.  
NOTE THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RELOCATION AGREEMENT" RECORDED DECEMBER 22, 1994, AS INSTRUMENT NO. 12758084 IN BOOK 1709, PAGE 1840 OF OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITY, PUBLIC SERVICE AND INCIDENTAL PURPOSES, RECORDED JULY 26, 1996 AS INSTRUMENT NO.13384433 IN BOOK 435, PAGE 0738 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF SAN JOSE.
- AN EASEMENT FOR PUBLIC SERVICE UTILITY AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 30, 1986 AS INSTRUMENT NO.8963277 IN BOOK J863, PAGE 867 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF MILPITAS
- AN EASEMENT FOR PUBLIC SERVICES AND INCIDENTAL PURPOSES, RECORDED AUGUST 4, 1983 AS INSTRUMENT NO.7770101 IN BOOK H780, PAGE 57 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF MILPITAS
- AN EASEMENT FOR A SINGLE LINE OF POLES AND WIRES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 3, 1950 AS BOOK 2089, PAGE 120 OF OFFICIAL RECORDS. IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION





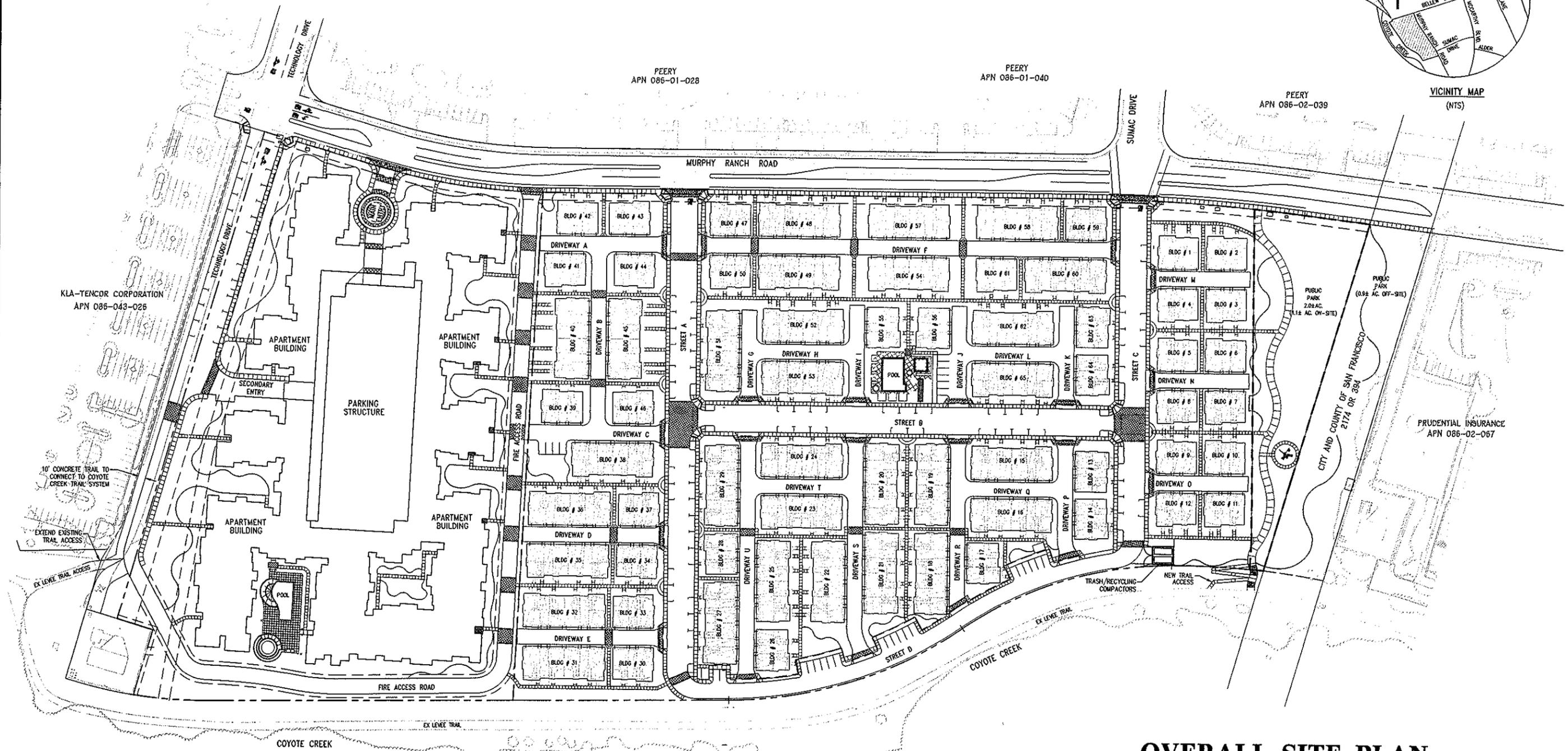
PEERY  
APN 086-01-028

PEERY  
APN 086-01-040

PEERY  
APN 086-02-039

KLA-TENCOR CORPORATION  
APN 086-043-028

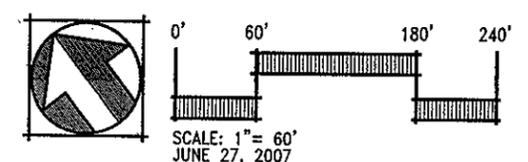
VICINITY MAP  
(NTS)



SANTA CLARA VALLEY WATER DISTRICT  
J488 PAGE 2133

# OVERALL SITE PLAN MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA



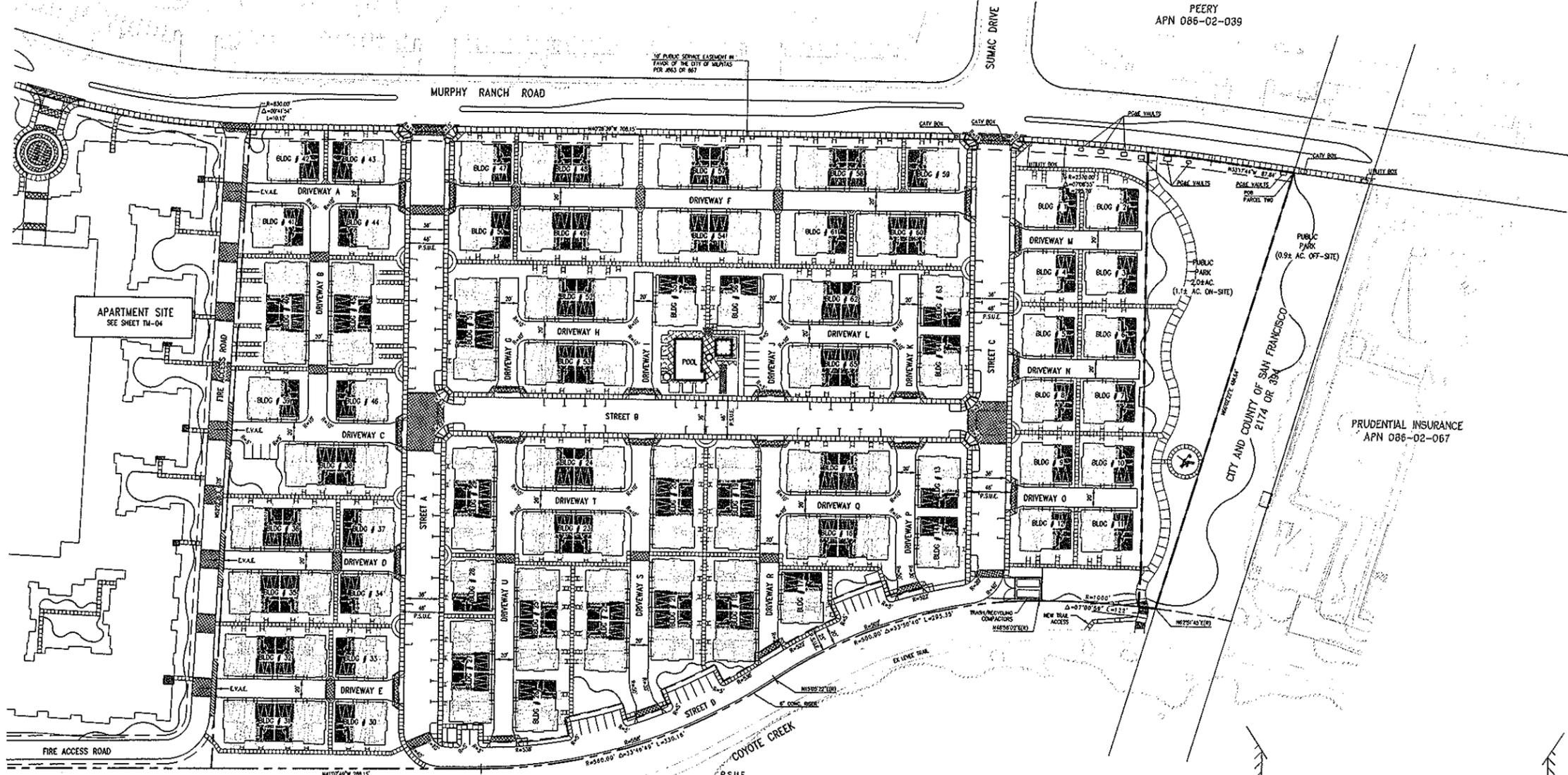
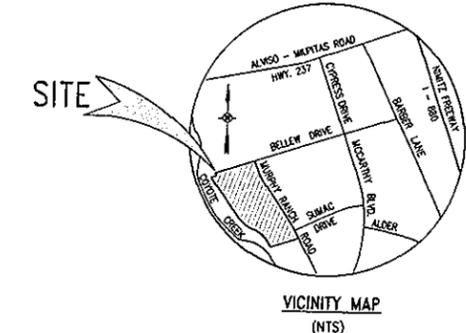
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SHEET NUMBER  
**TM-02**

PEERY  
APN 086-01-028

PEERY  
APN 086-01-040

PEERY  
APN 086-02-039



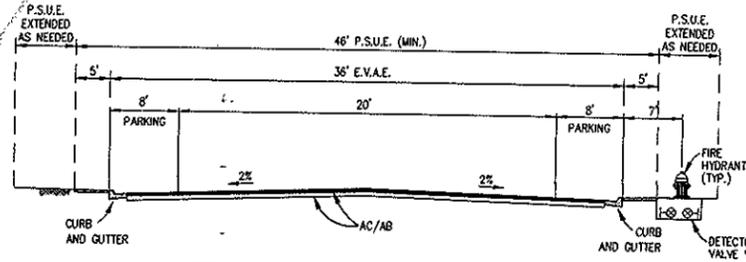
**GENERAL NOTES**

- OWNER/APPLICANT: FAIRFIELD RESIDENTIAL  
5510 MOREHOUSE DRIVE, SUITE 200  
SAN DIEGO, CA 92121  
(858) 457-2123
- ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
6111 BOLLINGER CANYON ROAD, SUITE 150  
SAN RAMON, CA 94583  
(925) 866-0322  
JASON NERI, RCE 59136
- SOILS ENGINEER: TREADWELL & ROLLO, INC.  
501 14TH STREET, THIRD FLOOR  
OAKLAND, CA 94612  
(510) 874-4500
- TOPOGRAPHIC SOURCE: AERIAL TOPOGRAPHY COMPILED BY:  
AEROMETRIC SURVEYS  
915 CLAREMONT STREET  
SAN MATEO, CA 94402
- ASSESSORS PARCEL NO: 086-01-042
- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
- TOTAL SITE AREA: 14.15± AC
- TOTAL NUMBER OF UNITS: 285 UNITS
- DENSITY: 20.1 UNITS/AC
- PARKING: RESIDENT (GARAGE) 570 STALLS  
GUEST 86 STALLS  
TOTAL 656 STALLS
- EXISTING ZONING: MP
- PROPOSED ZONING: PD
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
- TELEPHONE: SBC
- WATER: CITY OF MILPITAS
- SEWER: CITY OF MILPITAS
- STORM DRAIN: CITY OF MILPITAS
- FLOOD ZONE: ZONED X - DEPTH OF LESS THAN 1'  
REFER TO:  
FLOOD INSURANCE RATE MAP  
PANEL 060344-0003 G (JUNE 22, 1998)
- TOTAL IMPERVIOUS SURFACE: 10.35± AC
- ACCESSIBLE UNITS: 10% OF THE TOTAL UNITS WITHIN 6-UNIT BUILDINGS ARE REQUIRED TO BE ACCESSIBLE (18 UNITS). ALL UNITS AVAILABLE TO BE ACCESSIBLE ARE SHOWN (SEE LEGEND)

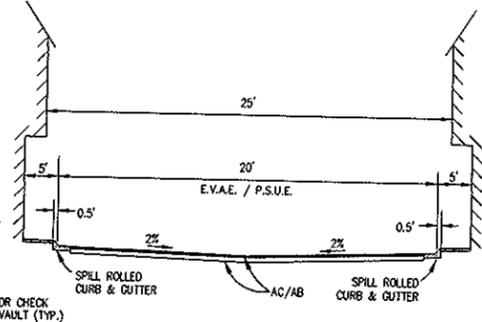
**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	CURB, GUTTER AND SIDEWALK
---	---	CENTERLINE
•	•	SPOT ELEVATIONS
H	H	WHEELCHAIR ACCESSIBLE SPACE
C	C	COMPACT PARKING STALLS
⊙	⊙	STREET LIGHT
P.S.U.E.	P.S.U.E.	PUBLIC SERVICES AND UTILITY EASEMENT
E.V.A.E.	E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT
■	■	ACCESSIBLE UNITS (SEE NOTE 2)

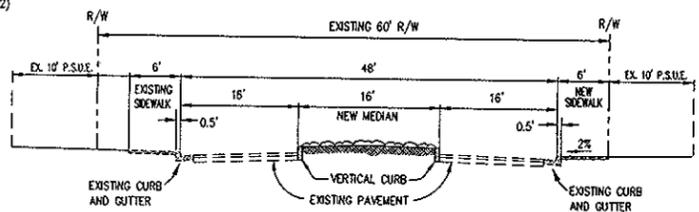
SANTA CLARA VALLEY WATER DISTRICT  
J488 PAGE 2133



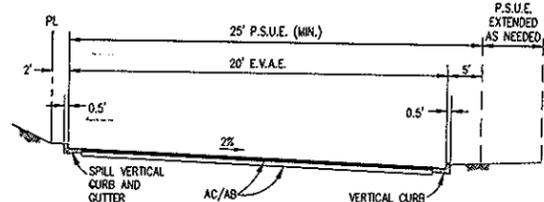
**TYPICAL 36' STREET SECTION**  
(STREET A/STREET B/STREET C)  
NOT TO SCALE



**TYPICAL DRIVEWAY SECTION**  
(ALL DRIVEWAYS)  
NOT TO SCALE



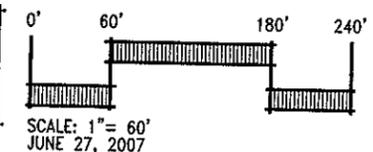
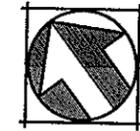
**TYPICAL MURPHY RANCH ROAD STREET SECTION**  
NOT TO SCALE



**TYPICAL 20' STREET SECTION**  
(STREET D)  
NOT TO SCALE

**TOWNHOME SITE PLAN  
MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



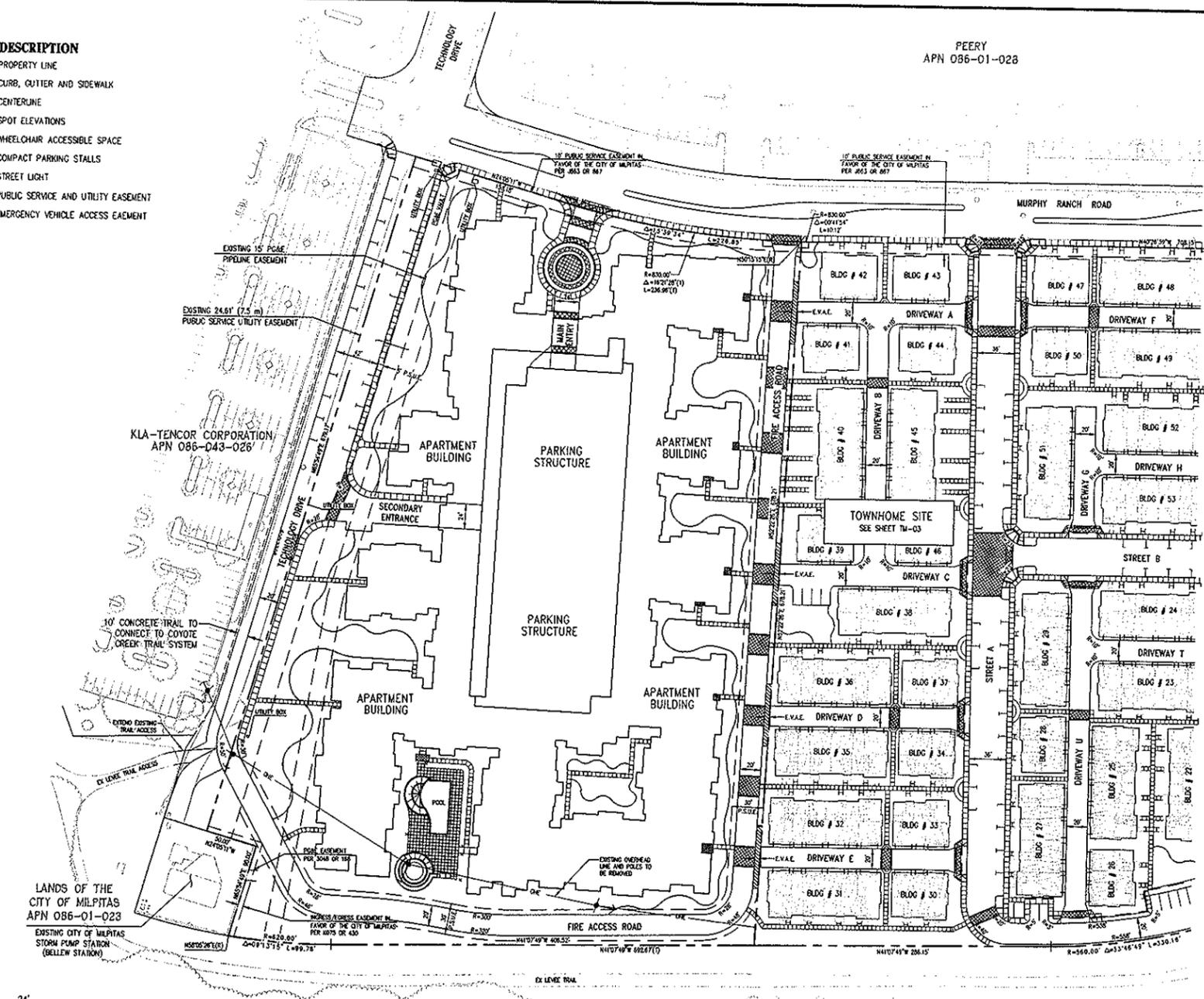
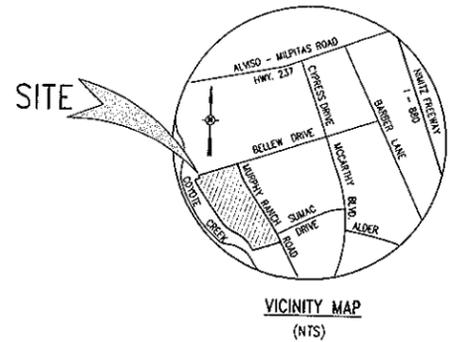
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925-866-0322 • fax 925-866-8375  
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SHEET NUMBER  
**TM-03**

**LEGEND:**

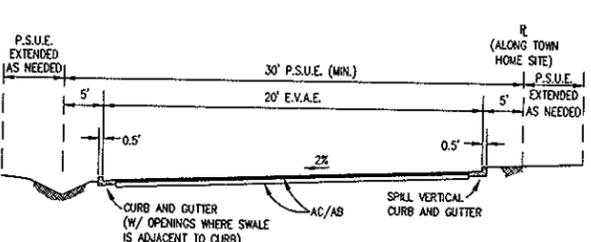
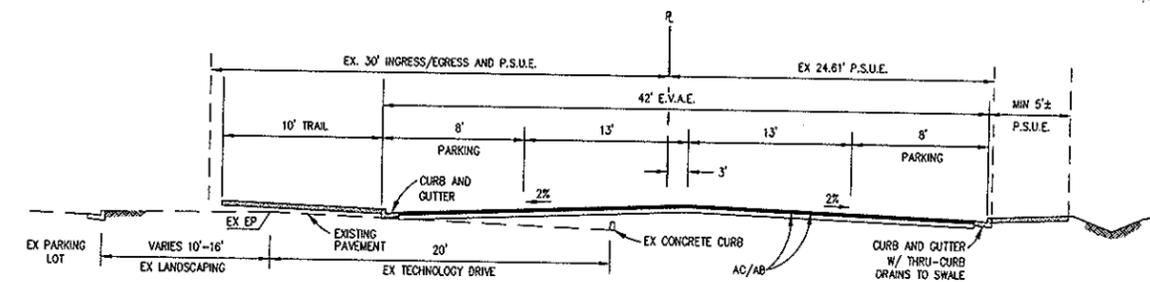
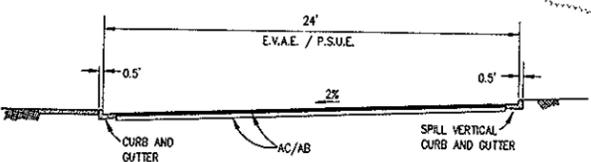
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		CURB, OUTER AND SIDEWALK
		CENTERLINE
		SPOT ELEVATIONS
		WHEELCHAIR ACCESSIBLE SPACE
		COMPACT PARKING STALLS
		STREET LIGHT
		PUBLIC SERVICE AND UTILITY EASEMENT
		EMERGENCY VEHICLE ACCESS EASEMENT

PEERY  
APN 086-01-028



**GENERAL NOTES**

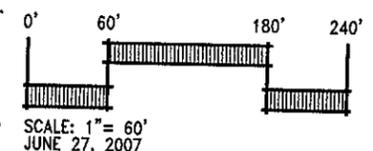
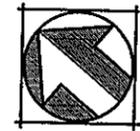
- OWNER/APPLICANT: FAIRFIELD RESIDENTIAL  
5510 MOREHOUSE DRIVE, SUITE 200  
SAN DIEGO, CA 92121  
(858) 457-2123
- ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
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- SOILS ENGINEER: TREADWELL & ROLLO, INC.  
501 14TH STREET, THIRD FLOOR  
OAKLAND, CA 94612  
(510) 874-4500
- TOPOGRAPHIC SOURCE: AERIAL TOPOGRAPHY COMPILED BY:  
AEROMETRIC SURVEYS  
915 CLAREMONT STREET  
SAN MATEO, CA 94402
- ASSESSORS PARCEL NO: 086-01-041
- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
- TOTAL SITE AREA: 7.58± AC
- TOTAL NUMBER OF UNITS: 374 UNITS
- DENSITY: 49.3 UNITS/AC
- PARKING: RESIDENT (GARAGE) 661 STALLS  
GUEST (GARAGE) 99 STALLS  
GUEST (STREET) 21 STALLS  
TOTAL 781 STALLS
- EXISTING ZONING: MP
- PROPOSED ZONING: PD
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
- TELEPHONE: SBC
- WATER: CITY OF MILPITAS
- SEWER: CITY OF MILPITAS
- STORM DRAIN: CITY OF MILPITAS
- FLOOD ZONE: ZONED X - DEPTH OF LESS THAN 1'  
REFER TO:  
FLOOD INSURANCE RATE MAP  
PANEL 060344-0003 G (JUNE 22, 1998)
- TOTAL IMPERVIOUS SURFACE: 4.95± AC



NOTE: THIS STREET SECTION IS SUBJECT TO APPROVAL BY ADJACENT PROPERTY OWNER

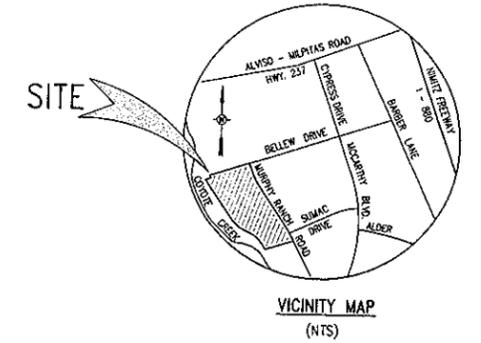
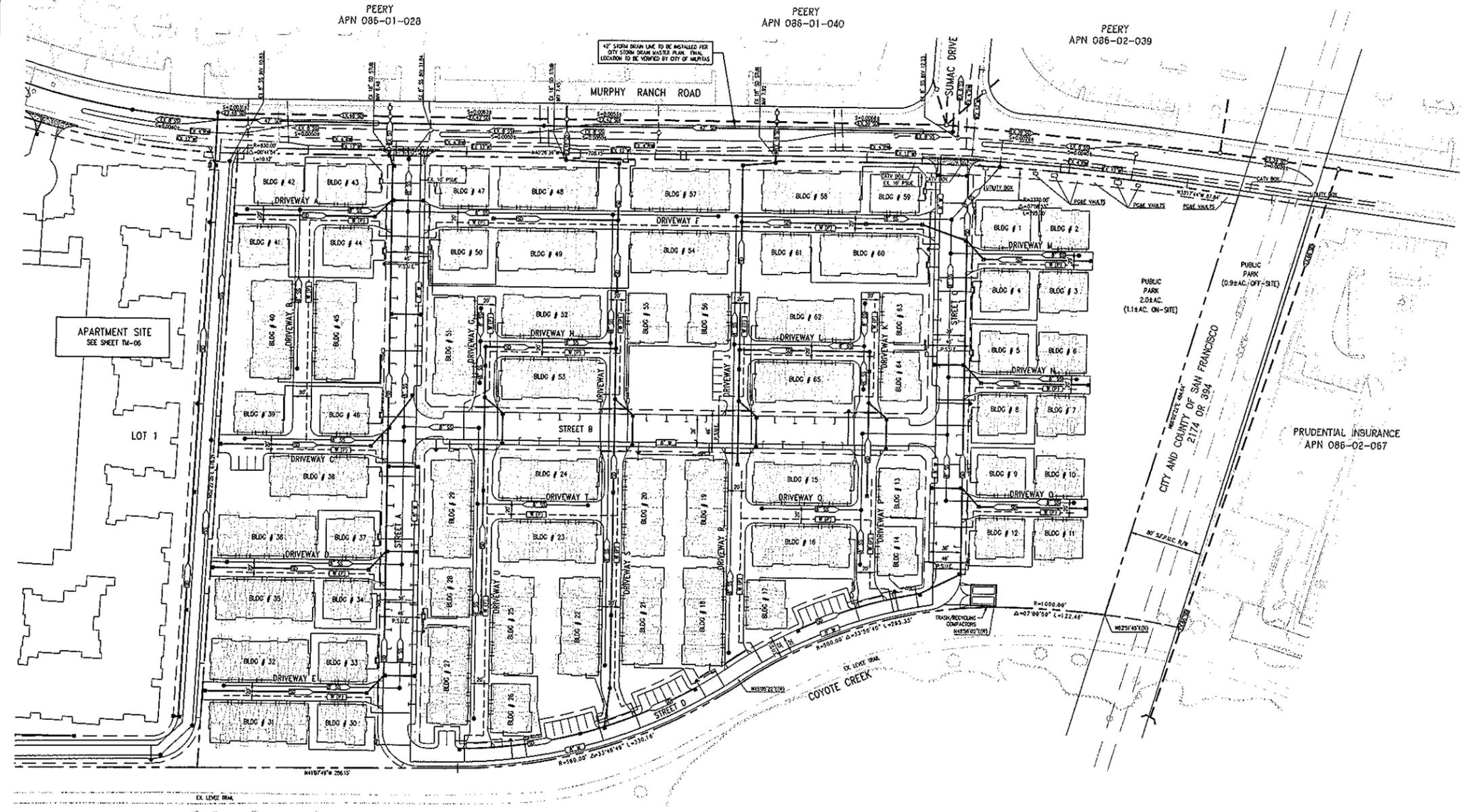
**APARTMENT SITE PLAN  
MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



**cbg** Carlson, Barbee & Gibson, Inc.  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
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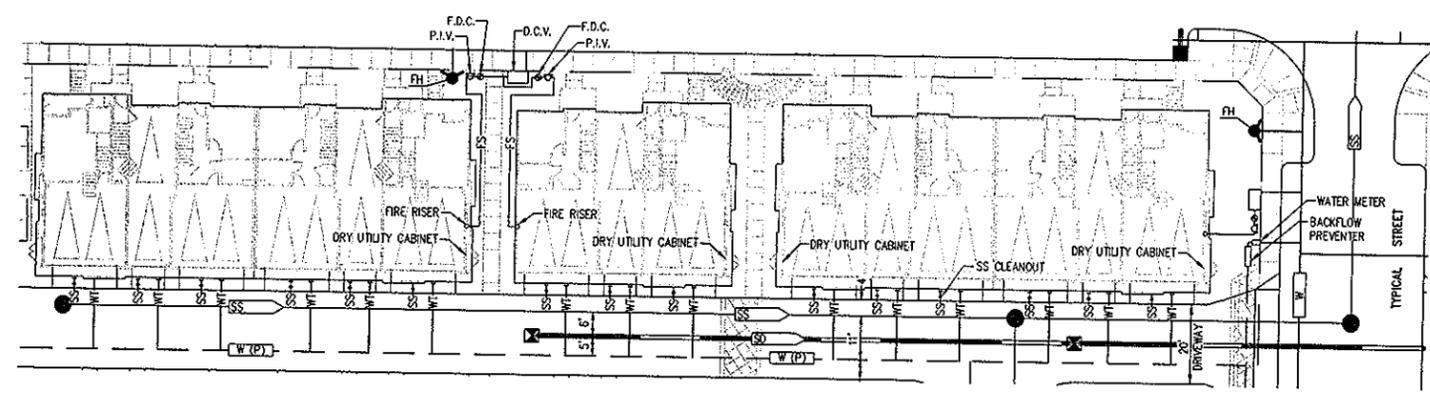
SHEET NUMBER  
**TM-04**



**LEGEND:**

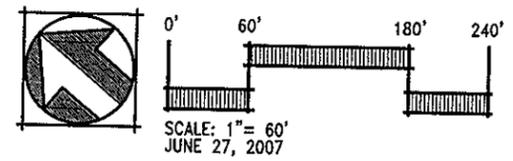
EXISTING	PROPOSED	DESCRIPTION
—EX-SS—	—SS—	SANITARY SEWER PIPE
—	●	SANITARY SEWER MANHOLE
—SS—	—SS—	SEWER SERVICE LATERAL
—EX-SD—	—SD—	STORM DRAIN PIPE
—	●	STORM DRAIN MANHOLE
—	■	CURB INLET
—	■	FIELD INLET
—EX-W—	—W—	WATER MAIN (PUBLIC)
—	—W(P)—	WATER MAIN (PRIVATE)
—	—WT—	WATER SERVICE
—	—FS—	FIRE SERVICE
—	●	FIRE HYDRANT
—	⊙	POST INDICATOR VALVE (P.I.V.)
—	□	DETECTOR CHECK VALVE (D.C.V.)
—	⊕	FIRE DEPARTMENT CONNECTION (F.D.C.)

SANTA CLARA VALLEY WATER DISTRICT  
J488 PAGE 2133



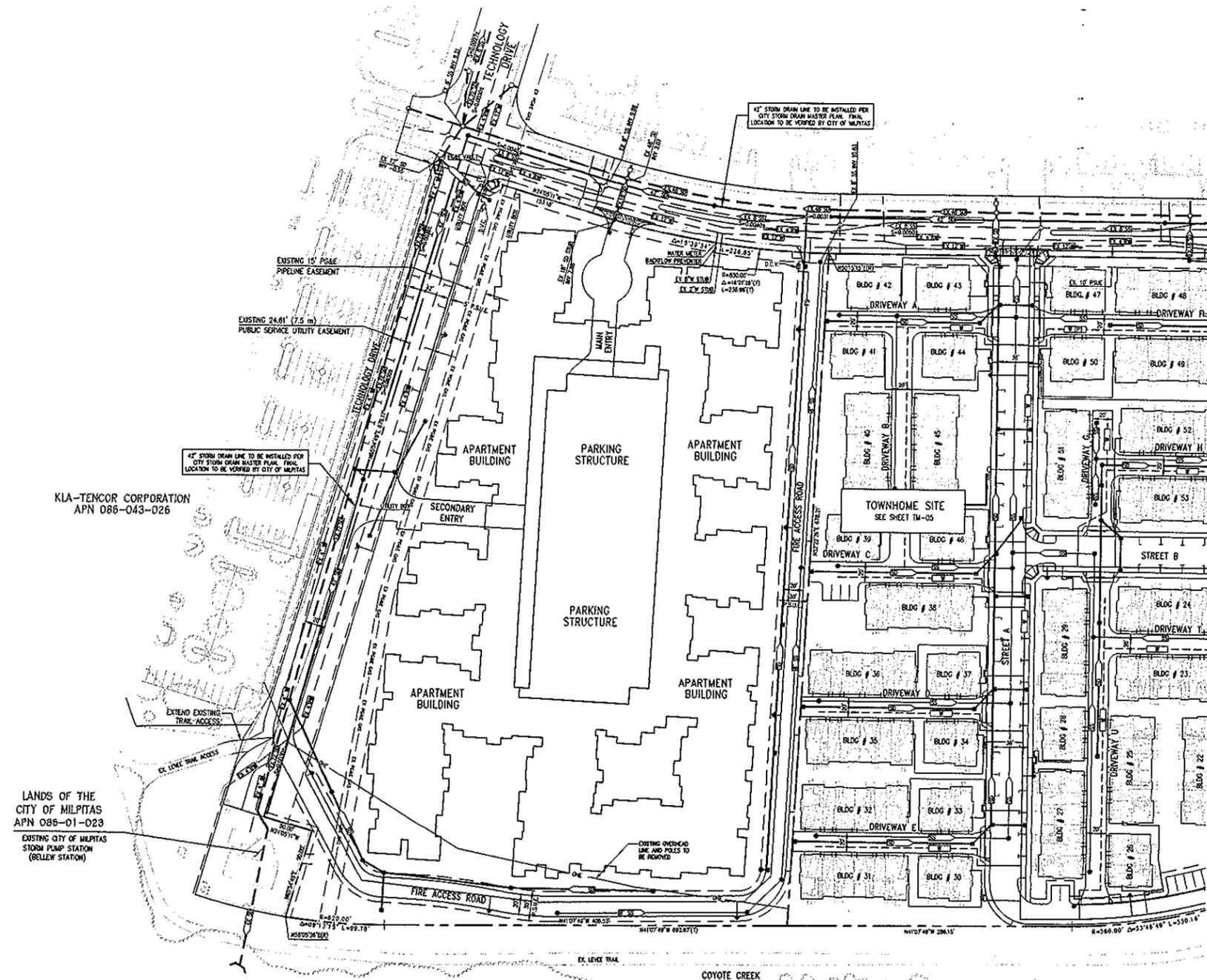
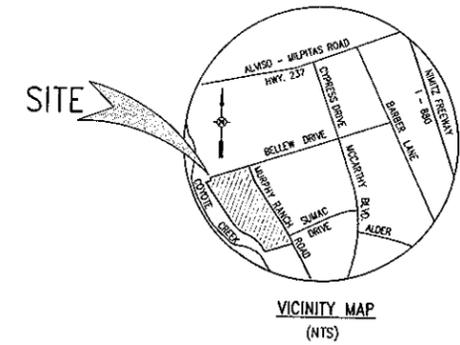
# PRELIMINARY UTILITY PLAN TOWNHOME SITE MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA



**cbg** Carlson, Barbee & Gibson, Inc.  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
8111 Bollinger Canyon Road, Suite 100 • San Ramon, CA 94583  
925-899-3222 • fax 925-899-6575  
www.cbgi.com

SHEET NUMBER  
**TM-05**

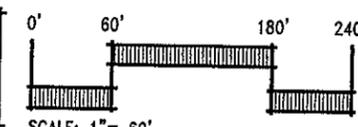


**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
—EXR-SS—	—SS—	SANITARY SEWER PIPE
○	●	SANITARY SEWER MANHOLE
—SS—	—SS—	SEWER SERVICE LATERAL
—EXR-SD—	—SD—	STORM DRAIN PIPE
○	●	STORM DRAIN MANHOLE
□	■	CURB INLET
□	■	FIELD INLET
—EX-R-W—	—W—	WATER MAIN
	—WT—	WATER SERVICE
	—FS—	FIRE SERVICE
	◀	FIRE HYDRANT

**PRELIMINARY  
UTILITY PLAN  
APARTMENT SITE  
MURPHY RANCH**

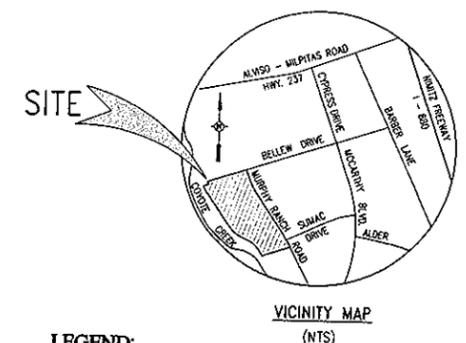
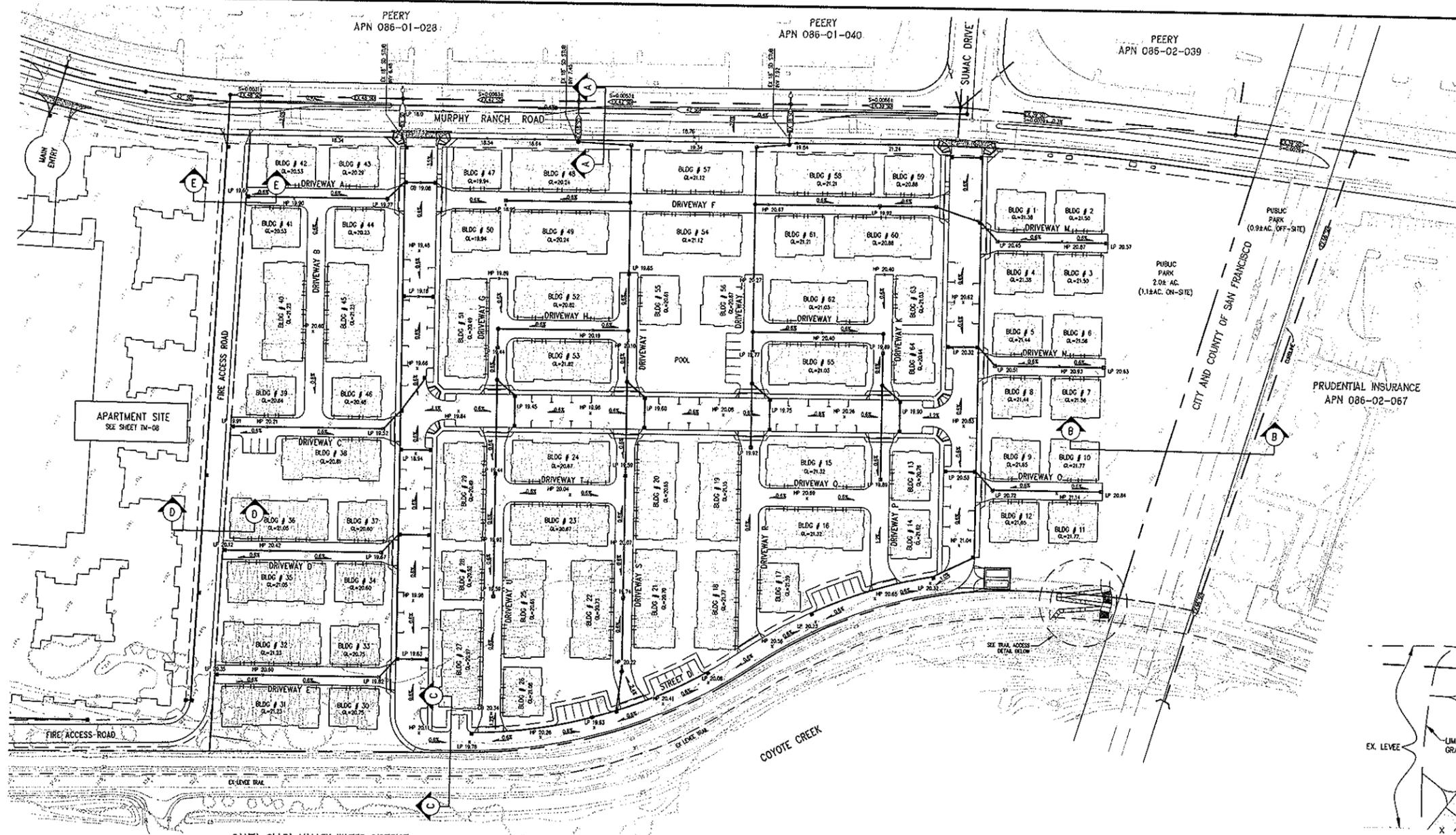
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



SCALE: 1" = 60'  
JUNE 27, 2007

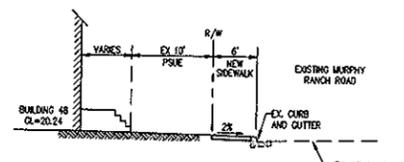
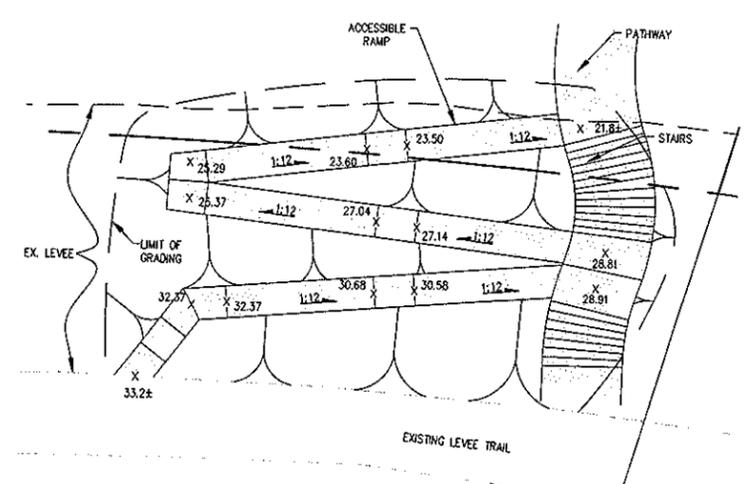
**cbg** Carlson, Barbee & Gibson, Inc.  
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0111 Bollinger Canyon Road, Suite 100 • San Ramon, CA 94583  
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SHEET NUMBER  
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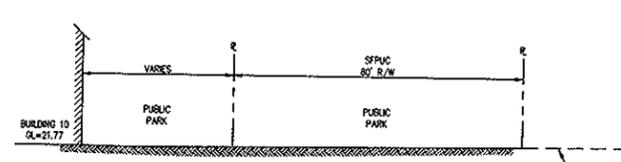


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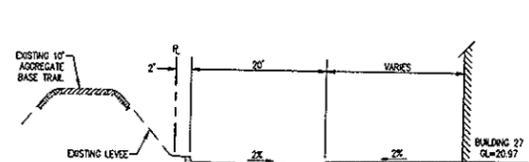
EXISTING	PROPOSED	DESCRIPTION
		STORM DRAIN PIPE
		STORM DRAIN MANHOLE
		CURB INLET
		FIELD INLET
		GARAGE LIP
		HIGH POINT
		LOW POINT



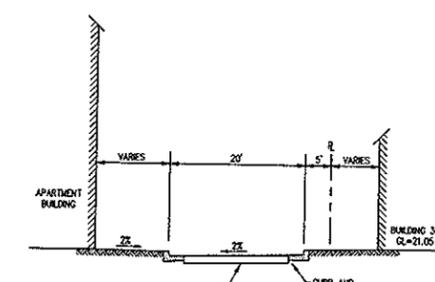
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NOT TO SCALE



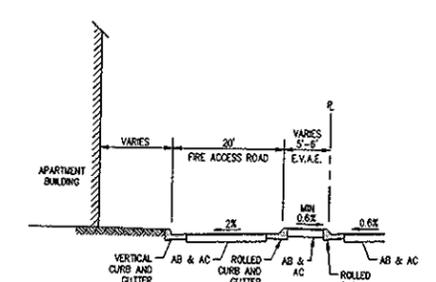
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NOT TO SCALE



**SECTION C-C**  
NOT TO SCALE



**SECTION D-D**  
NOT TO SCALE



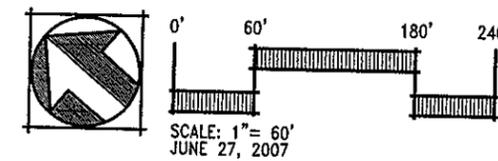
**SECTION E-E**  
NOT TO SCALE

# PRELIMINARY GRADING AND DRAINAGE PLAN

## TOWNHOME SITE

### MURPHY RANCH

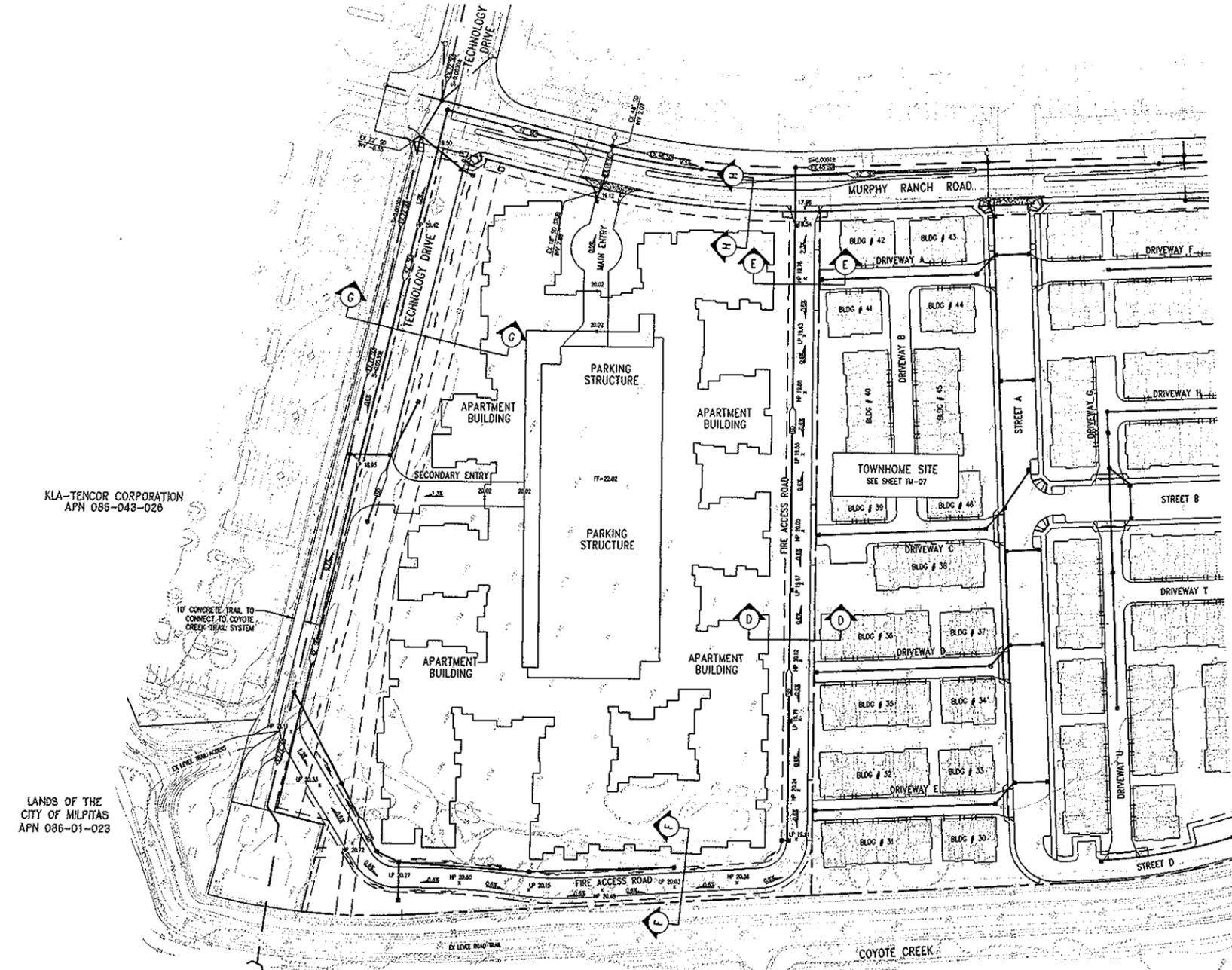
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



SCALE: 1" = 60'  
JUNE 27, 2007

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SHEET NUMBER  
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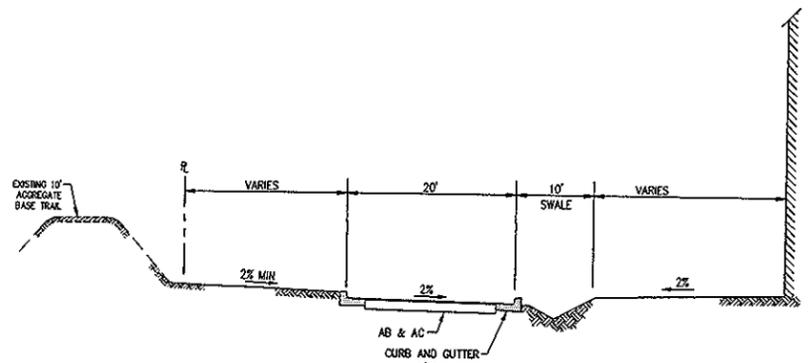
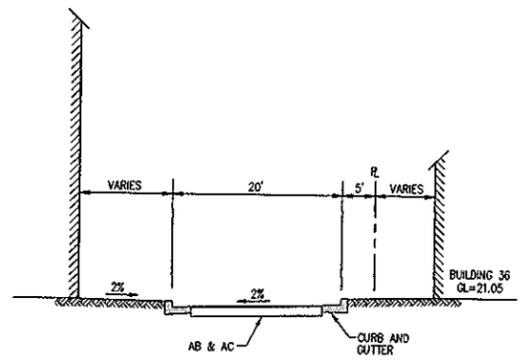
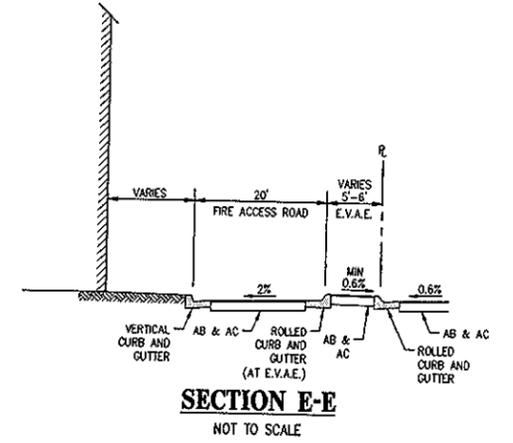
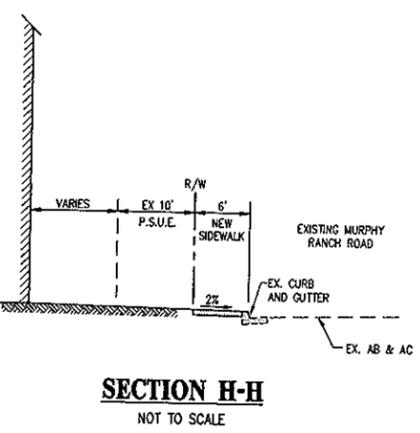
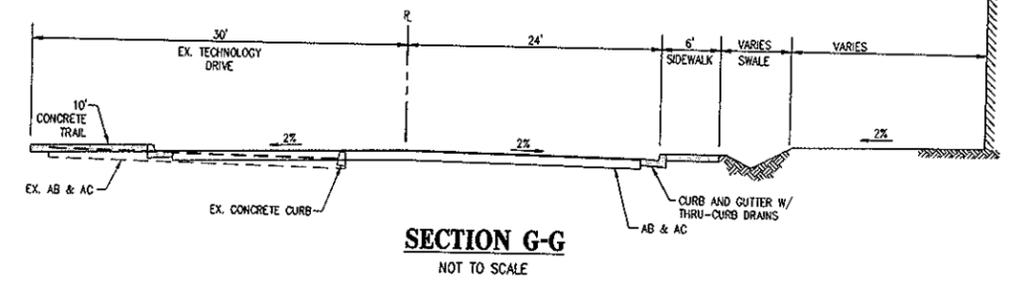
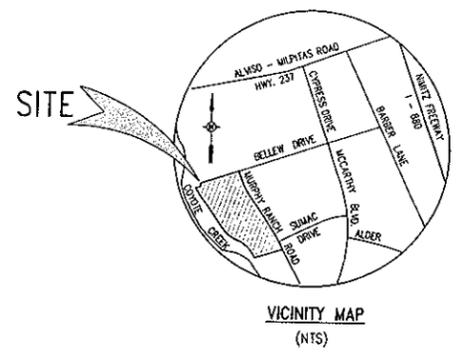


KLA-TENCOR CORPORATION  
APN 085-043-026

LANDS OF THE CITY OF MILPITAS  
APN 086-01-023

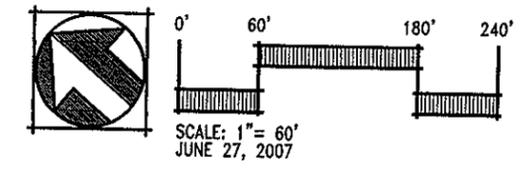
**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAIN PIPE
		STORM DRAIN MANHOLE
		CURB INLET
		FIELD INLET
		GARAGE LIP
		HIGH POINT
		LOW POINT
		SWALE



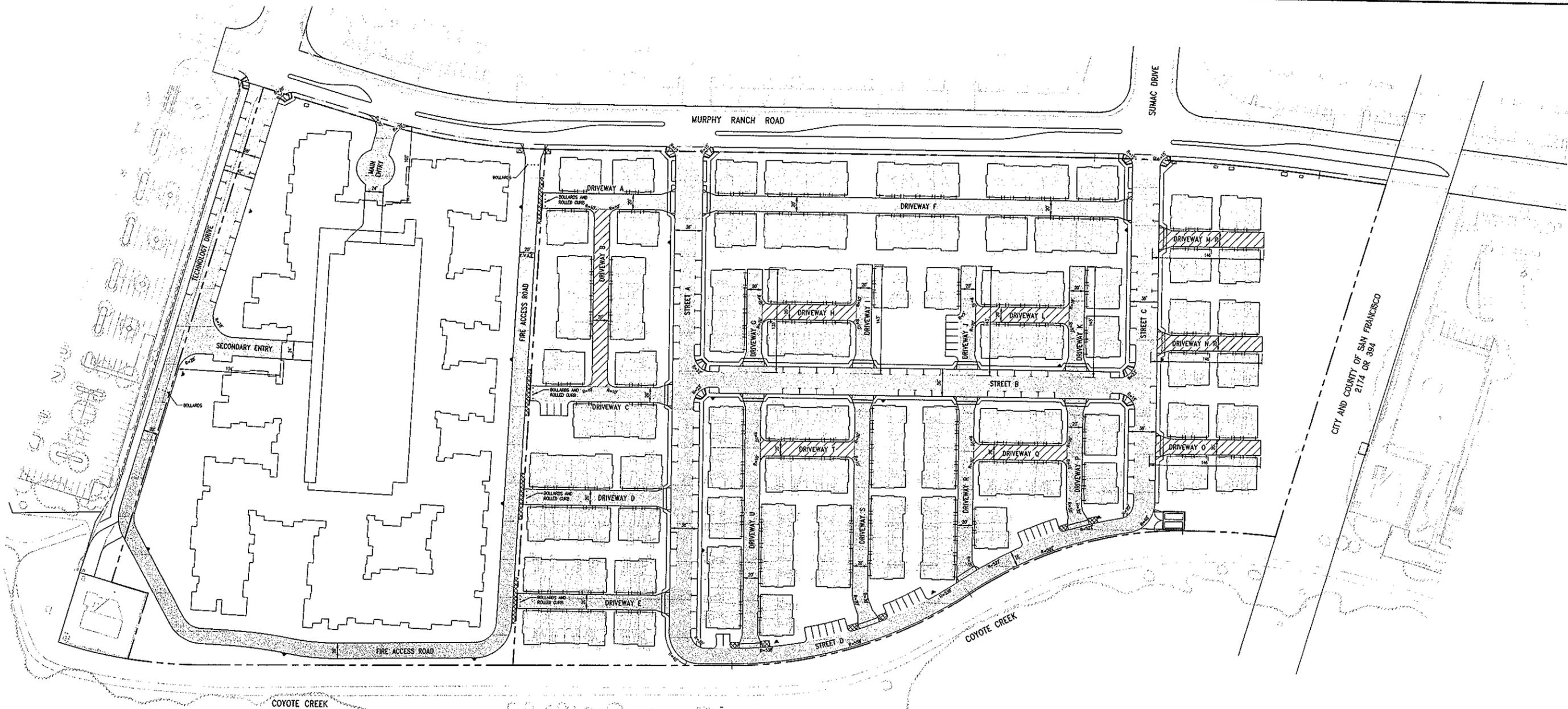
**PRELIMINARY  
GRADING AND DRAINAGE PLAN  
APARTMENT SITE  
MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



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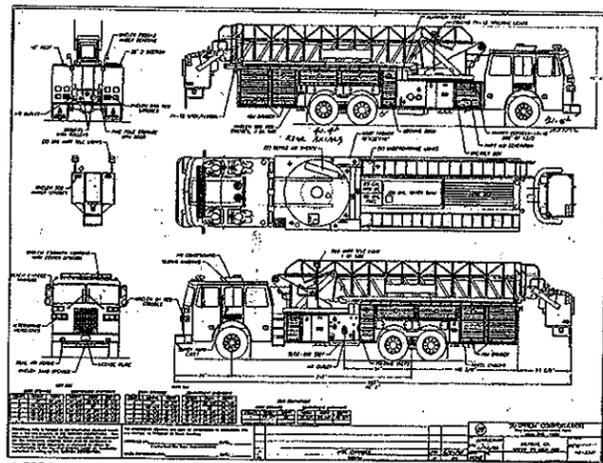
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**TM-08**



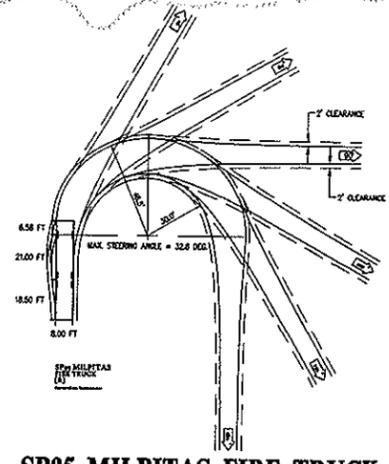
SANTA CLARA VALLEY WATER DISTRICT  
J488 PAGE 2133

# FIRE TRUCK ACCESS EXHIBIT (OVERALL SITE PLAN) MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA



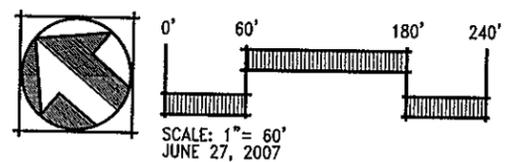
\* FIRE TRUCK DETAILS PROVIDED BY THE CITY OF MILPITAS FIRE DEPARTMENT



**SP95 MILPITAS FIRE TRUCK**  
NOT TO SCALE

NOTE: SEE SHEETS F-01 - F-06 FOR ALL TRUCK TURNING MOVEMENTS

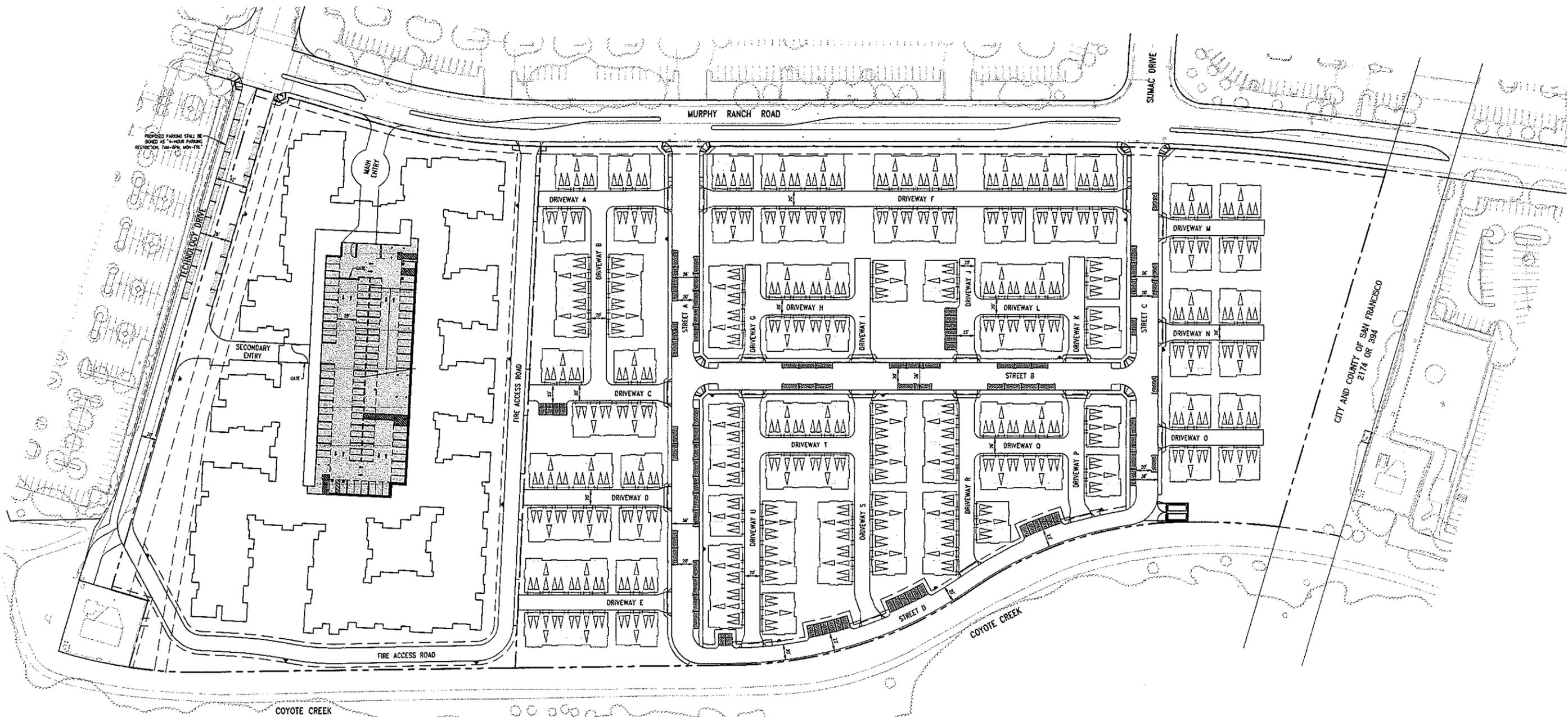
- LEGEND**
- FIRE APPARATUS ACCESS ROADS (PAVED)
  - ROADS INACCESSIBLE TO FIRE APPARATUS
  - E.V.A.E. (ROLLED CURB W/ TURF BLOCK)
  - FIRE HYDRANT



SCALE: 1" = 60'  
JUNE 27, 2007

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SHEET NUMBER  
**TM-09**

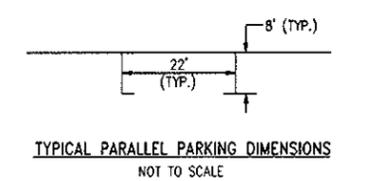
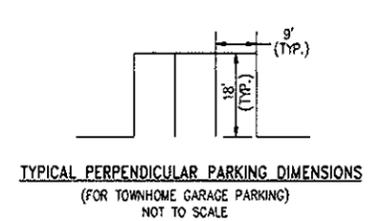
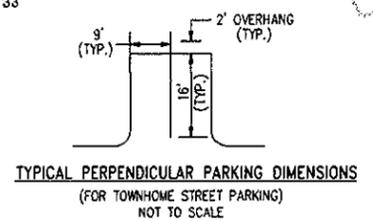


**PARKING SUMMARY**

<b>TOWNHOMES</b>	
RESIDENTIAL GARAGE PARKING (2 SPACES/UNIT)	570
ON-STREET GUEST PARKING (15% OF REQUIRED RESIDENTIAL PARKING)	86
<b>TOTAL</b>	<b>656</b>
<b>APARTMENTS</b>	
RESIDENTIAL GARAGE PARKING (1.5 SPACES/1 BD UNIT) (2.0 SPACES/2 AND 3 BD UNIT)	661
GUEST GARAGE PARKING (15% OF REQUIRED RESIDENTIAL PARKING)	99
ON-STREET GUEST PARKING	21
<b>TOTAL</b>	<b>781</b>

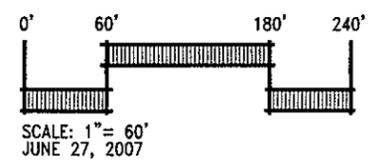
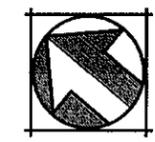
**LEGEND:**

- ON-STREET GUEST PARKING (TOWNHOMES)
- ON-STREET GUEST PARKING (APARTMENTS)
- RESIDENTIAL GARAGE PARKING (TOWNHOMES)
- RESIDENTIAL/GUEST GARAGE PARKING (APARTMENTS)  
SIGNAGE SHALL BE PROVIDED TO INDICATE WHICH STALLS ARE DESIGNATED FOR GUESTS



**PARKING PLAN**  
**MURPHY RANCH**

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA



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SHEET NUMBER  
**TM-10**

**CITY NOTES AND CONDITIONS**  
**MURPHY RANCH**

CITY OF MILPITAS

SANTA CLARA COUNTY

CALIFORNIA



**Carlson, Barbee  
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www.cbang.com

SHEET NUMBER

**TM-11**

MURPHY RANCH ROAD

MAIN ENTRY

BLDG # 42

DRIVEWAY A

BLDG # 41

DRIVEWAY B

BLDG # 40

FIRE ACCESS ROAD

BLDG # 39

DRIVEWAY C

SEE SHEET F-03

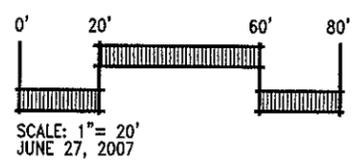
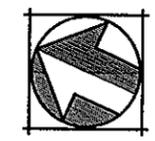
**LEGEND**

-  ROADS INACCESSIBLE TO FIRE APPARATUS
-  E.V.A.E. (ROLLED CURB W/ TURF BLOCK)
-  FIRE HYDRANT
-  DETECTOR CHECK VALVE
-  POST INDICATOR VALVE
-  FIRE DEPARTMENT CONNECTION
-  FIRE SERVICE AND RISER

SECONDARY ENTRY

## FIRE TRUCK ACCESS AND SERVICES EXHIBIT MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA





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www.cbgsd.com

SHEET NUMBER

F-01

SEE SHEET F-02

SEE SHEET F-01

BLDG # 36

DRIVEWAY D

BLDG # 35

BLDG # 32

DRIVEWAY E

SEE SHEET F-04

POOL

FIRE ACCESS ROAD

EX LEVEE/ROAD/TRAIL

COYOTE CREEK

TECHNOLOGY DRIVE

BOLLARDS

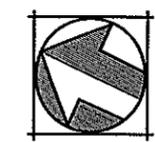
20'

# FIRE TRUCK ACCESS AND SERVICES EXHIBIT MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA

### LEGEND

-  ROADS INACCESSIBLE TO FIRE APPARATUS
-  E.V.A.E. (ROLLED CURB W/ TURF BLOCK)
-  FIRE HYDRANT
-  DETECTOR CHECK VALVE
-  POST INDICATOR VALVE
-  FIRE DEPARTMENT CONNECTION
-  FIRE SERVICE AND RISER

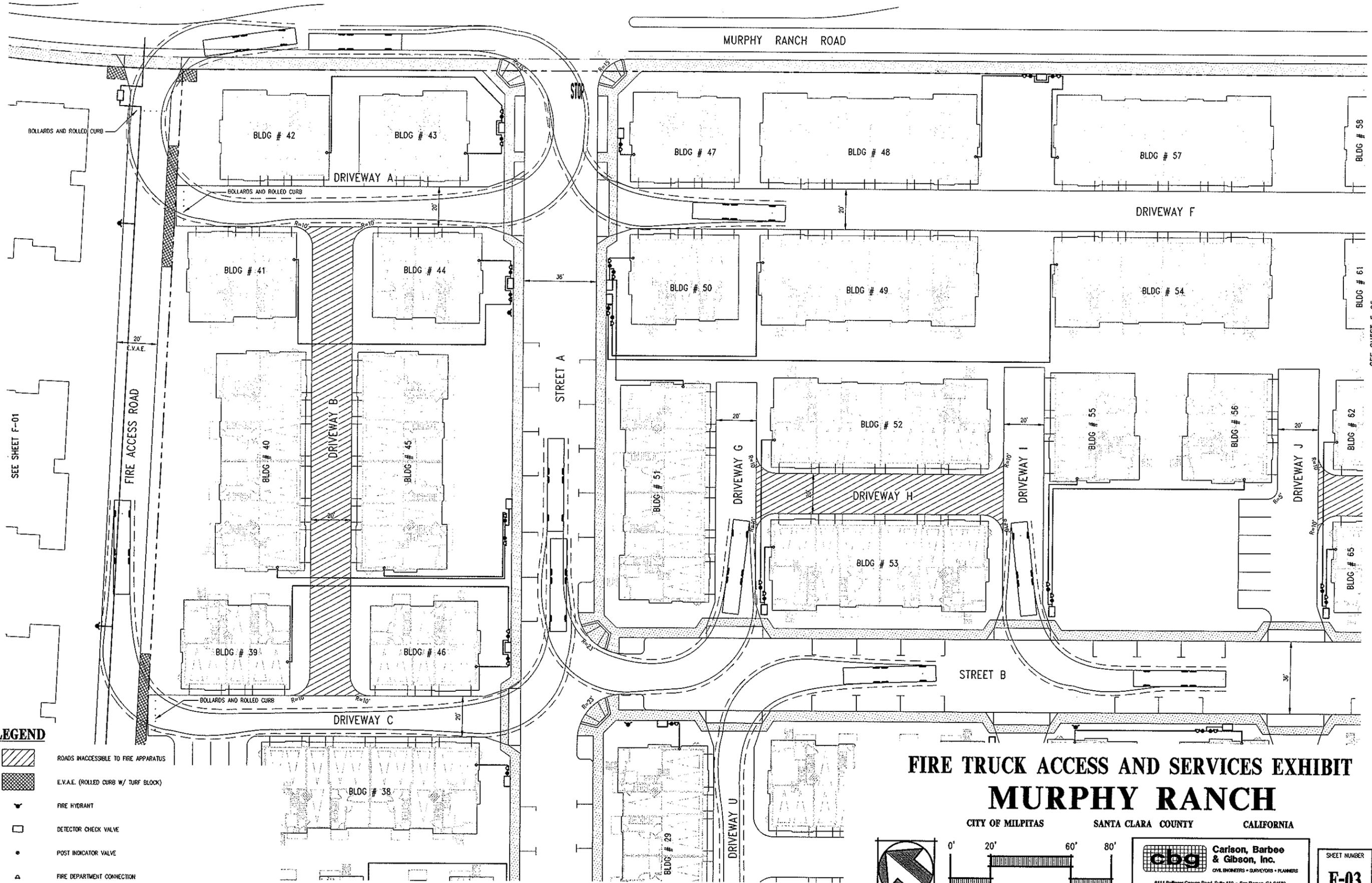


SCALE: 1" = 20'  
JUNE 27, 2007

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 925-966-0322 • fax 925-966-6576  
 www.cbarg.com

SHEET NUMBER  
**F-02**

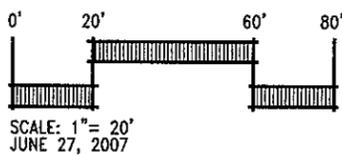
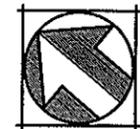
MURPHY RANCH ROAD



- LEGEND**
-  ROADS INACCESSIBLE TO FIRE APPARATUS
  -  E.V.A.E. (ROLLED CURB W/ TURF BLOCK)
  -  FIRE HYDRANT
  -  DETECTOR CHECK VALVE
  -  POST INDICATOR VALVE
  -  FIRE DEPARTMENT CONNECTION
  -  FIRE SERVICE AND RISER

**FIRE TRUCK ACCESS AND SERVICES EXHIBIT  
MURPHY RANCH**

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA



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SHEET NUMBER  
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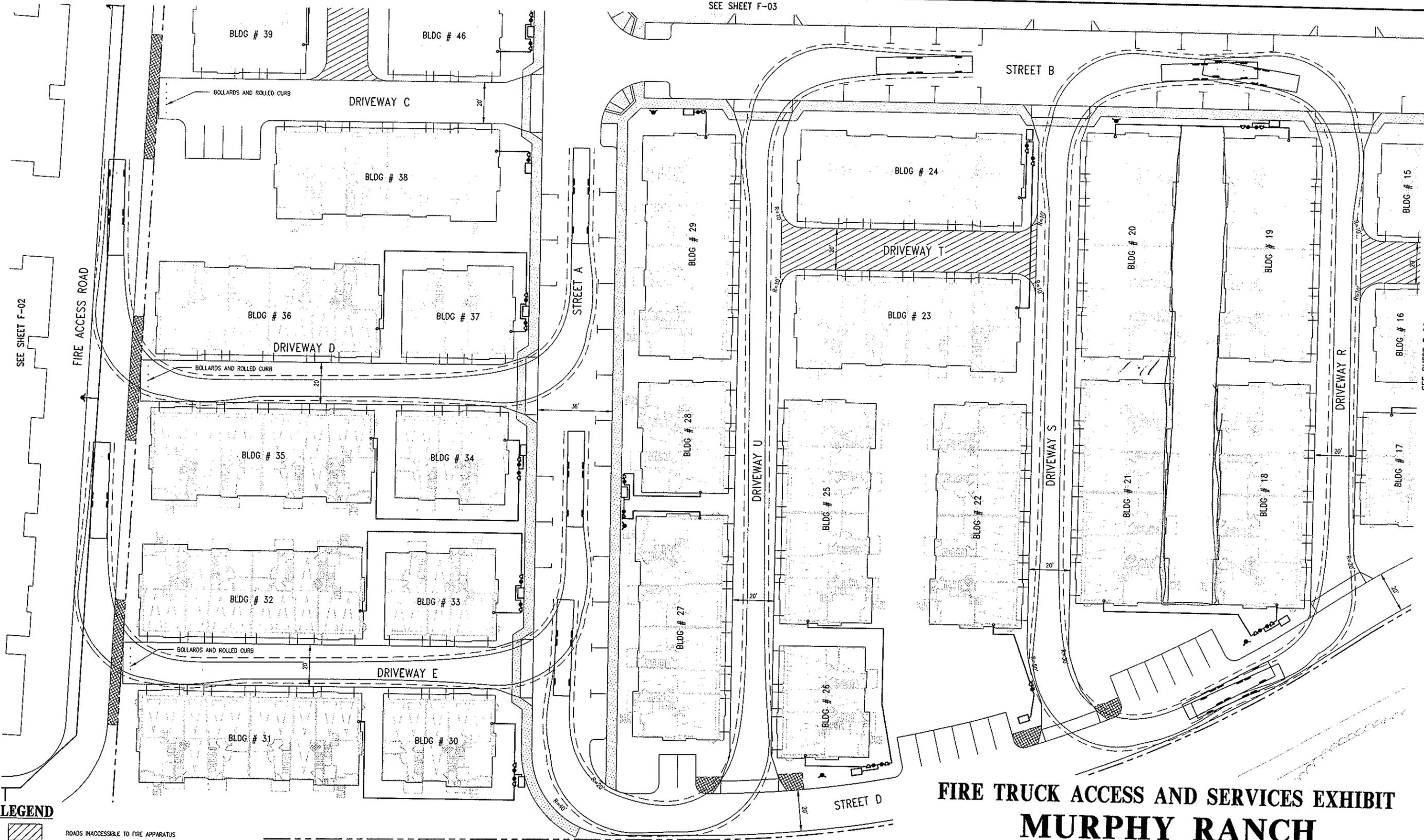
SEE SHEET F-04

SEE SHEET F-05

SEE SHEET F-03

SEE SHEET F-02

SEE SHEET F-06

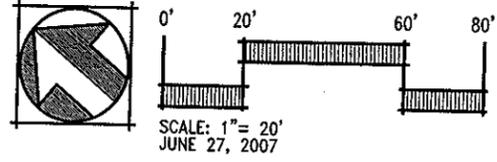


- LEGEND**
-  ROADS INACCESSIBLE TO FIRE APPARATUS
  -  E.V.A.E. (ROLLED CURB W/ TURF BLOCK)
  -  FIRE HYDRANT
  -  DETECTOR CHECK VALVE
  -  POST INDICATOR VALVE
  -  FIRE DEPARTMENT CONNECTION
  -  FIRE SERVICE AND RISER

SANTA CLARA VALLEY WATER DISTRICT  
 J488 PAGE 2133

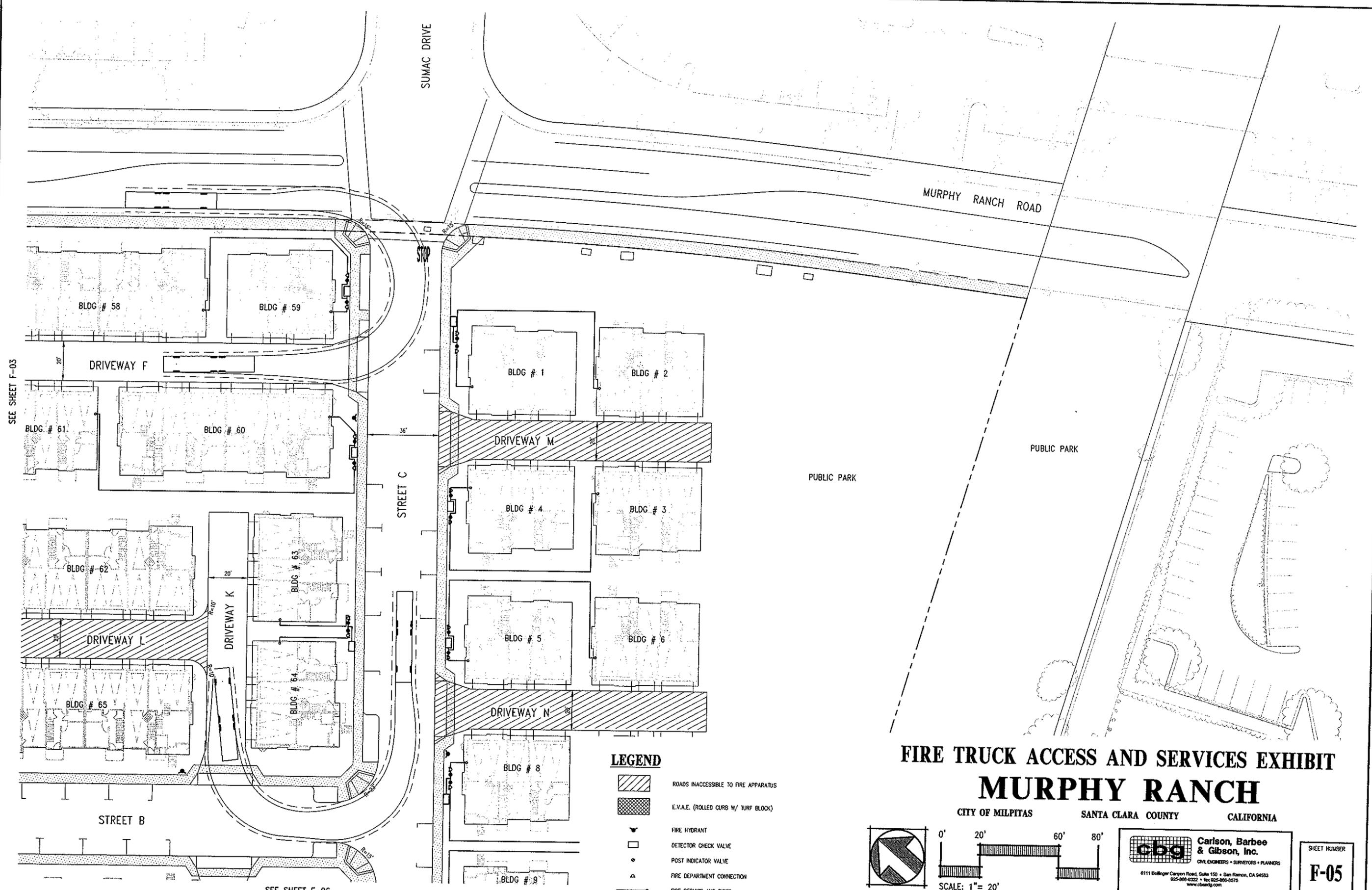
# FIRE TRUCK ACCESS AND SERVICES EXHIBIT MURPHY RANCH

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SHEET NUMBER  
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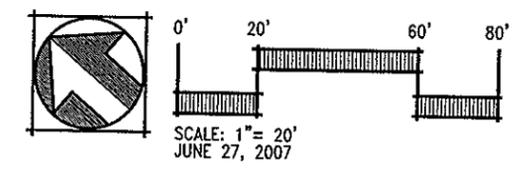
SEE SHEET F-03

SEE SHEET F-06

- LEGEND**
-  ROADS INACCESSIBLE TO FIRE APPARATUS
  -  E.V.A.E. (ROLLED CURB W/ TURF BLOCK)
  -  FIRE HYDRANT
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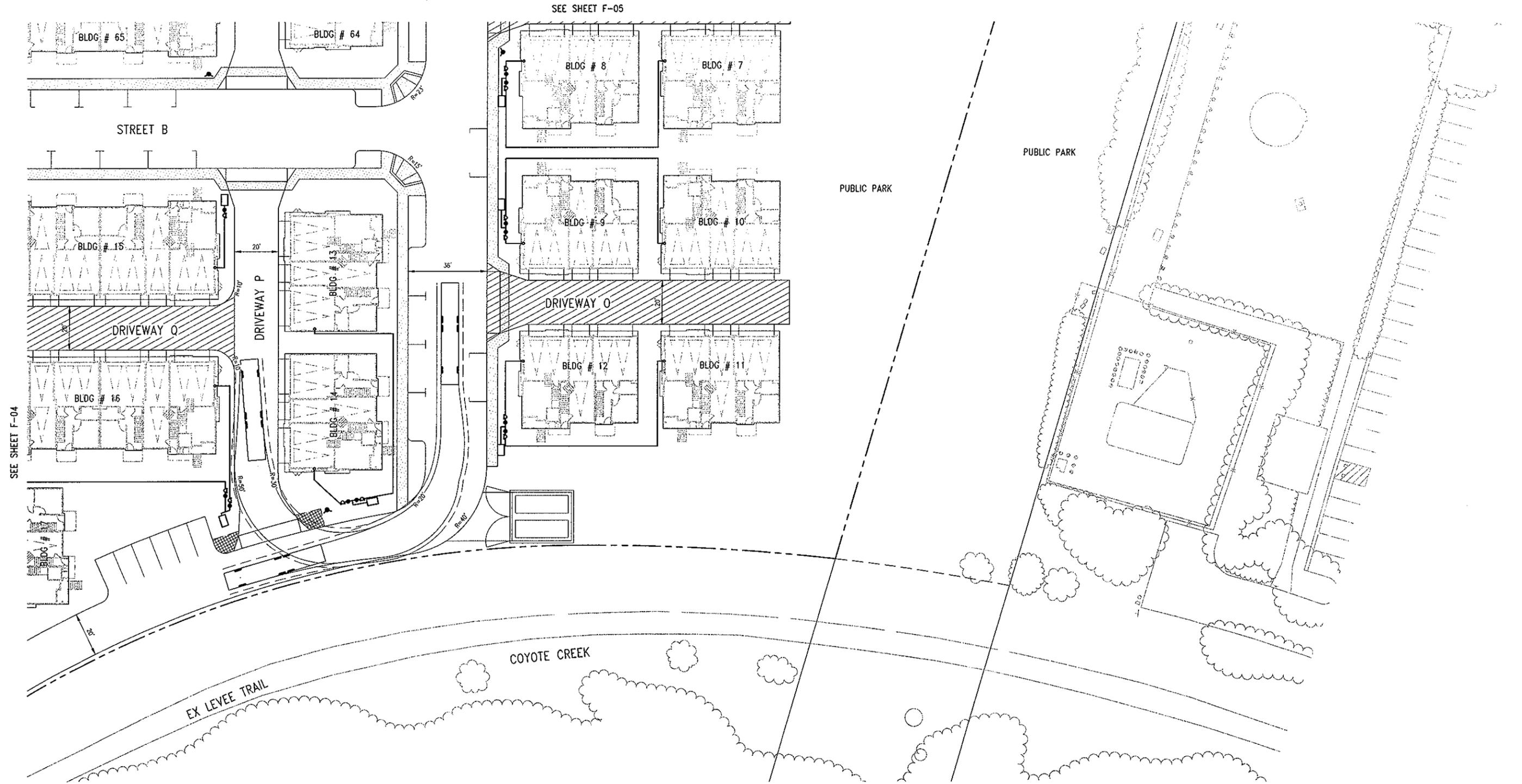
## FIRE TRUCK ACCESS AND SERVICES EXHIBIT MURPHY RANCH

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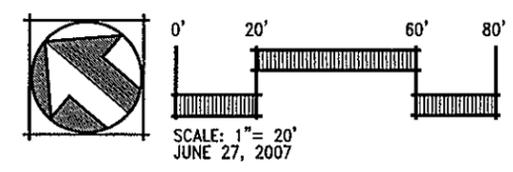
SHEET NUMBER  
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- LEGEND**
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  -  FIRE HYDRANT
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  -  FIRE SERVICE AND RISER

**FIRE TRUCK ACCESS AND SERVICES EXHIBIT**  
**MURPHY RANCH**

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA



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 925-866-2322 • Fax: 925-866-5575  
 www.cbogroup.com

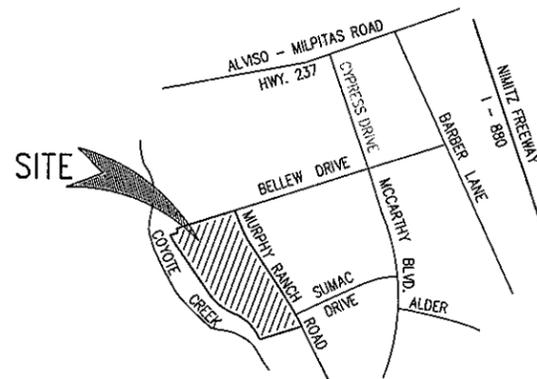
SHEET NUMBER  
**F-06**

# Landscape Conceptual Drawings

# Murphy Ranch

Milpitas, California

## VICINITY MAP



## Project Team

### ARCHITECT (TOWN HOMES)

WOODLEY ARCHITECTURAL GROUP, INC.  
9137 SOUTH RIDGELINE BLVD., SUITE 120  
HIGHLANDS RANCH, CO 80129  
(303) 683-7231 PHONE

151 KALMUS DR., SUITE C230  
COSTA MESA, CA 92626  
ATTN: BRUCE BERGLUND  
(714) 546-8919 PHONE

### OWNER:

FAIRFIELD RESIDENTIAL, LLC  
5510 MOREHOUSE DRIVE, SUITE 200  
SAN DIEGO, CA 92121  
ATTN: SHON FINCH  
(858) 626-8337

### ARCHITECT (APARTMENT)

ARCHITECTS ORANGE  
144 N. ORANGE STREET  
ORANGE, CA 92866  
ATTN: SERAFIN MARANAN  
(714) 289-3217

### CIVIL ENGINEER:

CARLSON BARBEE & GIBSON  
6111 BOLLINGER CANYON ROAD,  
SUITE 150  
SAN RAMON, CA 94583  
ATTN: JASON NERI  
(925) 866-0322

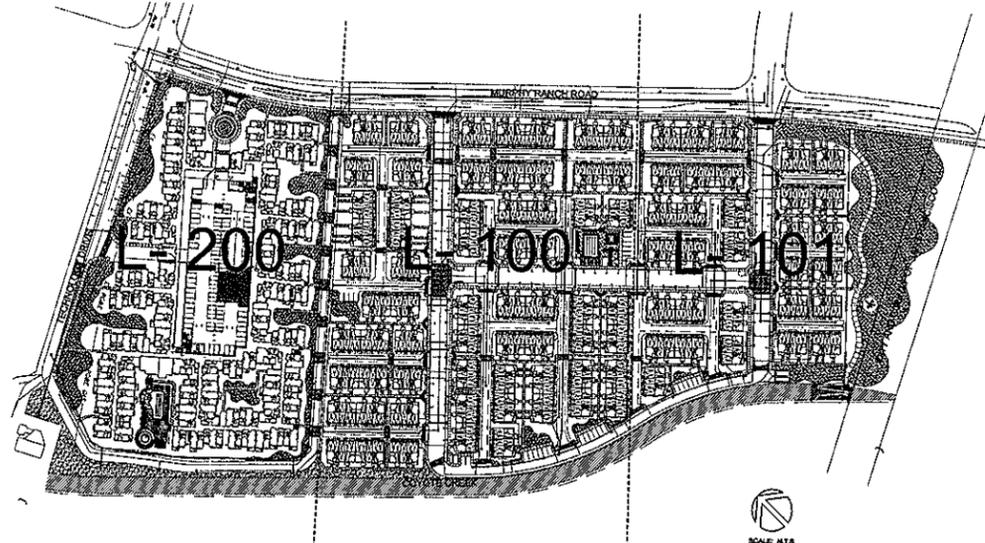
### LANDSCAPE ARCHITECT:

IMA+DESIGN GROUP  
2500 MICHELSON DRIVE, SUITE 125  
IRVINE, CA 92612  
ATTN: JAMES KEENAN  
(949) 250-0023

## INDEX OF DRAWINGS

SEQ	SHEET	SHEET TITLE
1	L - 001	COVER SHEET AND DRAWING INDEX
2	L - 002	SITE PLAN INDEX MAP
3	L - 003	OPEN SPACE DIAGRAM
4	L - 100	OVERALL SITE PLAN (TOWN HOMES)
5	L - 101	OVERALL SITE PLAN (TOWN HOMES)
6	L - 102	ENLARGEMENT & SECTIONS
7	L - 103	LIGHTING CONCEPT PLAN
8	L - 104	CONSTRUCTION DETAILS
9	L - 105	CONSTRUCTION DETAILS
10	L - 106	SITE AMENITY IMAGES
11	L - 107	SITE AMENITY IMAGES
12	L - 200	OVERALL SITE PLAN (APARTMENTS)
13	L - 201	ENLARGEMENTS
14	L - 202	SECTIONS
15	L - 203	LIGHTING CONCEPT PLAN
16	L - 204	CONSTRUCTION DETAILS
17	L - 205	CONSTRUCTION DETAILS
18	L - 206	CONSTRUCTION DETAILS

## KEY MAP



### IRRIGATION DESIGN INTENT

THE LANDSCAPE IRRIGATION WILL COMPLY WITH THE CITY OF MILPITAS' REQUIREMENTS AND WATER ORDINANCES FOR ALL PLANTING AREAS.

THE IRRIGATION SYSTEM WILL BE FULLY AUTOMATED AND WILL IRRIGATE ALL PLANTING AREAS. TYPICALLY, TURF, SHRUB, AND GROUNDCOVER WILL BE IRRIGATED USING EITHER A POP-UP SPRAY (TURF) AND DRIP FOR SHRUB/GROUNDCOVER. TREES WILL BE DEEP WATERED ON A SEPARATE EMITTER CONTROL VALVE.

THE SYSTEM SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER. BACKFLOW PROTECTION IS PROVIDED WITH A REDUCED PRESSURE BACKFLOW PREVENTER AT THE METER. QUICK COUPLING VALVES WILL BE PROVIDED FOR INCIDENTAL WATERING AS NEEDED FOR THE LANDSCAPE AREA.

## COVER SHEET & SHEETS INDEX

# MURPHY RANCH

CITY OF MILPITAS

SANTA CLARA COUNTY

CALIFORNIA

**FAIRFIELD RESIDENTIAL LP**  
5510 MOREHOUSE DRIVE SUITE 200 SAN DIEGO, CA 92121 (858) 457-2123

**ARCHITECTS ORANGE**  
144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92866 (714) 639-9860

**WOODLEY ARCHITECTURAL GROUP, INC.**  
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151 KALMUS DR. SUITE C230, COSTA MESA, CALIFORNIA 92626, (714) 546-8919 PHONE (714) 546-8929 FAX

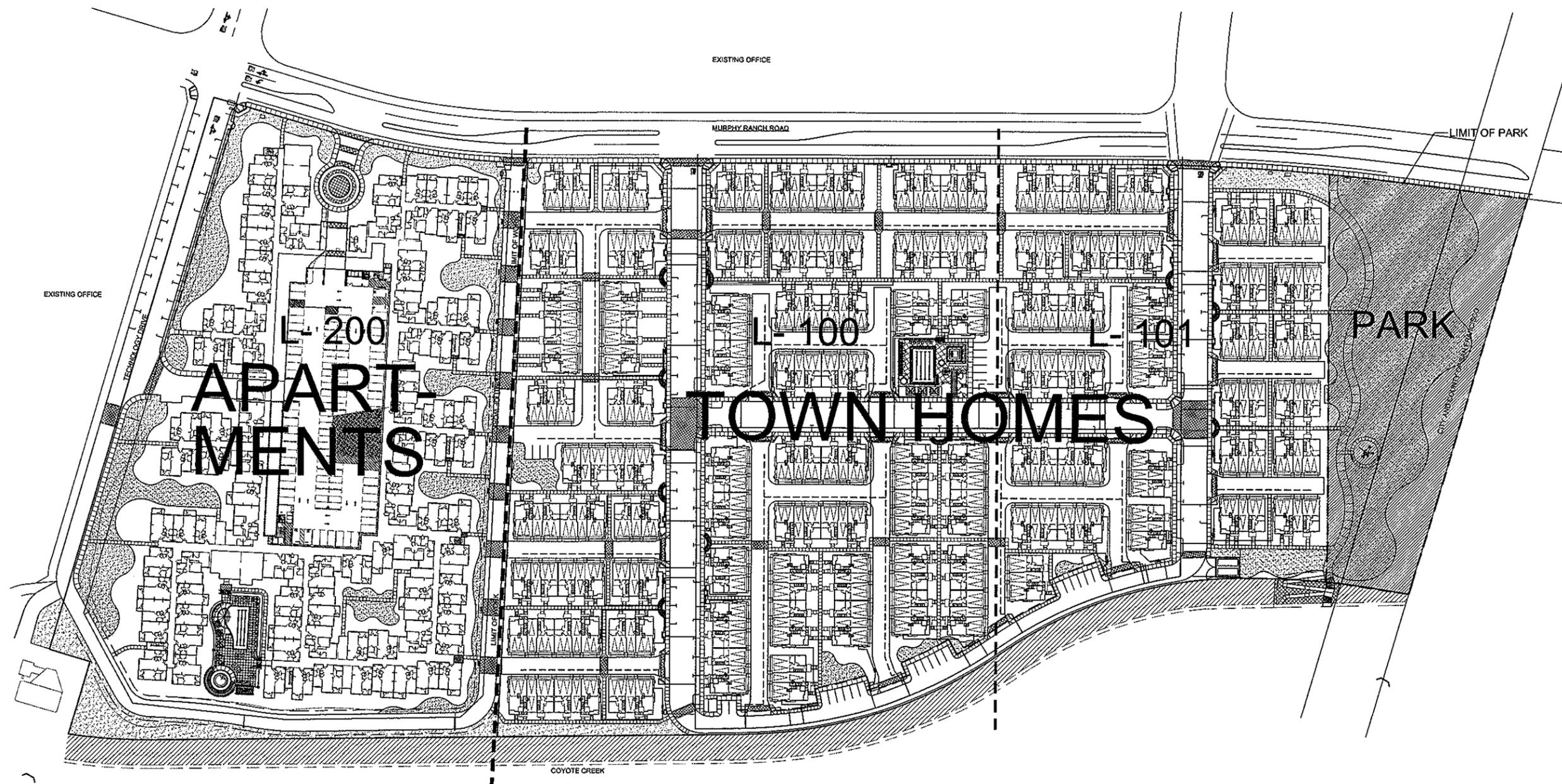
*ima* design

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949.250.0023  
949.250.0043 f

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6111 Bollinger Canyon Road, Suite 150 • San Ramon, CA 94583  
925-866-0322 • Fax: 925-866-0378  
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SHEET NUMBER  
**L-001**

JULY 11, 2007



# OVERALL SITE KEY MAP MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA

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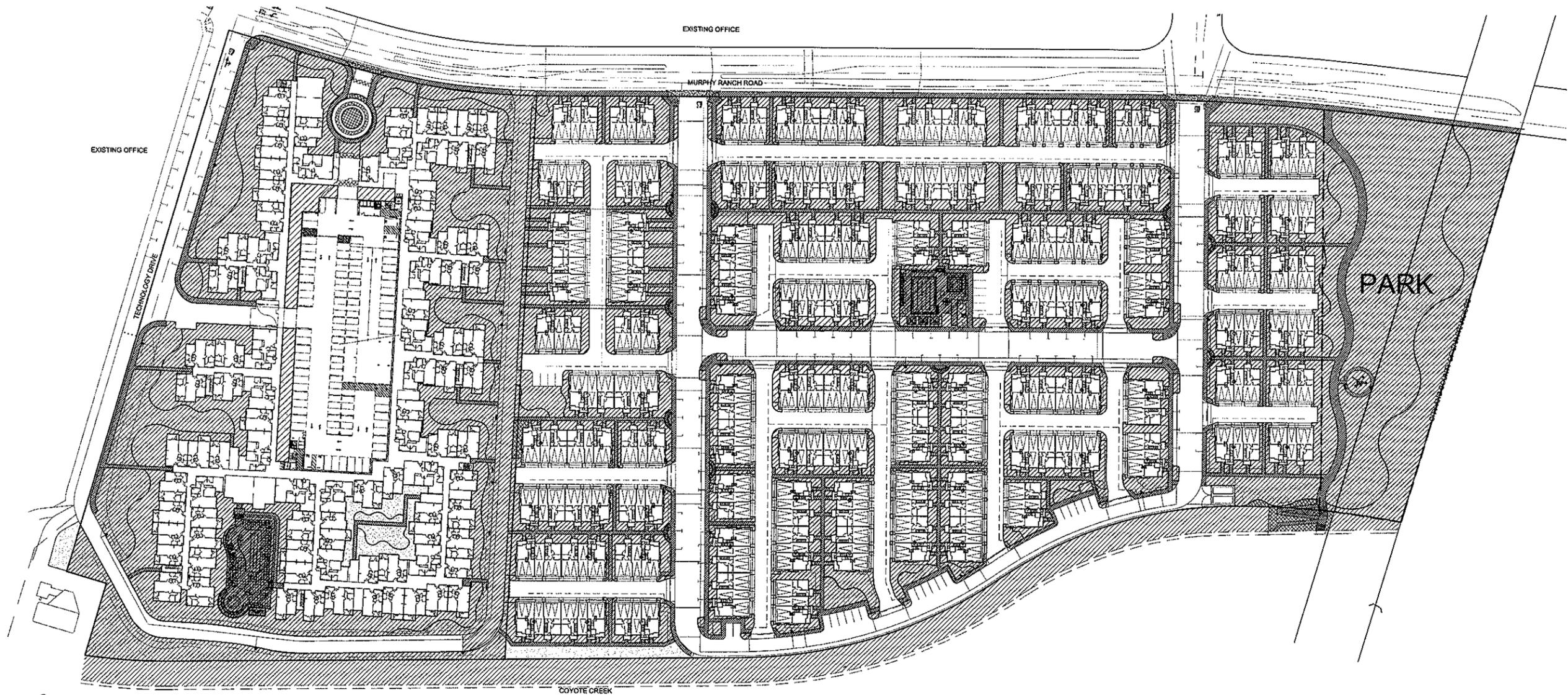


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6111 Bollinger Canyon Road, Suite 150 • San Ramon, CA 94583  
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www.cbng.com

SHEET NUMBER  
**L-002**

**JULY 11, 2007**



**OPEN SPACE CALCULATION:**

<b>TOWN HOMES SITE:</b>	
OVERALL SITE TOTAL SQUARE FOOTAGE	946,300 S.F.
MINIMUM LANDSCAPED REQUIREMENT (25%)	236,500 S.F.
<b>USABLE OPEN SPACE REQUIRED:</b>	
TOWN HOMES (285 UNITS X 200 S.F. = 57,000 S.F.)	
APARTMENTS (374 UNITS X 200 S.F. = 74,800 S.F.)	
<b>TOTAL:</b>	131,800 S.F.
USABLE OPEN SPACE PROVIDED ( INCLUDES SIDEWALK, TURF, CLUBHOUSE, AND SEATING AREAS)	207,000 S.F.
<b>SITE OPEN SPACE</b>	
SOFTSCAPE	307,000 S.F.
HARDSCAPE	78,000 S.F.

**OPEN SPACE DIAGRAM LEGEND**

LEGEND	DESCRIPTION
	SITE OPEN SPACE
	RECREATION ROOM
	SOFTSCAPE
	HARDSCAPE



**OPEN SPACE DIAGRAM  
MURPHY RANCH**

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA

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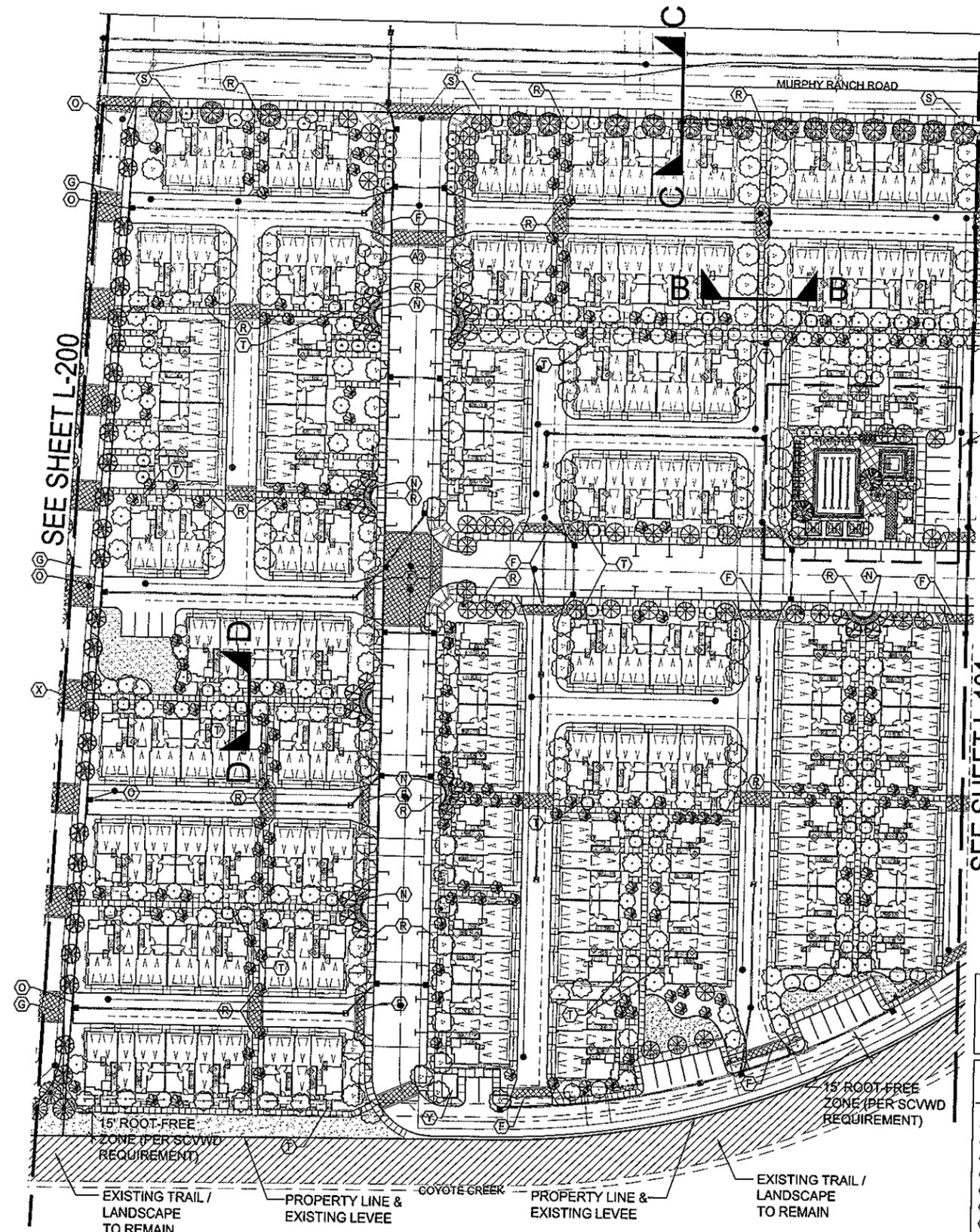
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SHEET NUMBER  
**L-003**

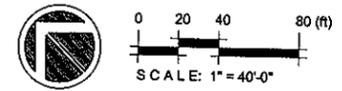
JULY 11, 2007



SEE SHEET L-101

SEE SHEET L-101

REFER TO ENLARGEMENT  
1 SHEET L-102



NOTE:  
REFER TO SHEET L-102 FOR SECTIONS.  
REFER TO SHEET L-104 & SHEET L-105 FOR DETAILS AND  
SHEET L-106 & SHEET L-107 FOR PROJECT AMENITY IMAGES.  
UTILITY SHOULD BE SCREENED WITH LANDSCAPE AS ALLOWED BY  
UTILITY COMPANIES.

TREE & SHRUB LEGEND						
DISCRPTION	SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SIZE AT 5 YEAR GROWTH (HT. X SPREAD)	SIZE AT MATURITY (HT. X SPREAD)
MURPHY RANCH ROAD STREET TREE		Liquidambar styraciflua	American Sweet Gum	24" BOX	15'x8'	25'x30'
INTERIOR MAIN STREET TREE		Cinnamomum camphora	Camphor Tree	24" BOX	16'x12'	35'x35'
INTERIOR SECONDARY STREET TREE (LOOP ROAD)		Podocarpus gracilior	Fern Pine	24" BOX	12'x6'	20'x10'
ENTRY DRIVE / SPECIMEN TREE		Cinnamomum camphora	Camphor Tree	36" BOX	16'x12'	25'x25'
		Jacaranda mimosifolia	Jacaranda	36" BOX		
		Magnolia grandiflora 'Samuel Sommer'	Southern Magnolia	36" BOX	12'x8'	25'x25'
		Sequoia sempervirens	Coast Redwood	36" BOX		
FIRE LANE STREET TREE		Lophostemon confertus	Brisbane Box	24" BOX	20'x10'	25'x25'
POOL / RECREATION COURT		Ginkgo biloba	Ginkgo	24" BOX	10'x8'	25'x20'
		Jacaranda mimosifolia	Jacaranda	24" BOX		
		Prunus c. 'Krauter Vesuvius'	Purple Leaf Plum	24" BOX	10'x8'	18'x12'
		Sequoia sempervirens	Coast Redwood	24" BOX		
		Sequoia sempervirens	Coast Redwood	24" BOX		
NEIGHBORHOOD FOREST / COURTYARD		Bambusa m. 'Alphonse Karr'	'Alphonse Karr' Bamboo	20 GAL.	10' TALL	20' TALL
		Juniperus c. 'Spartan'	Spartan Juniper	15 GAL.	10'x3'	12'x4'
		Podocarpus henkelii	Long-Leaf Yellowwood	24" BOX	12'x6'	20'x5'
		Quercus agrifolia	Coast Live Oak	24" BOX	12'x8'	30'x30'
CREEK VIEW TREE		Quercus agrifolia	Coast Live Oak	24" BOX	12'x8'	30'x30'
BUFFER / PERIMETER PLANTING		Liriodendron tulipifera	Tulip Tree	24" BOX	18'x10'	25'x25'
		Pistacia chinensis	Chinese Pistache	24" BOX		40'x25'
		Liquidambar styraciflua	American Sweet Gum	24" BOX	15'x8'	25'x30'
		Sequoia sempervirens	Coast Redwood	24" BOX		
		Sequoia sempervirens	Coast Redwood	24" BOX		
VINES (@ TRELLIS)		Clytostoma callistegioides	Violet Trumpet Vine	5 GAL.	-	VINE
GROUNDCOVER & SHRUBS		Asparagus sprengeri	Asparagus	1 Gal.	-	-
		Rosa floribunda 'Iceberg'	Iceberg Rose	1 Gal.	-	With Annual Color
		Trachelospermum jasminoides	Star Jasmine	1 Gal.	-	-
		Anthoxanthus Odoratum	Sweet Vernal Grass	1 Gal.	-	Random Mix
		Carex Tumulicola	Berkeley Sedge	1 Gal.	-	Random Mix
		Festuca Cinerea	Blue Fescue	1 Gal.	-	Random Mix
		Festuca Muellieri	Mueller's Fescue	1 Gal.	-	Random Mix
		Muhlenbergia Rigens	Deer Grass	1 Gal.	-	Random Mix
		Turf	Marathon II	Sod	-	-
		Turf	Marathon II	Sod	-	-
		Turf	Marathon II	Sod	-	-
		Turf	Marathon II	Sod	-	-

AMENITIES LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(A)	CLUBHOUSE	(P)	BENCH
(B)	POOL/SPA DECK	(Q)	TUBULAR STEEL FENCE
(C)	TOT LOT	(R)	WALK
(D)	PLAY STRUCTURE	(S)	PUBLIC SIDEWALK
(E)	ENHANCED PAVING	(T)	ENTRY STOOP
(F)	ENHANCED PEDESTRIAN CROSSING	(U)	POOL EQUIPMENT ROOM
(G)	FIRE LANE	(V)	SHOWER ROOM
(H)	UMBRELLA W/TABLES & CHAIRS	(W)	POOL/ SPA STEPS
(I)	PLANTER	(X)	ENHANCED PAVING AT FIRE LANE
(J)	CABANA	(Y)	MAIL BOX
(K)	PLANTER POTS	(Z)	HANDICAP RAMP
(L)	POOL CHAISE LOUNGE	(A1)	TRASH ENCLOSURE
(M)	STEEL GATE	(A2)	CONCRETE HEADER
(N)	TRELLIS	(A3)	UTILITIES
(O)	REMOVABLE BOLLARDS (FIRE LANE)		

## LANDSCAPE CONCEPT PLAN (TOWN HOMES) MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA

*ima design*

2500 michelson dr  
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irvine ca 92612  
949.250.0023  
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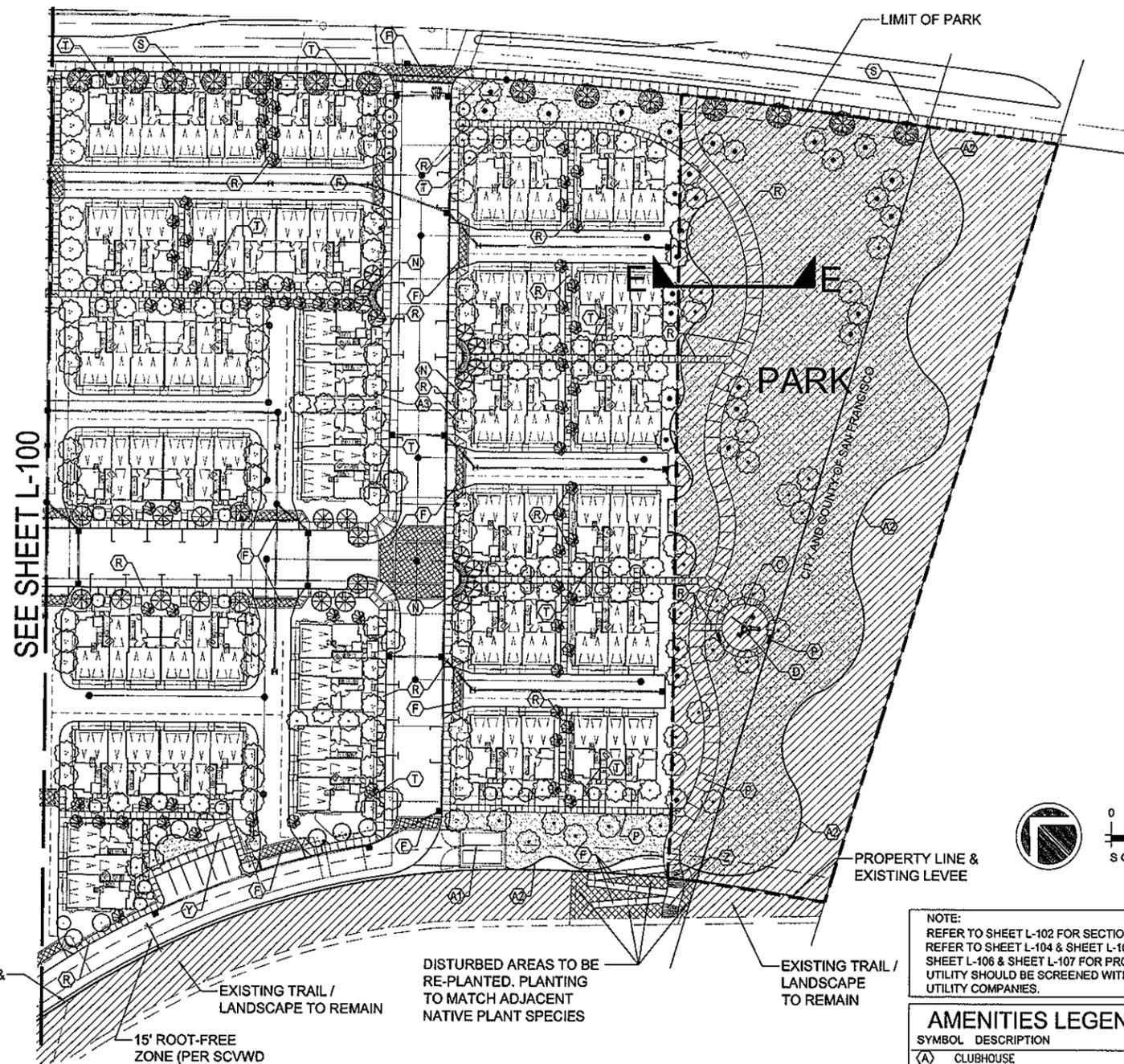
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925-966-0222 • fax 925-966-6575  
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SHEET NUMBER

# L-100

JULY 11, 2007

**FAIRFIELD RESIDENTIAL LP**  
5510 MOREHOUSE DRIVE SUITE 200 SAN DIEGO, CA 92121 (858) 457-2123



### TREE & SHRUB LEGEND

DISCRPTION	SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SIZE AT 5 YEAR GROWTH (HT. X SPREAD)	SIZE AT MATURITY (HT. X SPREAD)
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INTERIOR SECONDARY STREET TREE (LOOP ROAD)		Podocarpus gracilior	Fern Pine	24" BOX	12'x6'	20'x10'
ENTRY DRIVE / SPECIMEN TREE		Cinnamomum camphora	Camphor Tree	36" BOX	16'x12'	25'x25'
		Jacaranda mimosifolia	Jacaranda	36" BOX		
		Magnolia grandiflora 'Samuel Sommer'	Southern Magnolia	36" BOX	12'x8'	25'x25'
		Sequoia sempervirens	Coast Redwood	36" BOX		
FIRE LANE STREET TREE		Lophostemon confertus	Brisbane Box	24" BOX	20'x10'	25'x25'
POOL / RECREATION COURT		Ginkgo biloba	Ginkgo	24" BOX	10'x8'	25'x20'
		Jacaranda mimosifolia	Jacaranda	24" BOX		
		Prunus c. 'Krauter Vesuvius'	Purple Leaf Plum	24" BOX	10'x8'	18'x12'
		Sequoia sempervirens	Coast Redwood	24" BOX		
NEIGHBORHOOD FOREST / COURTYARD		Bambusa m. 'Alphonse Karr'	'Alphonse Karr' Bamboe	20 GAL.	10' TALL	20' TALL
		Juniperus c. 'Spartan'	Spartan Juniper	15 GAL.	10'x3'	12'x4'
		Podocarpus henkelii	Long-Leaf Yellowwood	24" BOX	12'x6'	20'x5'
CREEK VIEW TREE		Quercus agrifolia	Coast Live Oak	24" BOX	12'x8'	30'x30'
BUFFER / PERIMETER PLANTING		Liriodendron tulipifera	Tulip Tree	24" BOX	18'x10'	25'x25'
		Pistacia chinensis	Chinese Pistache	24" BOX		40'x25'
		Liquidambar styraciflua	American Sweet Gum	24" BOX	15'x8'	25'x30'
		Sequoia sempervirens	Coast Redwood	24" BOX		
VINES (⊗ TRELLIS)		Clytostoma callistegioides	Violet Trumpet Vine	5 GAL.	-	VINE
GROUNDCOVER & SHRUBS		Asparagus sprengeri	Asparagus	1 Gal.	-	-
		Rosa floribunda 'Iceberg'	Iceberg Rose	1 Gal.	-	With Annual Color
		Trachelospermum jasminoides	Star Jasmine	1 Gal.	-	-
		Anthoxanthus Odoratum	Sweet Vernal Grass	1 Gal.	-	Random Mix
		Carex Turmicala	Berkeley Sedge	1 Gal.	-	Random Mix
		Festuca Cinerea	Blue Fescue	1 Gal.	-	Random Mix
		Festuca Muellieri	Mueller's Fescue	1 Gal.	-	Random Mix
		Muhlenbergia Rigens	Deer Grass	1 Gal.	-	Random Mix
		Turf	Marathon II Sod	-	-	-

NOTE:  
 REFER TO SHEET L-102 FOR SECTIONS.  
 REFER TO SHEET L-104 & SHEET L-105 FOR DETAILS AND SHEET L-106 & SHEET L-107 FOR PROJECT AMENITY IMAGES.  
 UTILITY SHOULD BE SCREENED WITH LANDSCAPE AS ALLOWED BY UTILITY COMPANIES.

### AMENITIES LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(A)	CLUBHOUSE	(P)	BENCH
(B)	POOL/SPA DECK	(Q)	TUBULAR STEEL FENCE
(C)	TOY LOT	(R)	WALK
(D)	PLAY STRUCTURE	(S)	PUBLIC SIDEWALK
(E)	ENHANCED PAVING	(T)	ENTRY STOOP
(F)	ENHANCED PEDESTRIAN CROSSING	(U)	POOL EQUIPMENT ROOM
(G)	FIRE LANE	(V)	SHOWER ROOM
(H)	UMBRELLA W/TABLES & CHAIRS	(W)	POOL/ SPA STEPS
(I)	PLANTER	(X)	ENHANCED PAVING AT FIRE LANE
(J)	CABANA	(Y)	MAIL BOX
(K)	PLANTER POTS	(Z)	HANDICAP RAMP
(L)	POOL CHAISE LOUNGE	(A1)	TRASH ENCLOSURE
(M)	STEEL GATE	(A2)	CONCRETE HEADER
(N)	TRELLIS	(A3)	UTILITIES
(O)	REMOVABLE BOLLARDS (FIRE LANE)		

## LANDSCAPE CONCEPT PLAN (TOWN HOMES)

# MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA

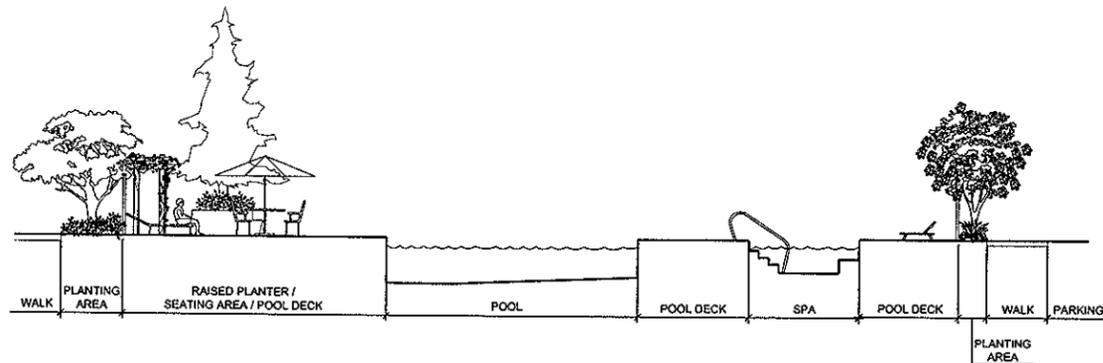
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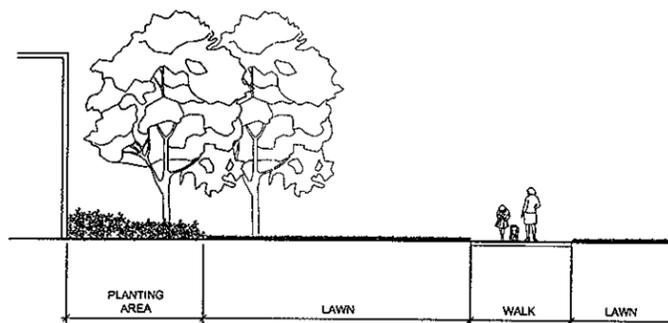
SHEET NUMBER  
**L-101**

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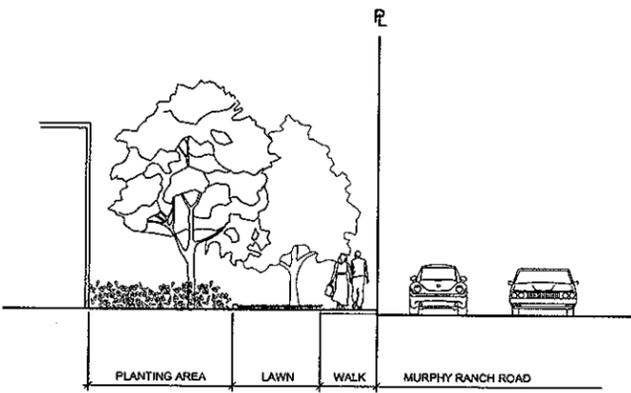
JULY 11, 2007



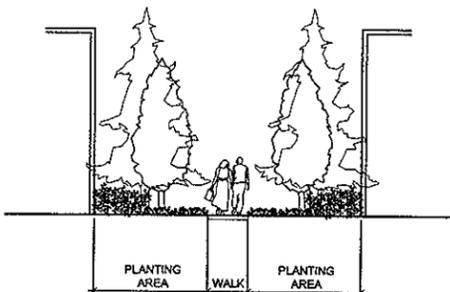
**SECTION A - A**  
SCALE: 1" = 1/8'



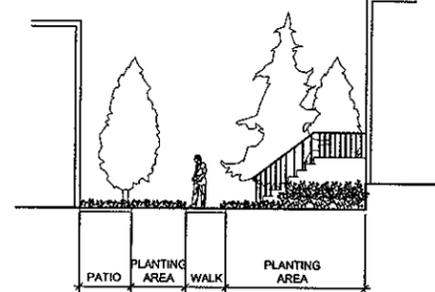
**SECTION E - E**  
SCALE: 1" = 1/8'



**SECTION C - C**  
SCALE: 1" = 1/8'



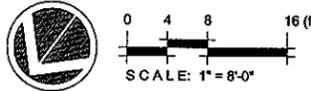
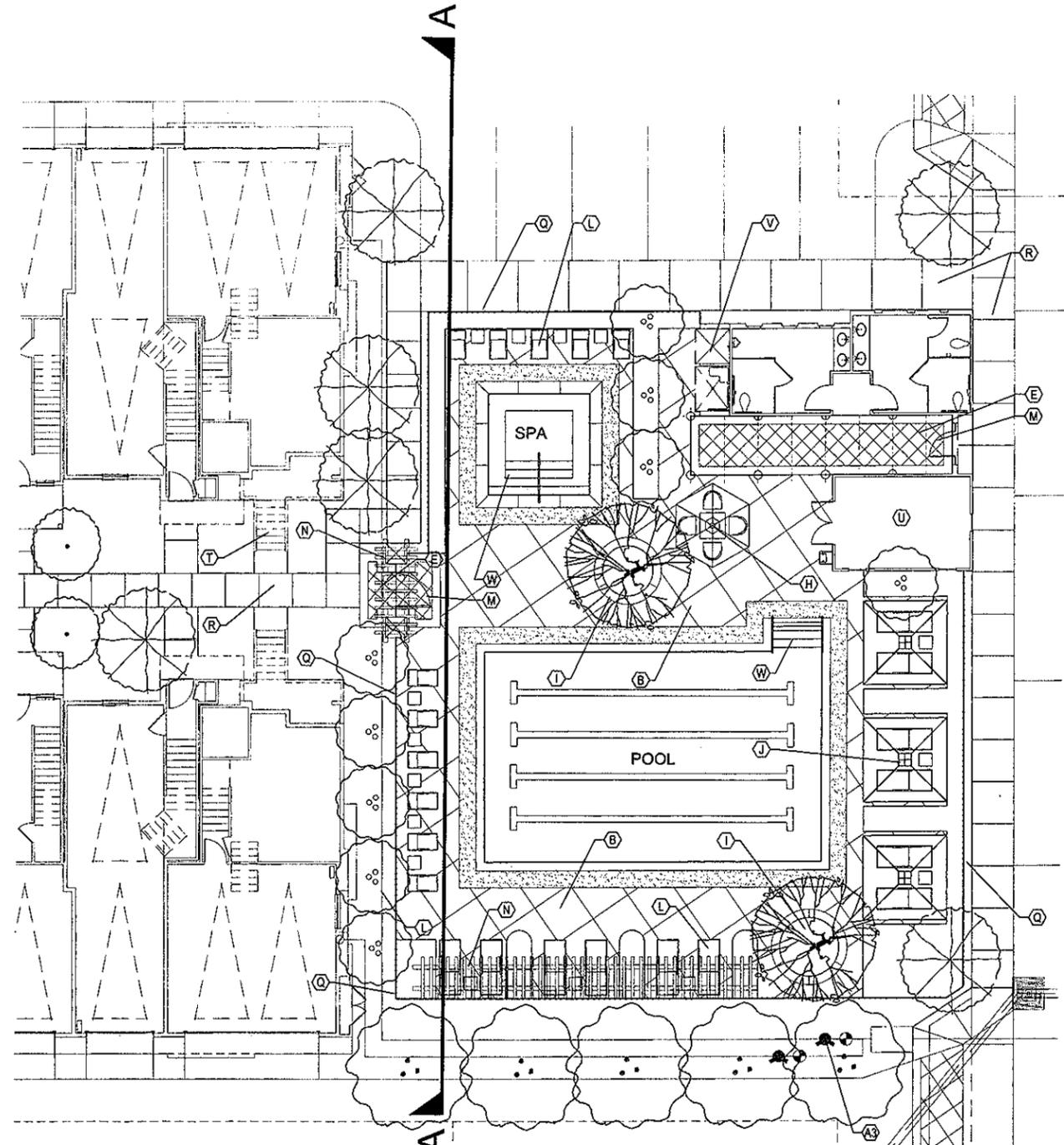
**SECTION B - B**  
SCALE: 1" = 1/8'



**SECTION D - D**  
SCALE: 1" = 1/8'

NOTE:  
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AMENITIES LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(A)	CLUBHOUSE	(P)	BENCH
(B)	POOL/SPA DECK	(Q)	TUBULAR STEEL FENCE
(C)	TOT LOT	(R)	WALK
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(E)	ENHANCED PAVING	(T)	ENTRY STOOP
(F)	ENHANCED PEDESTRIAN CROSSING	(U)	POOL EQUIPMENT ROOM
(G)	FIRE LANE	(V)	SHOWER ROOM
(H)	UMBRELLA W/TABLES & CHAIRS	(W)	POOL/ SPA STEPS
(I)	PLANTER	(X)	ENHANCED PAVING AT FIRE LANE
(J)	CABANA	(Y)	MAIL BOX
(K)	PLANTER POTS	(Z)	HANDICAP RAMP
(L)	POOL CHASE LOUNGE	(AA)	TRASH ENCLOSURE
(M)	STEEL GATE	(AB)	CONCRETE HEADER
(N)	TRELLIS	(AC)	UTILITIES
(O)	REMOVABLE BOLLARDS (FIRE LANE)		



**TOWN HOMES POOL & LANDSCAPE ENLARGEMENT**

**ENLARGEMENT & SECTIONS  
(TOWN HOMES)  
MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

**FAIRFIELD RESIDENTIAL LP**  
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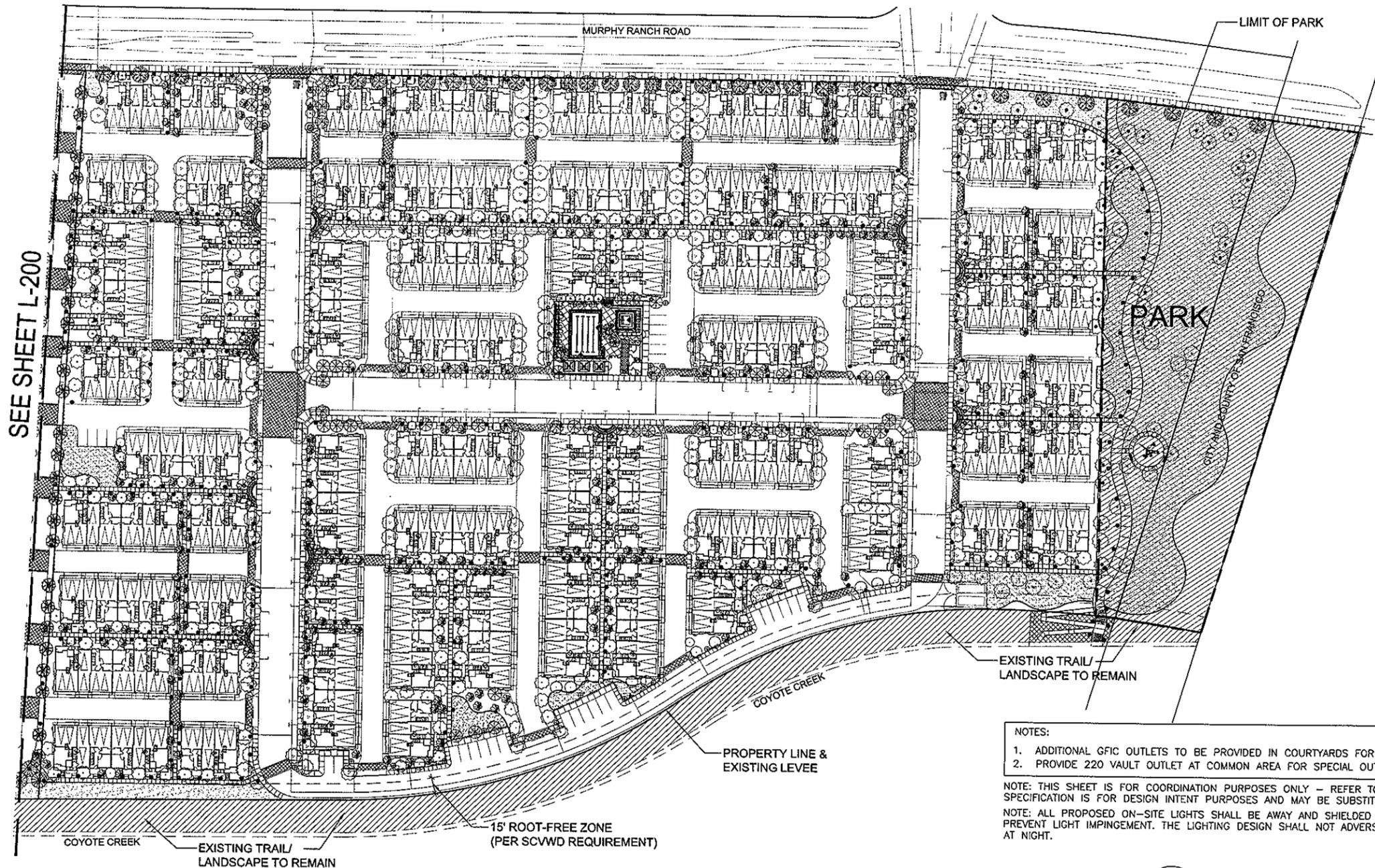


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www.cbarbg.com

SHEET NUMBER  
**L-102**

JULY 11, 2007



- NOTES:
1. ADDITIONAL GFCI OUTLETS TO BE PROVIDED IN COURTYARDS FOR HOLIDAY LIGHTING (TBD).
  2. PROVIDE 220 VOLT OUTLET AT COMMON AREA FOR SPECIAL OUTDOOR EVENTS.

NOTE: THIS SHEET IS FOR COORDINATION PURPOSES ONLY - REFER TO ELECTRICAL DRAWINGS. FIXTURE SPECIFICATION IS FOR DESIGN INTENT PURPOSES AND MAY BE SUBSTITUTED WITH AN EQUAL PRODUCT.  
 NOTE: ALL PROPOSED ON-SITE LIGHTS SHALL BE AWAY AND SHIELDED FROM THE RIPARIAN FOREST TO PREVENT LIGHT IMPINGEMENT. THE LIGHTING DESIGN SHALL NOT ADVERSELY ENTER THE RIPARIAN CORRIDOR AT NIGHT.

**LANDSCAPE LIGHTING SCHEDULE / SPECIFICATIONS**

SYMBOL	DESCRIPTION	MANUFACTURER	MOUNT	LAMP	VOLT/WATT	COLOR	REMARKS
▲	SCONCE/WALL MOUNTED LIGHT	BASELIGHT CORPORATION	WALL MOUNTED W/ COVER AT BASEPLATE	100W METAL HALIDE	120 100	GALVANIZED	COORDINATE W/ ARCHITECTURE
⊙	POLE LIGHT	ARCH. AREA LIGHTING	12' POLE ABOVE GROUND	150W METAL HALIDE	208 150	SILVER	6" HT. EXPOSED COLORED CONC. FOOTING
⊕	PARKING/INT. STREET POLE LIGHT	ARCH. AREA LIGHTING	20' POLE ABOVE GROUND	200W METAL HALIDE	208 200	SILVER	6" HT. EXPOSED COLORED CONC. FOOTING
●	PATH LIGHT	ARCH. AREA LIGHTING	BOLLARD				42" BOLLARD
---	TRELLIS DOWN LIGHT	B-K LIGHTING	FITTED ON UNDERSIDE OF TRELLIS		12 35	MATCH TRELLIS	MOUNT FIXTURE/TRANSFORMER TO TRELLIS
○	UPLIGHT	OMEGALUX	SURFACE MOUNTED TO BALLAST BOX	CDM35/PAR20/MFL30	120 39	TERRA VERDE GRN.	--
▽	POOL/SPA LIGHT	PER POOL CONTRACTOR					
—X	EXISTING STREET LIGHT	EXISTING	N/A	N/A			

NOTE: MANUFACTURER'S ARE INDICATED FOR DESIGN INTENT PURPOSES. FINAL SELECTIONS SHALL BE SUBMITTED FOR APPROVAL.



**LIGHTING CONCEPT PLAN  
 (TOWN HOMES)  
 MURPHY RANCH**

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA

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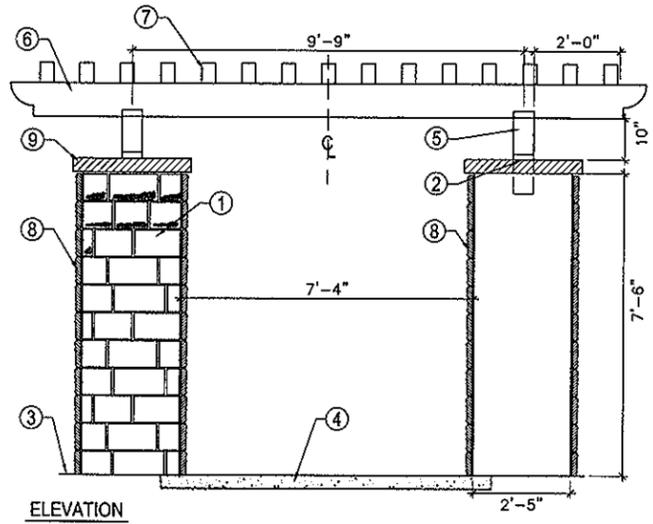
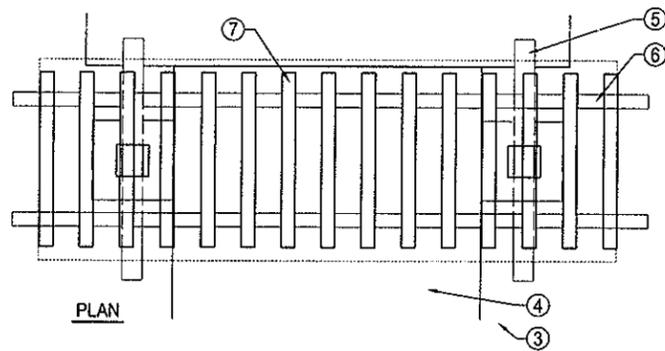


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SHEET NUMBER  
**L-103**

JULY 11, 2007



- LEGEND**
- ① PILASTER
  - ② METAL SADDLE
  - ③ FINISH SURFACE
  - ④ CONCRETE SIDEWALK
  - ⑤ 6 X 12 BEAM. SECURE TO SIMPSON BASE W/ (2) TWO 5/8" DIA. SSTL MACHINE BOLTS.
  - ⑥ 4 X 10 JOIST ON EDGE. NOTCH 1-1/2" INTO THE BEAM BELOW. SECURE BY TOE NAILING INTO BEAM. 36" O.C. EXTEND 2'-0" BEYOND COLUMN FACE.
  - ⑦ 4 X 8 LATTICE ON EDGE. SECURE TO JOISTS BY TOE NAILING. 12" O.C. 1/2" CHAMFER ENDS ALL EDGED.
  - ⑧ STUCCO FINISH
  - ⑨ CMU PRECISION CAP

**NOTES**

A. MEMBER SIZES AND ATTACHMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. FOOTING AND REINFORCEMENT MUST BE SIGNED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

B. ALL WOOD TO BE DOUGLAS FIR PER STRUCTURAL PLAN.

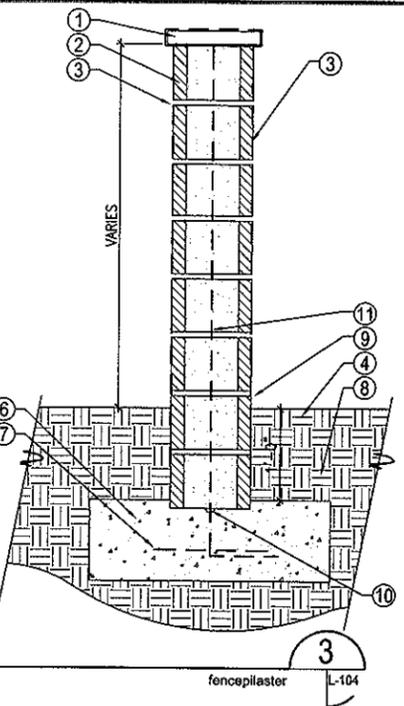
C. ALL METAL CONNECTORS TO EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL AS NOTED. PAINT CONNECTOR SAME COLOR AS WOOD.

**PEDESTRIAN GATEWAY TRELLIS** 5  
Scale: 1/2"=1'-0" overhead trellis L-104

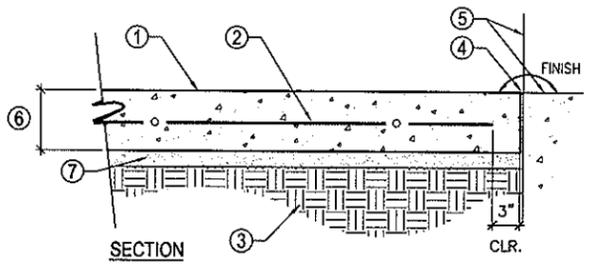
- LEGEND**
- ① CMU PRECISION CAP
  - ② 8x12x12 CMU PRECISION BLOCK GROUT EVERY OTHER CELL COLUMN SOLID
  - ③ STUCCO
  - ④ FINISHED SURFACE
  - ⑤ ISOLATION JOINT
  - ⑥ CONCRETE FOOTING
  - ⑦ REINFORCEMENT PER STRUCTURAL ENG
  - ⑧ COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
  - ⑨ STUCCO SCREED - PAINT EXPOSED BLOCK BELOW TO MATCH STUCCO
  - ⑩ 1-1/2" KEY
  - ⑪ REINFORCEMENT, INCLUDING BOND BEAM, PER STRUCTURAL ENGINEER

**NOTE:**

A. CONCRETE FOOTING AND REINFORCEMENT ARE SHOWN FOR BIDDING PURPOSES ONLY. FOOTING AND REINFORCEMENT MUST BE SIGNED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.



**CMU PILASTER** 3  
Scale: 1"=1'-0" fencopilaster L-104



- LEGEND**
- ① CONCRETE PAVING
  - ② REINFORCING PER GEOTECHNICAL REPORT
  - ③ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
  - ④ SEALED ISOLATION JOINT
  - ⑤ ADJACENT VERTICAL OR HORIZONTAL SURFACE
  - ⑥ 4" THICK AT PEDESTRIAN AREAS; 6" THICK AT VEHICULAR AREAS
  - ⑦ 1" THICK WASHED CONCRETE SAND

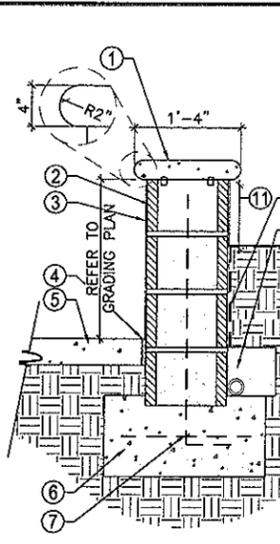
**CONCRETE PAVING** 4  
Scale: 1-1/2"=1'-0" concrete paver L-104

- LEGEND**
- ① CONCRETE CAP
  - ② 8 x 12 x 16 CMU PRECISION BLOCK GROUT SOLID
  - ③ STUCCO ALL EXPOSED PORTIONS OF THE WALL TO MATCH ARCH
  - ④ ISOLATION JOINT
  - ⑤ ADJACENT PAVING/PLANTING
  - ⑥ CONCRETE FOOTING PER STRUCTURAL ENGINEER
  - ⑦ REINFORCEMENT
  - ⑧ DRAIN POCKET - SEE CIVIL'S PLANS
  - ⑨ FINISH GRADE
  - ⑩ DAMP WATERPROOFING
  - ⑪ 1-1/2" MIN

**NOTE:**

1. REBAR AND REINFORCEMENT ARE SHOWN FOR BIDDING PURPOSES ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR CONSTRUCTION.

2. REFER TO CIVIL ENGINEER'S DRAWINGS FOR DRAINAGE PIPE CONNECTION.

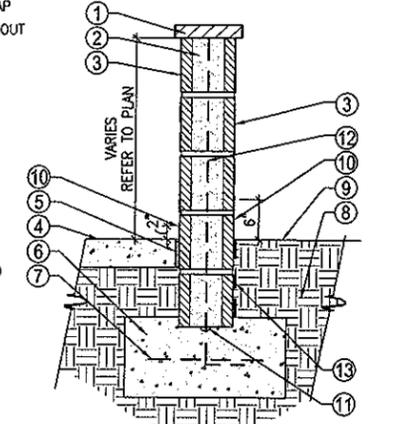


**CMU SEATWALL/ PLANTER** 1  
Scale: 1"=1'-0" cmuSeatWall L-104

- LEGEND**
- ① 2x12x16" CMU PRECISION WALL CAP
  - ② 8x8x16 CMU PRECISION BLOCK GROUT EVERY OTHER CELL COLUMN SOLID
  - ③ STUCCO
  - ④ ADJACENT PAVING SURFACE
  - ⑤ ISOLATION JOINT
  - ⑥ CONCRETE FOOTING
  - ⑦ REINFORCEMENT
  - ⑧ COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
  - ⑨ FINISH SURFACE WHERE APPLICABLE - REFER TO PLANS
  - ⑩ STUCCO SCREED - PAINT EXPOSED BLOCK BELOW TO MATCH STUCCO
  - ⑪ 1-1/2" KEY
  - ⑫ REINFORCEMENT, INCLUDING BOND BEAM, PER STRUCTURAL ENGINEER
  - ⑬ DAMP WATERPROOFING

**NOTE:**

1. CONCRETE FOOTING AND REINFORCEMENT ARE SHOWN FOR BIDDING PURPOSES ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR CONSTRUCTION.



**FREESTANDING CMU WALL** 2  
Scale: N.T.S. cmuWall L-104

# DESIGN INTENT DETAILS (TOWN HOMES) MURPHY RANCH

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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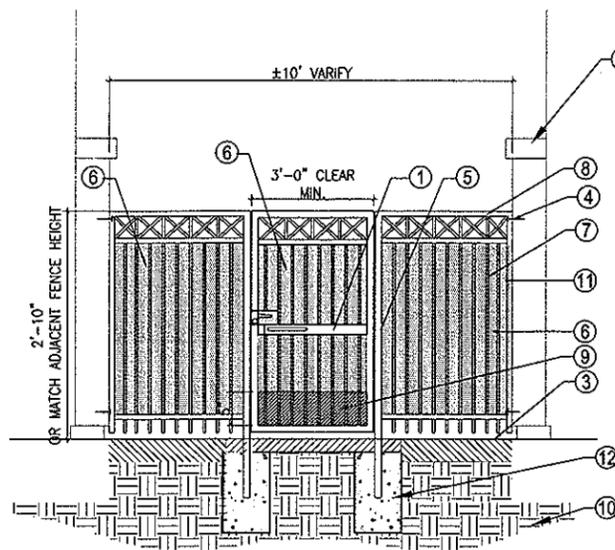


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SHEET NUMBER  
**L-104**

JULY 11, 2007



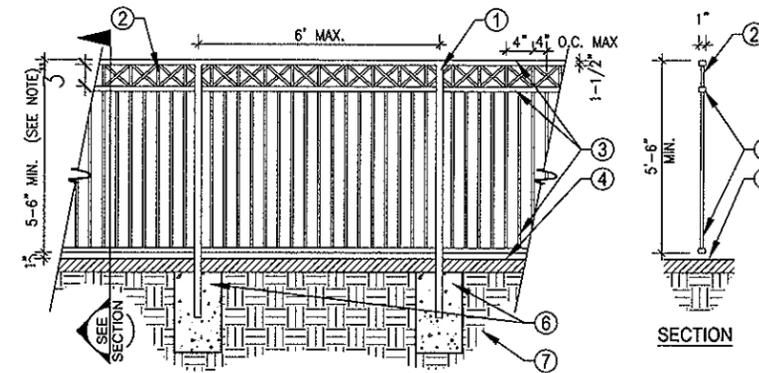
**LEGEND**

- ① INSTALL EXTERIOR GRADE PANIC HARDWARE ON INSIDE OF GATE PER HEALTH CODE & FIRE DEPT. REQUIREMENTS.
  - ② BUILDING COLUMN
  - ③ FINISH SURFACE
  - ④ SECURE FRAME TO BLDG. COLUMN (VERIFY W/ ARCHITECTURE APPROPRIATE CONNECTION) OR SET AS POST IN FOOTING
  - ⑤ THREE (3) HEAVY DUTY "EXTERIOR" SELF CLOSING HINGES. SECURE DOOR JAMBS W/ MACHINE SCREWS
  - ⑥ PERFORATED SHEET METAL BETWEEN PICKETS AND OVERLAY BAR
  - ⑦ 5/8" SQUARE TUBULAR STEEL PICKETS AT 4" O.C. (16 GA.)
  - ⑧ 2" SQ. TUBULAR STEEL FRAME (10 GA.)
  - ⑨ 3/16" THK. METAL KICK PLATE BOTH SIDES FIT FLUSH TO FRAME
  - ⑩ SUBGRADE PER GEOTECHNICAL REPORT
  - ⑪ METAL FENCE
  - ⑫ CONCRETE FOOTING
- NOTE:  
 1. CONTRACTOR TO PROVIDE SHOP DRAWINGS.  
 2. POOL GATE TO BE SELF CLOSING AND SELF LATCHING PER FIRE MARSHALL

**TUBULAR STEEL POOL GATE (SIMILAR)**

Scale: 1/4" = 1'-0"

04137-02 3 L-105



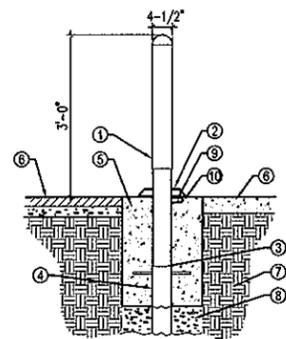
**LEGEND**

- ① 2" SQ. TUBULAR STEEL POST (10 GA.)
  - ② 5/8" SQ. TUBULAR STEEL PICKET @ 4" O.C. (16 GA.)
  - ③ 1-1/2"x2" TUBULAR STEEL TOP AND BOTTOM RAIL ON EDGE (10 GA.)
  - ④ FINISH SURFACE OR FINISHED GRADE
  - ⑥ CONCRETE FOOTING
  - ⑦ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- NOTES:  
 1. CONTRACTOR TO PROVIDE SHOP DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL ENGINEERING OF FOOTING.

**TUBULAR STEEL POOL FENCE (SIMILAR)**

Scale: 1/4" = 1'-0"

04137-01 1 L-105



**LEGEND**

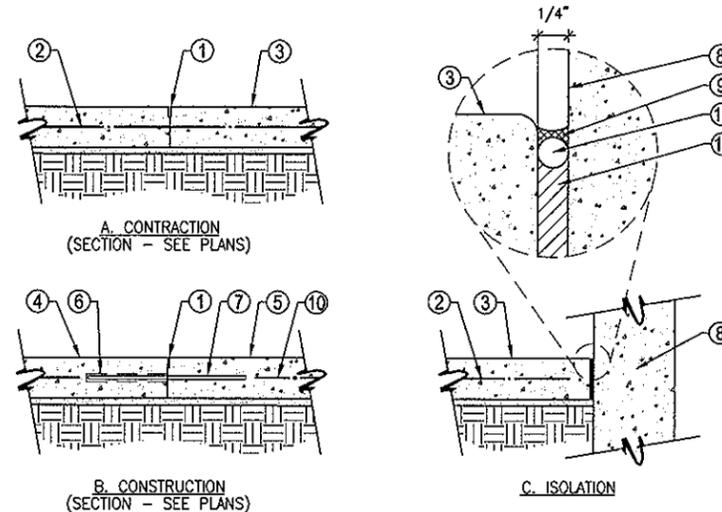
- ① REMOVABLE METAL BOLLARD
- ② BASECOVER
- ③ REMOVABLE BOLLARD INSERT
- ④ POST FOOTING SLEEVE
- ⑤ CONCRETE FOOTING - REFER TO MANUFACTURER'S SUGGESTED SPECIFICATIONS
- ⑥ ASPHALT PAVING/ CONC. PAVERS
- ⑦ COMPACTED SUB-GRADE
- ⑧ GRAVEL DRAIN ROCK SUB-BASE
- ⑨ LOCK- BY OTHERS
- ⑩ CREATE RECESS IN FOOTING FOR INSTALLATION AND REMOVAL OF LOCK

NOTE:  
 INSTALL PER MANUFACTURER'S SPECIFICATIONS

**BOLLARD**

Scale: 3/4" = 1'-0"

04137-05 4 L-105



**LEGEND**

- ① HAND-TOOLED JOINT, MAXIMUM WIDTH OF 3/16" DEPTH OF JOINT AT 1/4 THE DEPTH OF SLAB OR SAWCUT JOINT (SEE PAVING SCHEDULE)
- ② #4 CONTINUOUS REBAR
- ③ FINISH SURFACE OF PAVING
- ④ POUR "A" CONCRETE SLAB
- ⑤ POUR "B" CONCRETE SLAB
- ⑥ PLASTIC "SPEED DOWEL" TUBE EMBEDDED IN POUR "A" SLAB
- ⑦ 1/2" SMOOTH STEEL DOWEL CONNECTED POUR "A" AND "B" SEPARATELY - EITHER 12" OR 18" LONG X 18" OR 24" O.C. - PER GEOTECHNICAL REPORT
- ⑧ VERTICAL SURFACE, I.E. WALL, COLUMN, STEPS, ETC.
- ⑨ JOINT SEALANT. COLOR TO MATCH CONCRETE
- ⑩ REBAR SIMILAR TO NOTE 2 ABOVE BUT DO NOT CONNECT POUR "A" AND "B" TOGETHER
- ⑪ CLOSED CELL BACKER ROD
- ⑫ ISOLATION JOINT FILLER

**PAVING JOINTS**

Scale: no scale

joint 2 L-105

**DESIGN INTENT DETAILS  
 (TOWN HOMES)  
 MURPHY RANCH**

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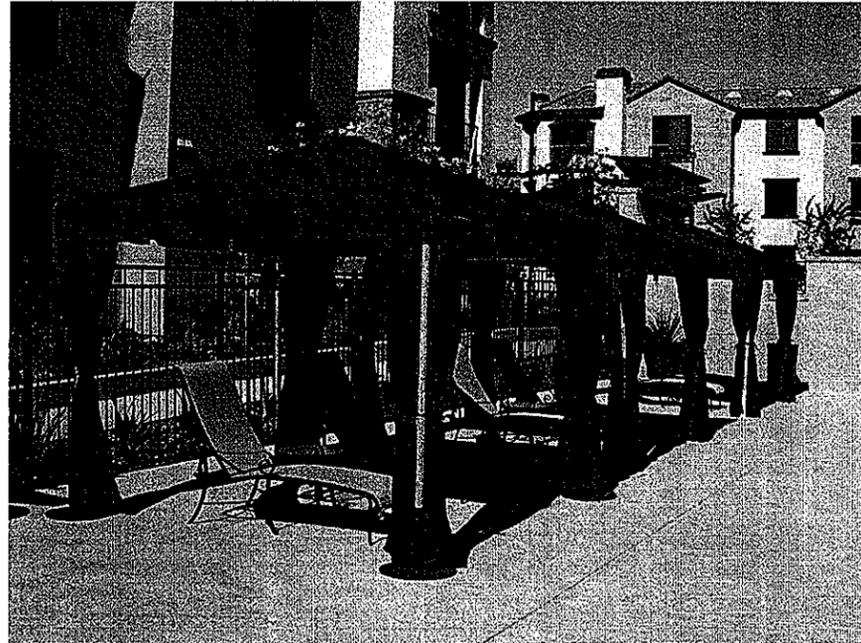
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**L-105**

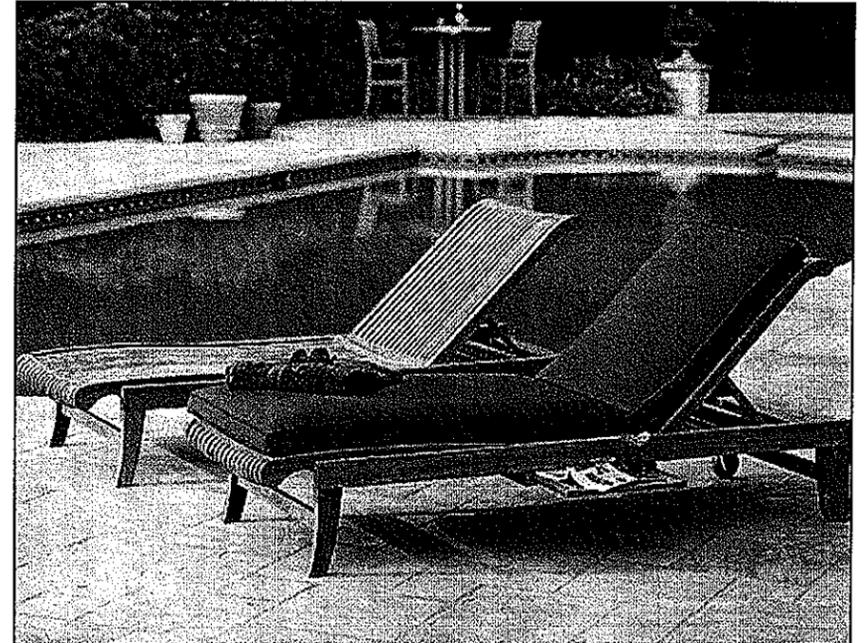
JULY 11, 2007



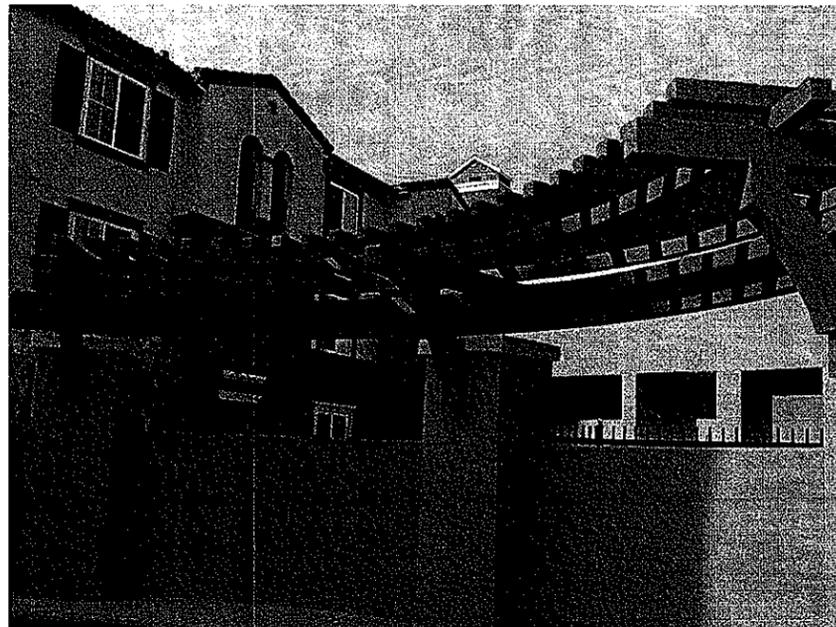
SPA TRELLIS - AMENITY IMAGE (SIMILAR)



CABANA - AMENITY IMAGE (SIMILAR)



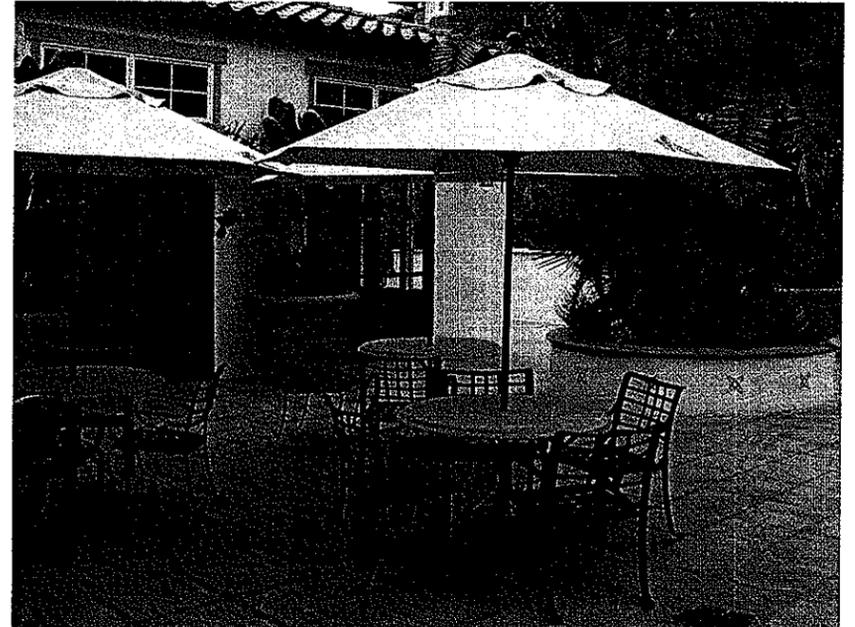
CHAISE LOUNGE - AMENITY IMAGE (SIMILAR)



SPA TRELLIS - AMENITY IMAGE (SIMILAR)



ARBOR ENTRY- AMENITY IMAGE (SIMILAR)



UMBRELLA TABLES - AMENITY IMAGE (SIMILAR)

## AMENITIES IMAGES (APARTMENTS/ TOWN HOMES) MURPHY RANCH

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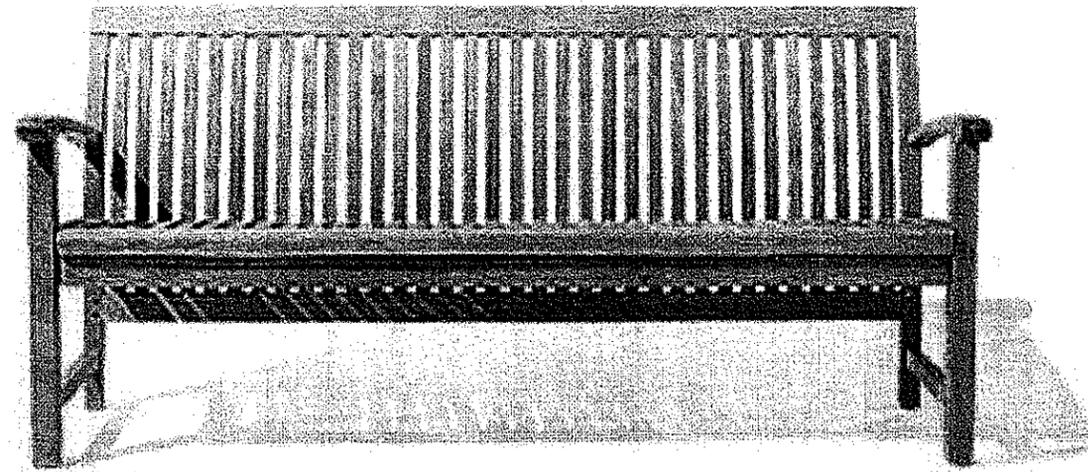
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SHEET NUMBER

**L-106**

JULY 11, 2007



WOOD BENCH - AMENITY IMAGE (SIMILAR)



PLAY STRUCTURE - AMENITY IMAGE (SIMILAR)



BBQ - AMENITY IMAGE (SIMILAR)

**AMENITIES IMAGES  
(APARTMENTS/TOWN HOMES)  
MURPHY RANCH**

CITY OF MILPITAS

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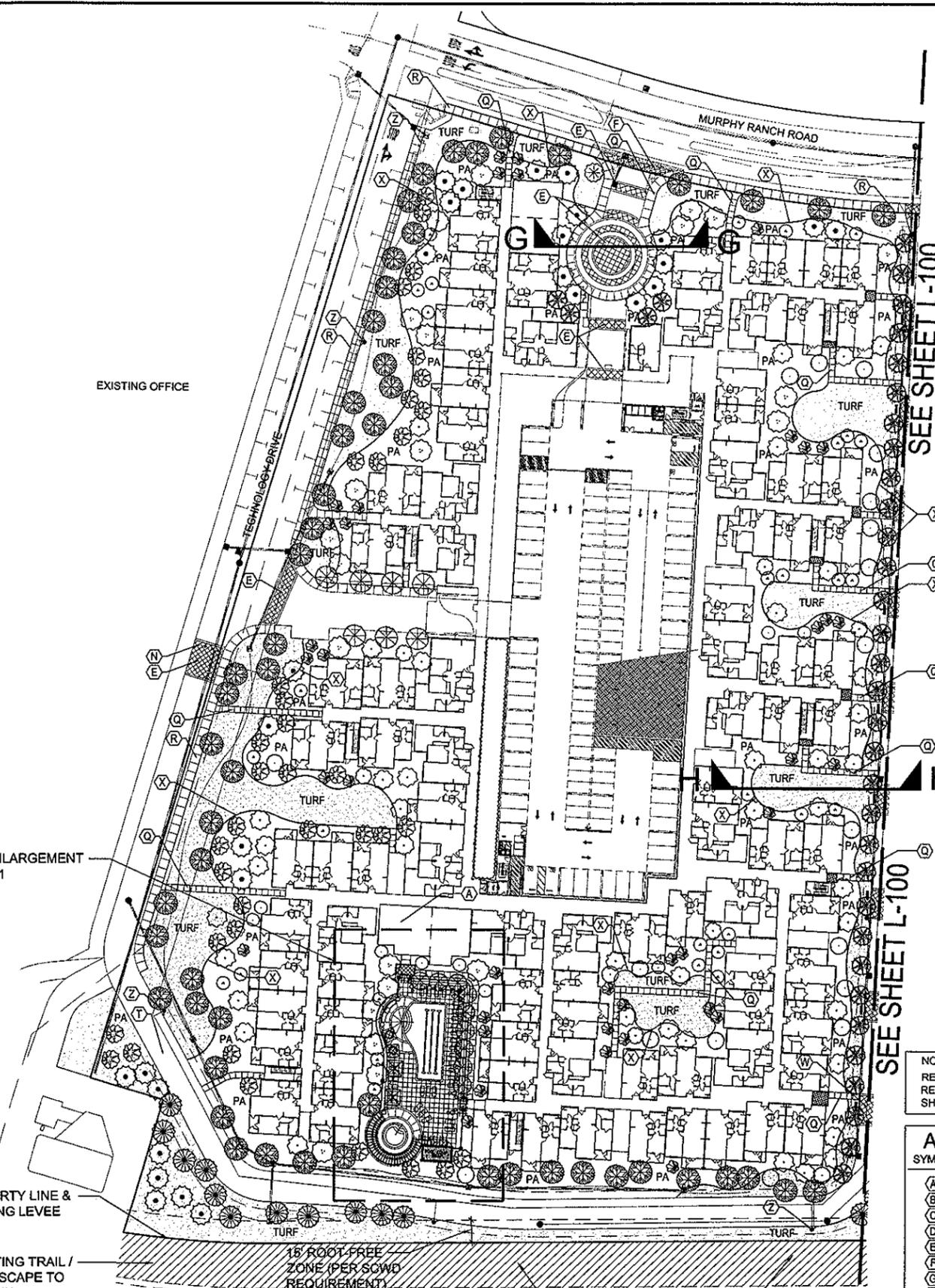
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SHEET NUMBER  
**L-107**

JULY 11, 2007



### TREE & SHRUB LEGEND

DISCRPTION	SYMBOL	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SIZE AT 5 YEAR GROWTH (HT. X SPREAD)	SIZE AT MATURITY (HT. X SPREAD)
MURPHY RANCH ROAD STREET TREE		Liquidambar styraciflua	American Sweet Gum	24" BOX	15'x8'	25'x30'
INTERIOR MAIN STREET TREE		Cinnamomum camphora	Camphor Tree	24" BOX	16'x12'	35'x35'
INTERIOR SECONDARY STREET TREE (LOOP ROAD)		Podocarpus gracilior	Fern Pine	24" BOX	12'x6'	20'x10'
ENTRY DRIVE / SPECIMEN TREE		Cinnamomum camphora	Camphor Tree	36" BOX	16'x12'	25'x25'
		Jacaranda mimosifolia	Jacaranda	36" BOX		
		Magnolia grandiflora 'Samuel Sommer'	Southern Magnolia	36" BOX	12'x8'	25'x25'
		Sequoia sempervirens	Coast Redwood	36" BOX		
FIRE LANE STREET TREE		Lophostemon confertus	Brisbane Box	24" BOX	20'x10'	25'x25'
POOL / RECREATION COURT		Gingko biloba	Ginkgo	24" BOX	10'x8'	25'x20'
		Jacaranda mimosifolia	Jacaranda	24" BOX		
		Prunus c. 'Krauter Vesuvius'	Purple Leaf Plum	24" BOX	10'x8'	18'x12'
		Sequoia sempervirens	Coast Redwood	24" BOX		
NEIGHBORHOOD FOREST / COURTYARD		Bambusa m. 'Alphonse Karr'	'Alphonse Karr' Bamboo	20 GAL.	10' TALL	20' TALL
		Juniperus c. 'Spartan'	Spartan Juniper	15 GAL.	10'x3'	12'x4'
		Podocarpus henkelii	Long-Leaf Yellowwood	24" BOX	12'x6'	20'x5'
CREEK VIEW TREE		Quercus agrifolia	Coast Live Oak	24" BOX	12'x8'	30'x30'
BUFFER / PERIMETER PLANTING		Liriodendron tulipifera	Tulip Tree	24" BOX	18'x10'	25'x25'
		Pistacia chinensis	Chinese Pistache	24" BOX		40'x25'
		Liquidambar styraciflua	American Sweet Gum	24" BOX	15'x8'	25'x30'
		Sequoia sempervirens	Coast Redwood	24" BOX		
VINES (⊗ TRELLIS)		Clytostoma callistegioides	Violet Trumpet Vine	5 GAL.	-	VINE
GROUNDCOVER & SHRUBS		Asparagus sprengeri	Asparagus	1 Gal.	-	-
		Rosa floribunda 'Iceberg'	Iceberg Rose	1 Gal.	-	With Annual Color
		Trachelospermum jasminoides	Star Jasmine	1 Gal.	-	-
		Anthoxanthus Odorum	Sweet Vernal Grass	1 Gal.	-	Random Mix
		Carex Tumulicola	Berkeley Sedge	1 Gal.	-	Random Mix
		Festuca Cinerea	Blue Fescue	1 Gal.	-	Random Mix
		Festuca Muelleri	Mueller's Fescue	1 Gal.	-	Random Mix
		Muhlenbergia Rigens	Deer Grass	1 Gal.	-	Random Mix
		Turf	Marathon II Sod	1 Gal.	-	-
		Turf	Marathon II Sod	1 Gal.	-	-

NOTE:  
 REFER TO SHEET L-202 FOR SECTIONS.  
 REFER TO SHEETS L-204 & SHEET L-205 FOR DETAILS AND SHEET L-106 & SHEET L-107 FOR PROJECT AMENITY IMAGES.

### AMENITIES LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CLUBHOUSE		REMOVABLE BOLLARDS (FIRE LANE)
	POOL / SPA DECK		BENCH
	SHOWER AT POOL		TUBULAR STEEL FENCE
	DRINKING FOUNTAIN		WALK
	ENHANCED PAVING		PUBLIC SIDEWALK
	PEDESTRIAN CROSSING		POOL EQUIPMENT ENCLOSURE
	OVERHEAD TRELLIS		FIRE LANE
	UMBRELLA W/ TABLES & CHAIRS		PILASTER
	RAISED PLANTER		POOL / SPA STEPS
	CABANA		ENHANCED PAVING AT FIRE LANE
	PLANTER POTS		CONCRETE HEADER
	POOL CHAISE LOUNGE		BBQ/COUNTER TOP
	STEEL GATE		UTILITIES

# LANDSCAPE CONCEPT PLAN (APARTMENTS) MURPHY RANCH

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

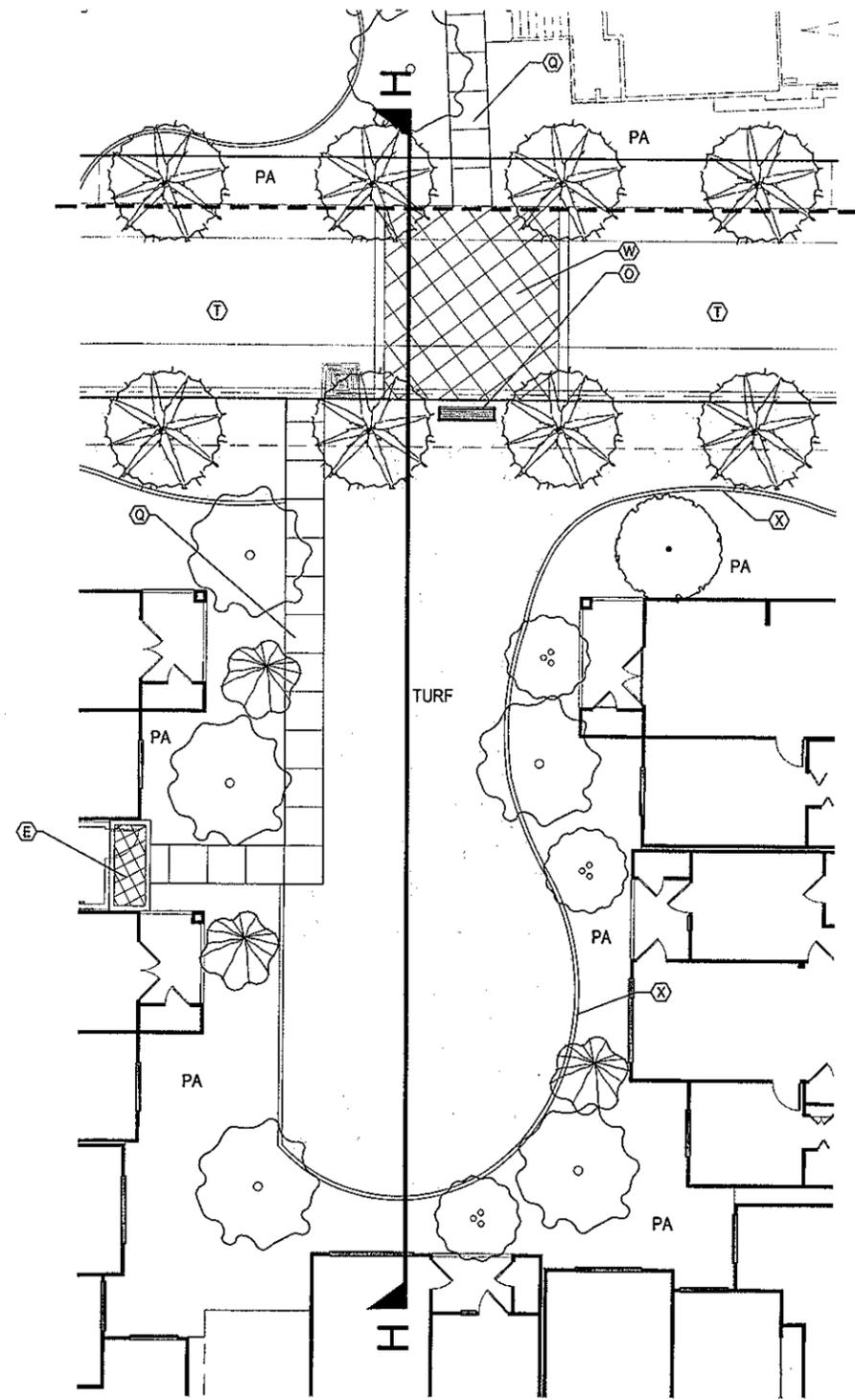
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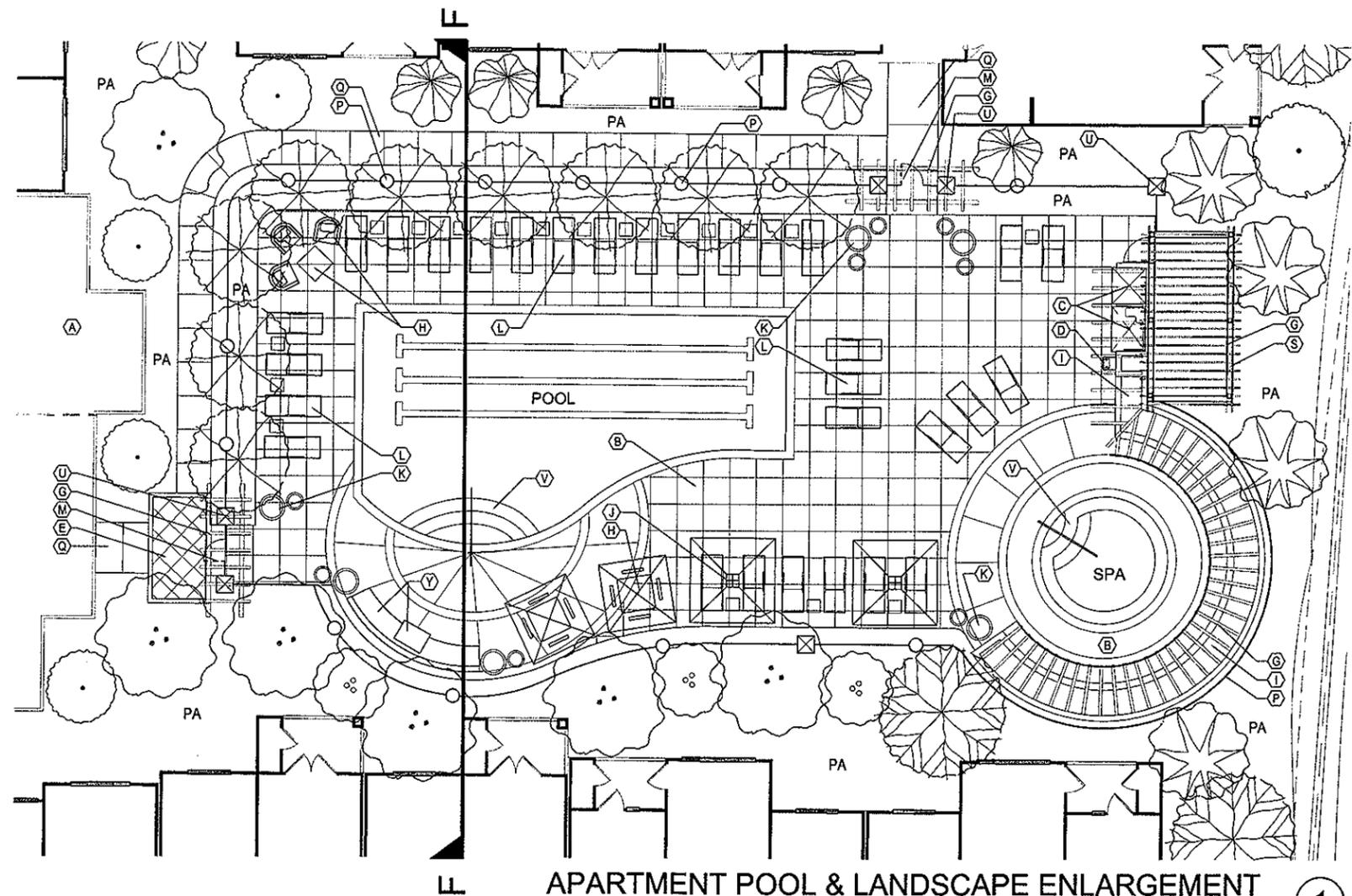
SHEET NUMBER  
**L-200**

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JULY 11, 2007



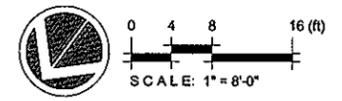
APARTMENT TYPICAL COURTYARD ENLARGEMENT (2)



APARTMENT POOL & LANDSCAPE ENLARGEMENT (1)

NOTE:  
REFER TO SHEET L-202 FOR SECTIONS.  
REFER TO SHEETS L-204 & SHEET L-205 FOR DETAILS AND  
SHEET L-106 & SHEET L-107 FOR PROJECT AMENITY IMAGES.

AMENITIES LEGEND	
SYMBOL	DESCRIPTION
(A)	CLUBHOUSE
(B)	POOL / SPA DECK
(C)	SHOWER AT POOL
(D)	DRINKING FOUNTAIN
(E)	ENHANCED PAVING
(F)	PEDESTRIAN CROSSING
(G)	OVERHEAD TRELLIS
(H)	UMBRELLA W/ TABLES & CHAIRS
(I)	RAISED PLANTER
(J)	CABANA
(K)	PLANTER POTS
(L)	POOL CHAISE LOUNGE
(M)	STEEL GATE
(N)	REMOVABLE BOLLARDS (FIRE LANE)
(O)	BENCH
(P)	TUBULAR STEEL FENCE
(Q)	WALK
(R)	PUBLIC SIDEWALK
(S)	POOL EQUIPMENT ENCLOSURE
(T)	FIRE LANE
(U)	PILASTER
(V)	POOL / SPA STEPS
(W)	ENHANCED PAVING AT FIRE LANE
(X)	CONCRETE HEADER
(Y)	BBQ/COUNTER TOP
(Z)	UTILITIES



# ENLARGEMENTS (APARTMENTS) MURPHY RANCH

CITY OF MILPITAS      SANTA CLARA COUNTY      CALIFORNIA

**FAIRFIELD RESIDENTIAL LP ARCHITECTS ORANGE**  
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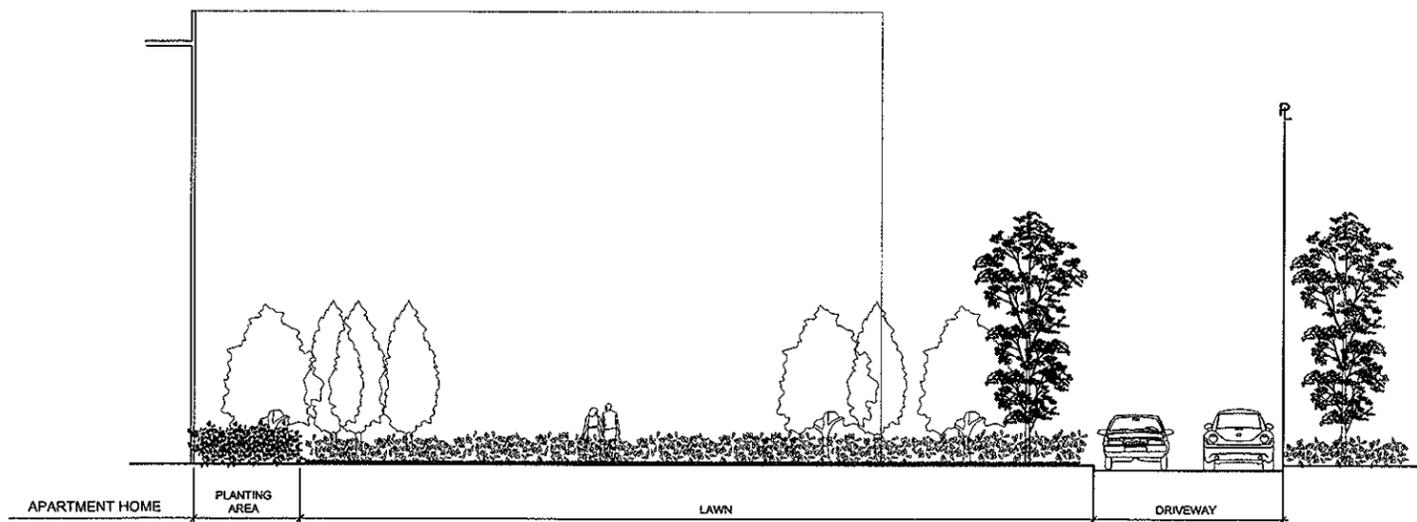


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949.250.0043 f

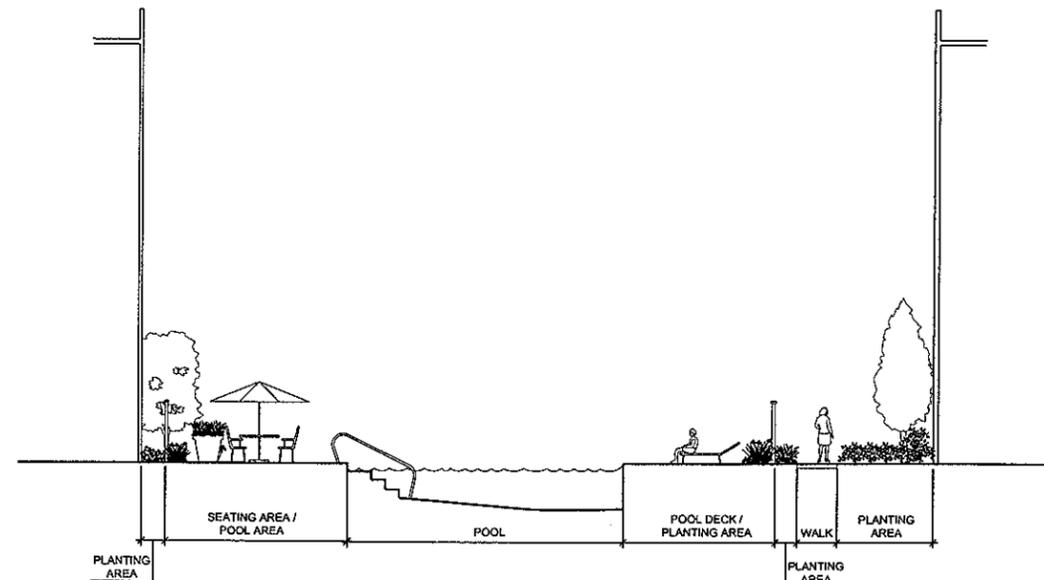
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8111 Bollinger Canyon Road, Suite 150 • San Ramon, CA 94583  
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SHEET NUMBER  
**L-201**

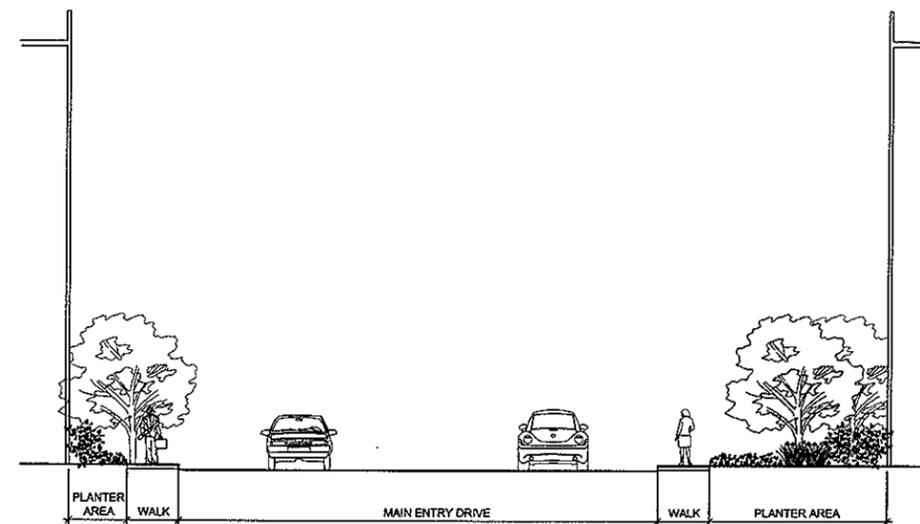
JULY 11, 2007



SECTION H - H (3)  
SCALE: 1" = 1/8'



SECTION F - F (1)  
SCALE: 1" = 1/8'



SECTION G - G (2)  
SCALE: 1" = 1/8'

# SECTIONS (APARTMENTS) MURPHY RANCH

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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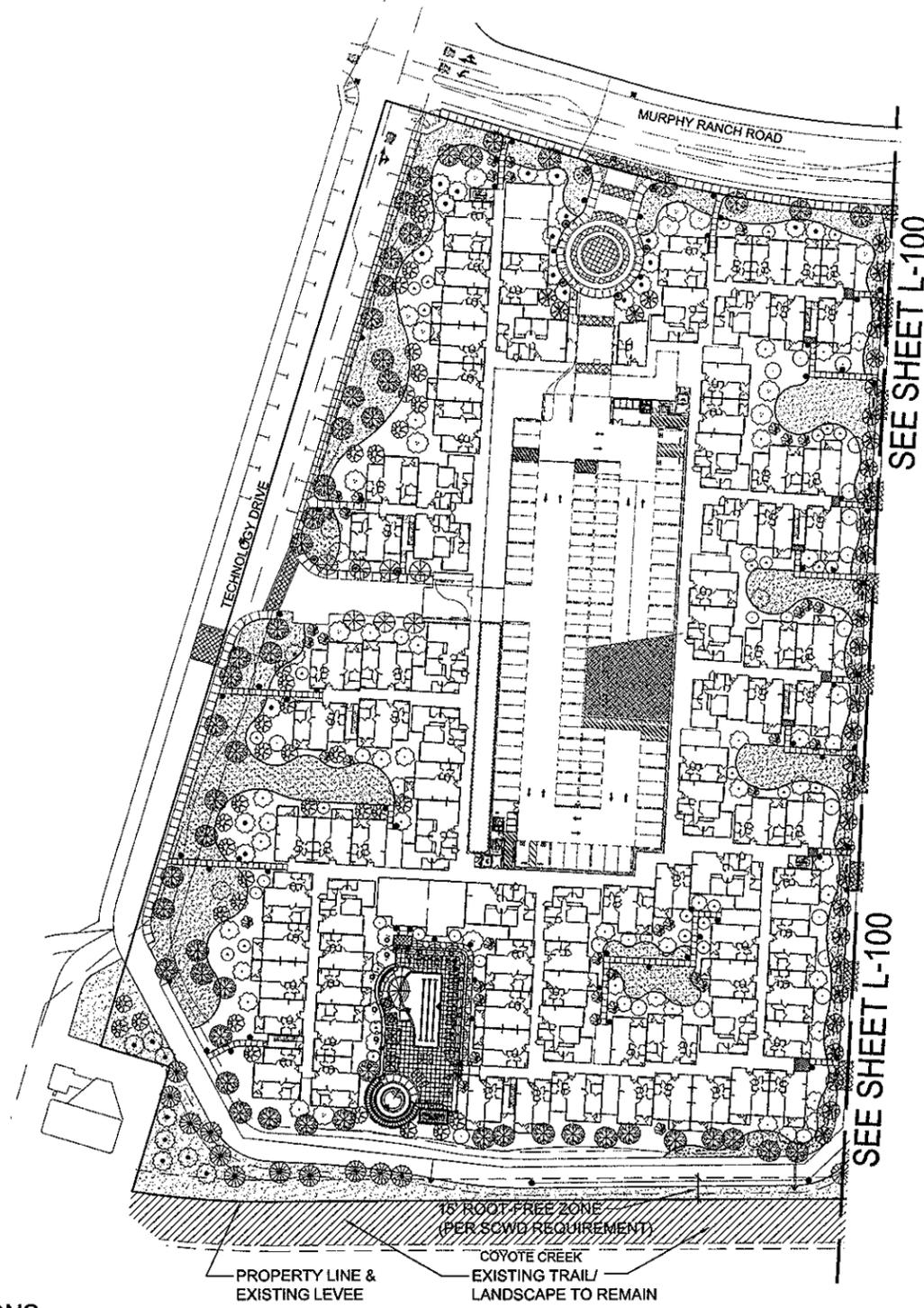
*ima design*

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SHEET NUMBER  
**L-202**

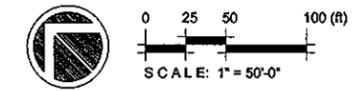
JULY 11, 2007



- NOTES:
1. ADDITIONAL GFCI OUTLETS TO BE PROVIDED IN COURTYARDS FOR HOLIDAY LIGHTING (TBD).
  2. PROVIDE 220 VOLT VAULT OUTLET AT COMMON AREA FOR SPECIAL OUTDOOR EVENTS.

NOTE: THIS SHEET IS FOR COORDINATION PURPOSES ONLY - REFER TO ELECTRICAL DRAWINGS. FIXTURE SPECIFICATION IS FOR DESIGN INTENT PURPOSES AND MAY BE SUBSTITUTED WITH AN EQUAL PRODUCT.

NOTE: ALL PROPOSED ON-SITE LIGHTS SHALL BE AWAY AND SHIELDED FROM THE RIPARIAN FOREST TO PREVENT LIGHT IMPINGEMENT. THE LIGHTING DESIGN SHALL NOT ADVERSELY ENTER THE RIPARIAN CORRIDOR AT NIGHT.



**LANDSCAPE LIGHTING SCHEDULE / SPECIFICATIONS**

SYMBOL	DESCRIPTION	MANUFACTURER	MOUNT	LAMP	VOLT/WATT	COLOR	REMARKS
1 ▲	SCONCE/WALL MOUNTED LIGHT	BASELIGHT CORPORATION	WALL MOUNTED W/ COVER AT BASEPLATE	100W METAL HALIDE	120 100	GALVANIZED	COORDINATE W/ ARCHITECTURE
2 ⊙	POLE LIGHT	ARCH. AREA LIGHTING	12' POLE ABOVE GROUND	150W METAL HALIDE	208 150	SILVER	6" HT. EXPOSED COLORED CONC. FOOTING
3 ⊕	PARKING/INT. STREET POLE LIGHT	ARCH. AREA LIGHTING	20' POLE ABOVE GROUND	200W METAL HALIDE	208 200	SILVER	6" HT. EXPOSED COLORED CONC. FOOTING
4 ●	PATH LIGHT	ARCH. AREA LIGHTING	BOLLARD				42" BOLLARD
5 ----	TRELLIS DOWN LIGHT	B-K LIGHTING	FITTED ON UNDERSIDE OF TRELLIS		12 35	MATCH TRELLIS	MOUNT FIXTURE/TRANSFORMER TO TRELLIS
6 ○	UPLIGHT	OMEGALUX	SURFACE MOUNTED TO BALLAST BOX	CDM35/PAR20/MFL30	120 39	TERRA VERDE GRN.	-
7 ▽	POOL/SPA LIGHT	PER POOL CONTRACTOR					
8 ↗	EXISTING STREET LIGHT	EXISTING	N/A	N/A			

NOTE: MANUFACTURER'S ARE INDICATED FOR DESIGN INTENT PURPOSES. FINAL SELECTIONS SHALL BE

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**LIGHTING CONCEPT PLAN  
 (APARTMENTS)  
 MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



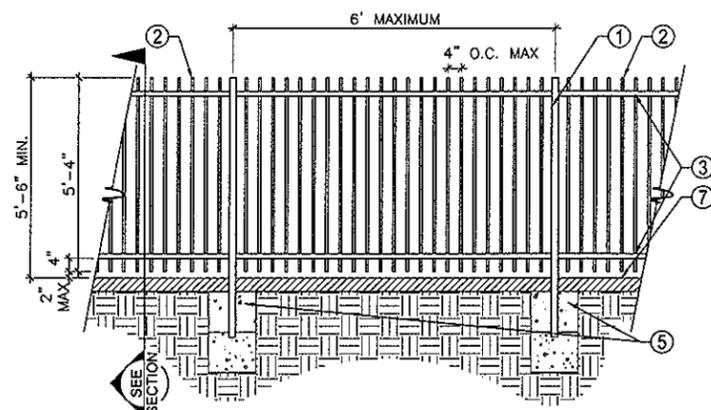
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**L-203**

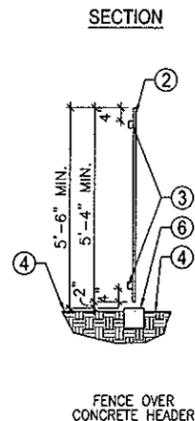
JULY 11, 2007



NOTE: 1. ONE COAT PRIMER AND TWO COATS PAINT (SEE FINISH SCHEDULE FOR COLOR).  
 2. CONTINUOUS WELD ALL CONNECTIONS AND GROUND SMOOTH.  
 3. FLUSH WELDED METAL ENDS OF THE POST AND PICKETS.  
 4. SUBMIT SHOP DRAWINGS FOR OWNER'S APPROVAL PRIOR TO FABRICATION.

**METAL POOL FENCE (SIMILAR)**

Scale: 1/2"=1'-0"

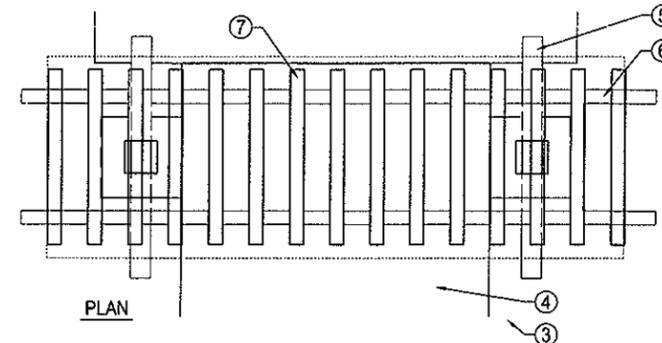


SECTION

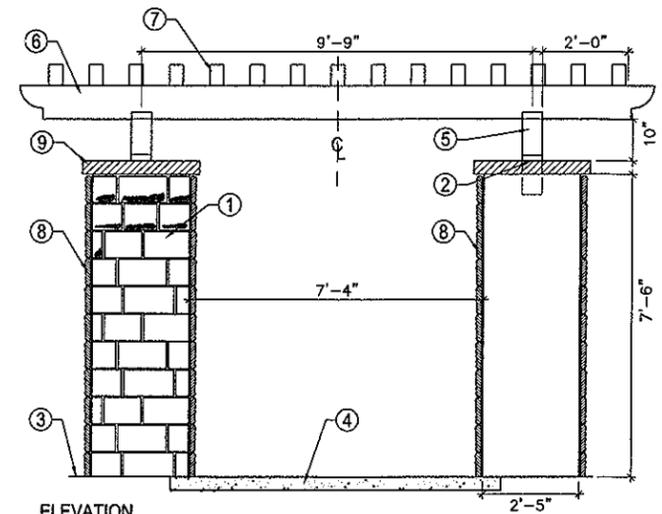
FENCE OVER CONCRETE HEADER

**LEGEND**

- ① 2" x 2" TUBULAR STEEL POST (11 GA.)
- ② 3/4" TUBULAR STEEL PICKET @ 4" O.C. (16 GA.)
- ③ 1-1/2" x 2" TUBULAR STEEL TOP AND BOTTOM RAIL ON EDGE (11 GA.)
- ④ FINISH GRADE
- ⑤ CONCRETE FOOTING; REFER TO TUBULAR STEEL POST FOOTING
- ⑥ CONCRETE HEADER
- ⑦ FINISH SURFACE OF CONC HEADER OR PAVING



PLAN



ELEVATION

**LEGEND**

- ① PILASTER
- ② METAL SADDLE
- ③ FINISH SURFACE
- ④ CONCRETE SIDEWALK
- ⑤ 6 X 12 BEAM. SECURE TO SIMPSON BASE W/ (2) TWO 5/8" DIA. SSTL MACHINE BOLTS.
- ⑥ 4 X 10 JOIST ON EDGE. NOTCH 1-1/2" INTO THE BEAM BELOW. SECURE BY TOE NAILING INTO BEAM. 36" O.C. EXTEND 2'-0" BEYOND COLUMN FACE.
- ⑦ 4 X 6 LATTICE ON EDGE. SECURE TO JOISTS BY TOE NAILING. 12" O.C. 1/2" CHAMFER ENDS ALL EDGED
- ⑧ STUCCO FINISH
- ⑨ CMU PRECISION CAP

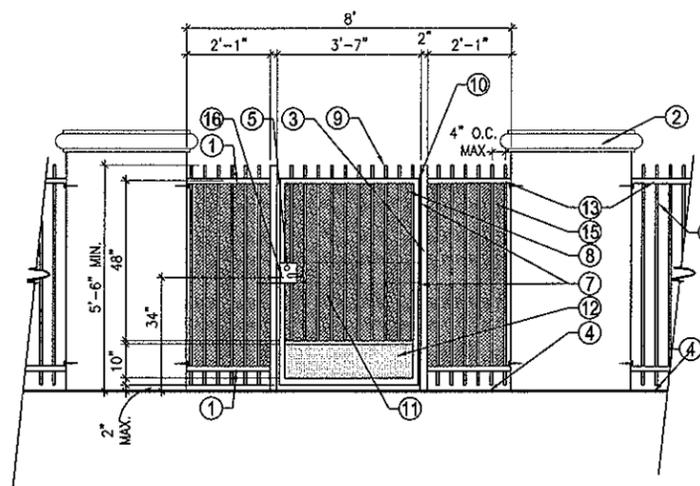
**NOTES**

- A. MEMBER SIZES AND ATTACHMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. FOOTING AND REINFORCEMENT MUST BE SIGNED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
- B. ALL WOOD TO BE DOUGLAS FIR PER STRUCTURAL PLAN.
- C. ALL METAL CONNECTORS TO EITHER HOT DIPPED GALVANIZED OR STAINLESS STEEL AS NOTED. PAINT CONNECTOR SAME COLOR AS WOOD.

**PEDESTRIAN GATEWAY TRELLIS**

Scale: 1/2"=1'-0"

overhead trellis



**TUBULAR STEEL POOL GATE & ENTRY TRELLIS (SIMILAR)**

Scale: 1/2"=1'-0"

**LEGEND**

- ① 1-1/2" x 2" T.S. TOP AND BOTTOM RAIL (11 GA.)
- ② COLUMN; SEE DETAIL
- ③ GATE POST 3" x 3" T.S. POST (11 GA.)
- ④ FINISH SURFACE (CONCRETE PAVING)
- ⑤ EXTERIOR DEAD-BOLT LOCK. DEAD BOLT TO BE KEYPED SEPERATE FROM DOOR LEVER FOR MANAGEMENT PURPOSES.
- ⑥ FINISH SURFACE (CONCRETE HEADER)
- ⑦ THREE (3) HEAVY DUTY "EXTERIOR" SELF CLOSING HINGES. SECURE DOOR JAMBS W/ MACHINE SCREWS. CONTRACTOR TO SUBMIT DRAWINGS TO OWNER.
- ⑧ STEEL GRILL R-40. HEXAGON 1/4" OPENINGS. SANDWICH BETWEEN VERTICAL PICKETS AND VERTICAL FLAT BAR. ALIGN FLAT BAR W/ PICKETS.
- ⑨ 3/4" DIAMETER TUBULAR STEEL PICKETS @ 4" O.C. (16 GA.)
- ⑩ 2" SQ. TUBULAR STEEL FRAME (11 GA.)
- ⑪ PANIC HARDWARE AS REQUIRED
- ⑫ 3/16" METAL KICK PLATE BOTH SIDES FIT FLUSH TO FRAME
- ⑬ 3/8" DIA. LAG BOLT/ PILASTER ATTACHMENT
- ⑭ NOT USED
- ⑮ TUBULAR STEEL POOL FENCE
- ⑯ LEVER TYPE EXTERIOR GRADE LOCKING HARDWARE KEY COMMON AREA SIDE PER OWNER'S DIRECTION. POOL/ SPA SIDE TO HAVE KEYLESS ENTRY - SELF CLOSING.

**NOTE:**

- 1. WELD ALL JOINTS AND ALL SIDES SOLID.
- 2. CONTRACTOR SHALL GRIND ALL WELDS SMOOTH AND APPLY (2) COATS RUST PROHIBITIVE PRIMER AND ONE (1) COAT OF COLOR.
- 3. AFTER GATE HAS BEEN ASSEMBLED AND IS FULLY OPERATIONAL, THE CONTRACTOR SHALL APPLY ONE (1) COAT COLOR PER MANUFACTURER'S SPECIFICATIONS.
- 4. ALL METAL POSTS, FRAMES AND DOOR JAMBS TO BE 10 GAUGE STEEL. ALL PICKETS TO BE 12 GAUGE STEEL. PERFORATED METAL PLATE SHALL BE 14 GAUGE ALUMINUM W 5/32" ROUND HOLES @ 3/16" ON CENTER (63% OPEN).
- 5. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR OWNER'S APPROVAL PRIOR TO FABRICATION.

POOL GATE

**DESIGN INTENT DETAILS (APARTMENTS) MURPHY RANCH**

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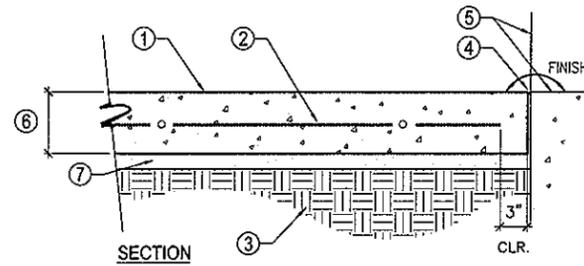


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SHEET NUMBER  
**L-204**

JULY 11, 2007



**LEGEND**

- ① CONCRETE PAVING
- ② REINFORCING PER GEOTECHNICAL REPORT
- ③ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- ④ SEALED ISOLATION JOINT
- ⑤ ADJACENT VERTICAL OR HORIZONTAL SURFACE
- ⑥ 4" THICK AT PEDESTRIAN AREAS; 6" THICK AT VEHICULAR AREAS
- ⑦ 1" THICK WASHED CONCRETE SAND

**CONCRETE PAVING**

Scale: 1-1/2"=1'-0"

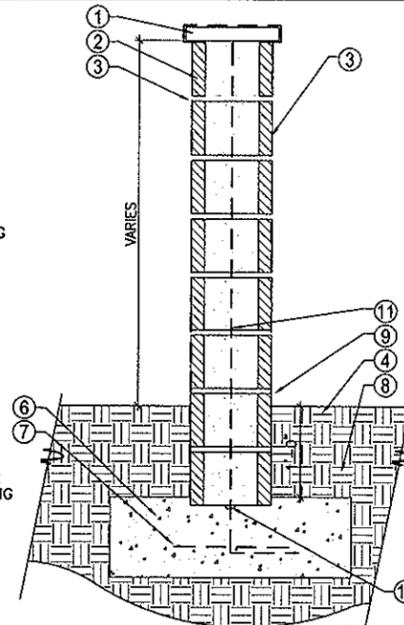
concrete paver L-205

**LEGEND**

- ① CMU PRECISION CAP
- ② 8x12x12 CMU PRECISION BLOCK GROUT EVERY OTHER CELL COLUMN SOLID
- ③ STUCCO
- ④ FINISHED SURFACE
- ⑤ ISOLATION JOINT
- ⑥ CONCRETE FOOTING
- ⑦ REINFORCEMENT PER STRUCTURAL ENG
- ⑧ COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- ⑨ STUCCO SCREED - PAINT EXPOSED BLOCK BELOW TO MATCH STUCCO
- ⑩ 1-1/2" KEY
- ⑪ REINFORCEMENT, INCLUDING BOND BEAM, PER STRUCTURAL ENGINEER

**NOTE:**

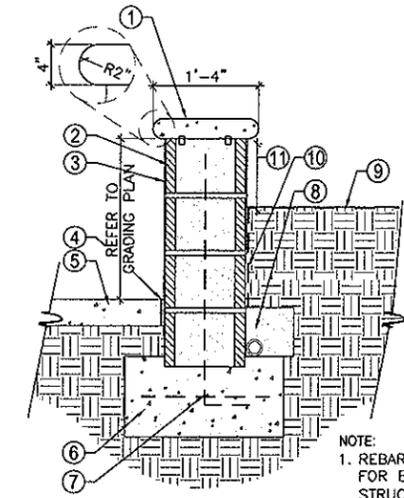
A. CONCRETE FOOTING AND REINFORCEMENT ARE SHOWN FOR BIDDING PURPOSES ONLY. FOOTING AND REINFORCEMENT MUST BE SIGNED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.



**CMU PILASTER**

Scale: 1"=1'-0"

fencepilaster L-205



**LEGEND**

- ① CONCRETE CAP
- ② 8 x 12 x 16 CMU PRECISION BLOCK GROUT SOLID
- ③ STUCCO ALL EXPOSED PORTIONS OF THE WALL TO MATCH ARCH
- ④ ISOLATION JOINT
- ⑤ ADJACENT PAVING/PLANTING
- ⑥ CONCRETE FOOTING PER STRUCTURAL ENGINEER
- ⑦ REINFORCEMENT
- ⑧ DRAIN POCKET - SEE CIVIL'S PLANS
- ⑨ FINISH GRADE
- ⑩ DAMP WATERPROOFING
- ⑪ 1-1/2" MIN

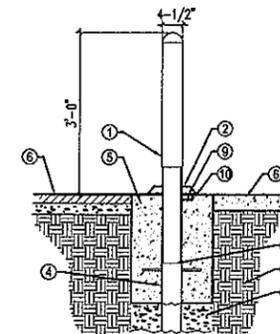
**NOTE:**

1. REBAR AND REINFORCEMENT ARE SHOWN FOR BIDDING PURPOSES ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR CONSTRUCTION.  
2. REFER TO CIVIL ENGINEER'S DRAWINGS FOR DRAINAGE PIPE CONNECTION.

**CMU SEATWALL/ PLANTER**

Scale: 1"=1'-0"

cmuSeatWall L-205



**LEGEND**

- ① REMOVABLE METAL BOLLARD
- ② BASECOVER
- ③ REMOVABLE BOLLARD INSERT
- ④ POST FOOTING SLEEVE
- ⑤ CONCRETE FOOTING - REFER TO MANUFACTURER'S SUGGESTED SPECIFICATIONS
- ⑥ ASPHALT PAVING/ CONC. PAVERS
- ⑦ COMPACTED SUB-GRADE
- ⑧ GRAVEL DRAIN ROCK SUB-BASE
- ⑨ LOCK- BY OTHERS
- ⑩ CREATE RECESS IN FOOTING FOR INSTALLATION AND REMOVAL OF LOCK

**NOTE:**

INSTALL PER MANUFACTURER'S SPECIFICATIONS

**BOLLARD**

Scale: 3/4" = 1'-0"

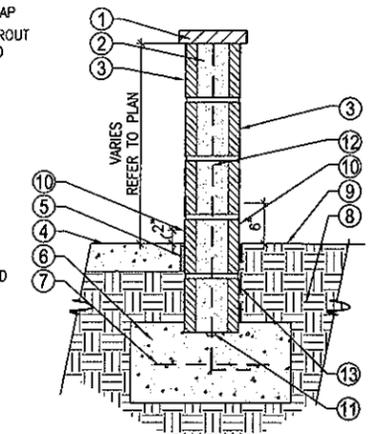
04137-05 L-205

**LEGEND**

- ① 2x12x16" CMU PRECISION WALL CAP
- ② 8x8x16 CMU PRECISION BLOCK GROUT EVERY OTHER CELL COLUMN SOLID
- ③ STUCCO
- ④ ADJACENT PAVING SURFACE
- ⑤ ISOLATION JOINT
- ⑥ CONCRETE FOOTING
- ⑦ REINFORCEMENT
- ⑧ COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT
- ⑨ FINISH SURFACE WHERE APPLICABLE - REFER TO PLANS
- ⑩ STUCCO SCREED - PAINT EXPOSED BLOCK BELOW TO MATCH STUCCO
- ⑪ 1-1/2" KEY
- ⑫ REINFORCEMENT, INCLUDING BOND BEAM, PER STRUCTURAL ENGINEER
- ⑬ DAMP WATERPROOFING

**NOTE:**

1. CONCRETE FOOTING AND REINFORCEMENT ARE SHOWN FOR BIDDING PURPOSES ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR CONSTRUCTION.



**FREESTANDING CMU WALL**

Scale: N.T.S.

cmuWall L-205

**DESIGN INTENT DETAILS  
(APARTMENTS)  
MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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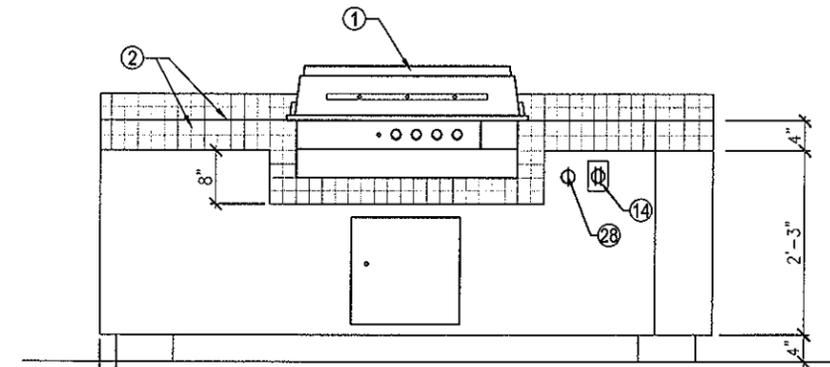
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SHEET NUMBER  
**L-205**

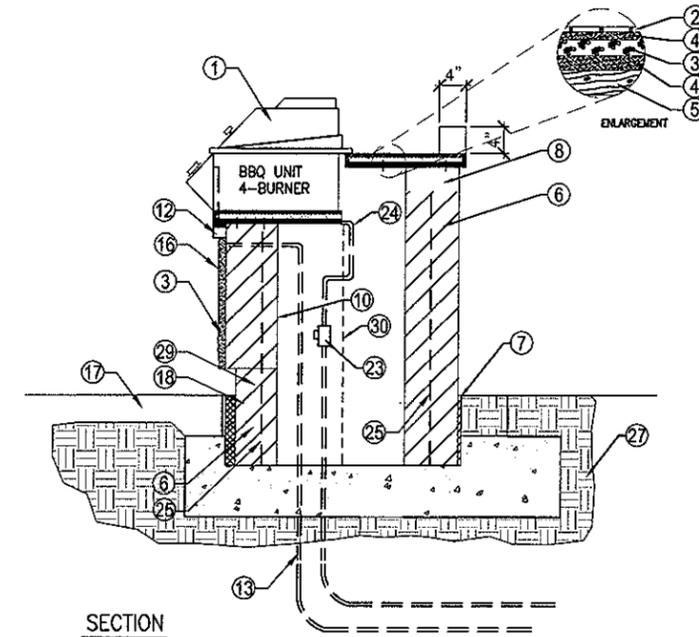
JULY 11, 2007

**LEGEND**

- ① NATURAL GAS BARBEQUE. MODEL TO BE SELECTED. VERIFY COUNTER OPENING WITH MODEL.
- ② CERAMIC/PORCELAIN TILE COUNTER TOP AND THIN SET MORTAR BASE. TILE TO HAVE CHECKBOARD 2" X 2" PATTERN W/ COLOR TO MATCH PAVING. SUBMIT SAMPLE DAL TILE FOR APPROVAL.
- ③ 1/2" WONDERBOARD. ALLOW 1/8" MIN. TO 3/16" JOINTS BETWEEN BOARDS. PIN TYPE CONNECTIONS TO PLYWOOD BELOW. CONTRACTOR TO SUBMIT SAMPLE. FILL JOINTS AND VOIDS FROM PIN CONNECTIONS WITH PORTLAND LATEX MORTAR.
- ④ PORTLAND LATEX MORTAR SETTING BED. APPLY MORTAR WITH A 1/4" SQUARE NOTCH TROWEL.
- ⑤ 3/4" CDX MARINE GRADE PLYWOOD. SECURE PLYWOOD TO CMU BARE WITH 1-3/4" X 3/16" GRIP DECK, OR APPROVED EQUAL, CONCRETE SCREWS.
- ⑥ 8 X 8 X 16 PRECISION CMU. GROUT SOLID.
- ⑦ WATERPROOFING PER WATERPROFING CONSULTANT.
- ⑧ NOTCH CMU TO ALLOW FOR ONE (1) 3 X 6 VENT ON BACK SIDE AT EACH END (TWO TOTAL).
- ⑨ PRECISION CMU, TURN SIDWAYS, TO SUPPORT GRILL. GROUT SOLID.
- ⑩ 8 X 8 X 16 PRECISION CMU BEYOND.
- ⑪ --NOT USED--
- ⑫ 2 X 4 PRESSURE TREATED DOUG. FIR SECURE TO CMU WITH 3/8" LAG BOLTS @ 16" O.C. WRAP WITH BUILDING PAPER AND EXPANDED METAL LATH.
- ⑬ ELECTRICAL CONDUIT
- ⑭ WATERPROOF DUPLEX (GFCI) OUTLET.
- ⑮ H.D. GALVANIZED STUCCO SCREED.
- ⑯ STUCCO FINISH
- ⑰ 6" THICK CONCRET PAVING
- ⑱ ISOLATION JOINT.
- ⑲ --NOT USED--
- ⑳ --NOT USED--
- ㉑ --NOT USED--
- ㉒ PROVIDE 16" SQ. STAINLESS STEEL ACCESS DOOR TO EMERGENCY SHUT-OFF VALVE.
- ㉓ EMERGENCY SHUT-OFF VALVE INSIDE COUNTER AND BELOW BARBEQUE.
- ㉔ 3/4" PRESSURE GAS MAIN TO EACH UNIT. COORDINATE AND INSTALL PER PLUMBING DRAWINGS.
- ㉕ REINFORCEMENT PER STRUCTURAL ENGINEER.
- ㉖ --NOT USED--
- ㉗ SOIL/ FILL
- ㉘ AUTOMATIC GAS SHUT OFF VALVE AND TIMER.
- ㉙ 8 x 6 x 16 CMU. GROUT SOILED ALL CELLS. STRUCTURAL STEEL PER SOIL STAND STRUCTURE ENGINEERING REPORT.
- ㉚ PROJECT CONCRETE BLOCK BELOW BAR-B-QUE AND COUNTER ABOVE FOR SUPPORT. BAR-B-QUE UNIT TO REST ON TILE PER MANUFACTURE'S SPECIFICATIONS.



**ELEVATION**



**SECTION**

NOTE: PROVIDE A INTEGRATED TIMER FOR THE STARTER W/ AN AUTOMATIC TURN-OFF

**GAS BBQ AND COUNTER**

Scale: N.T.S.

1  
GAS BBQ L-206

**DESIGN INTENT DETAILS  
(APARTMENTS)  
MURPHY RANCH**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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SHEET NUMBER  
**L-206**

JULY 11, 2007

# THE TOWNHOMES AT MURPHY RANCH

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

JULY 3, 2007

## PROJECT SUMMARY

PLAN 1: 1108 SF - 2 BR, 2.5 BATH  
PLAN 2: 1490 SF - 3 BR, 2.5 BATH  
PLAN 3: 1609 S - 3 BR, 3 BATH

### 3-UNIT BUILDING:

PLAN 1 PER BUILDING: 1  
PLAN 2 PER BUILDING: 1  
PLAN 3 PER BUILDING: 1  
3-UNIT BUILDINGS: 35

### 6-UNIT BUILDING:

PLAN 1 PER BUILDING: 2  
PLAN 2 PER BUILDING: 2  
PLAN 3 PER BUILDING: 2  
6-UNIT BUILDINGS: 30

### TOTALS:

TOTAL BUILDINGS: 65  
TOTAL UNITS: 285

## PROJECT TEAM

### APPLICANT:

FAIRFIELD RESIDENTIAL  
5510 MOREHOUSE DRIVE  
SAN DIEGO, CA 92121  
(858)626-8337 ATTN: SHON FINCH

### ARCHITECT:

WOODLEY ARCHITECTURAL GROUP, INC  
2943 PULLMAN STREET, SUITE A  
SANTA ANA, CA 92705  
(909)553-8919

### OWNER:

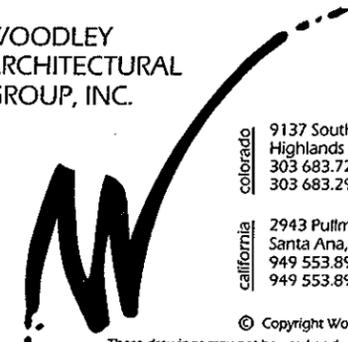
FAIRFIELD RESIDENTIAL  
5510 MOREHOUSE DRIVE  
SAN DIEGO, CA 92121  
(858)626-8337 ATTN: SHON FINCH

## SHEET INDEX

A-01 3-PLEX FLOORPLAN LOWER LEVEL  
A-02 3-PLEX FLOORPLAN MID LEVEL  
A-03 3-PLEX FLOORPLAN UPPER LEVEL  
A-04 3-PLEX ELEVATION A FRONT  
A-05 3-PLEX ELEVATION A SIDES  
A-06 3-PLEX ELEVATION A REAR  
A-07 3-PLEX ELEVATION A ROOF PLAN  
A-08 3-PLEX ELEVATION B FRONT  
A-09 3-PLEX ELEVATION B SIDES  
A-10 3-PLEX ELEVATION B REAR  
A-11 3-PLEX ELEVATION B ROOF PLAN  
A-12 6-PLEX FLOORPLAN LOWER LEVEL  
A-13 6-PLEX FLOORPLAN MID LEVEL  
A-14 6-PLEX FLOORPLAN UPPER LEVEL  
A-15 6-PLEX ELEVATION A FRONT  
A-16 6-PLEX ELEVATION A SIDES  
A-17 6-PLEX ELEVATION A REAR  
A-18 6-PLEX ELEVATION A ROOF PLAN  
A-19 6-PLEX ELEVATION B FRONT  
A-20 6-PLEX ELEVATION B SIDES  
A-21 6-PLEX ELEVATION B REAR  
A-22 6-PLEX ELEVATION B ROOF PLAN

SCHEMATIC DESIGN SET

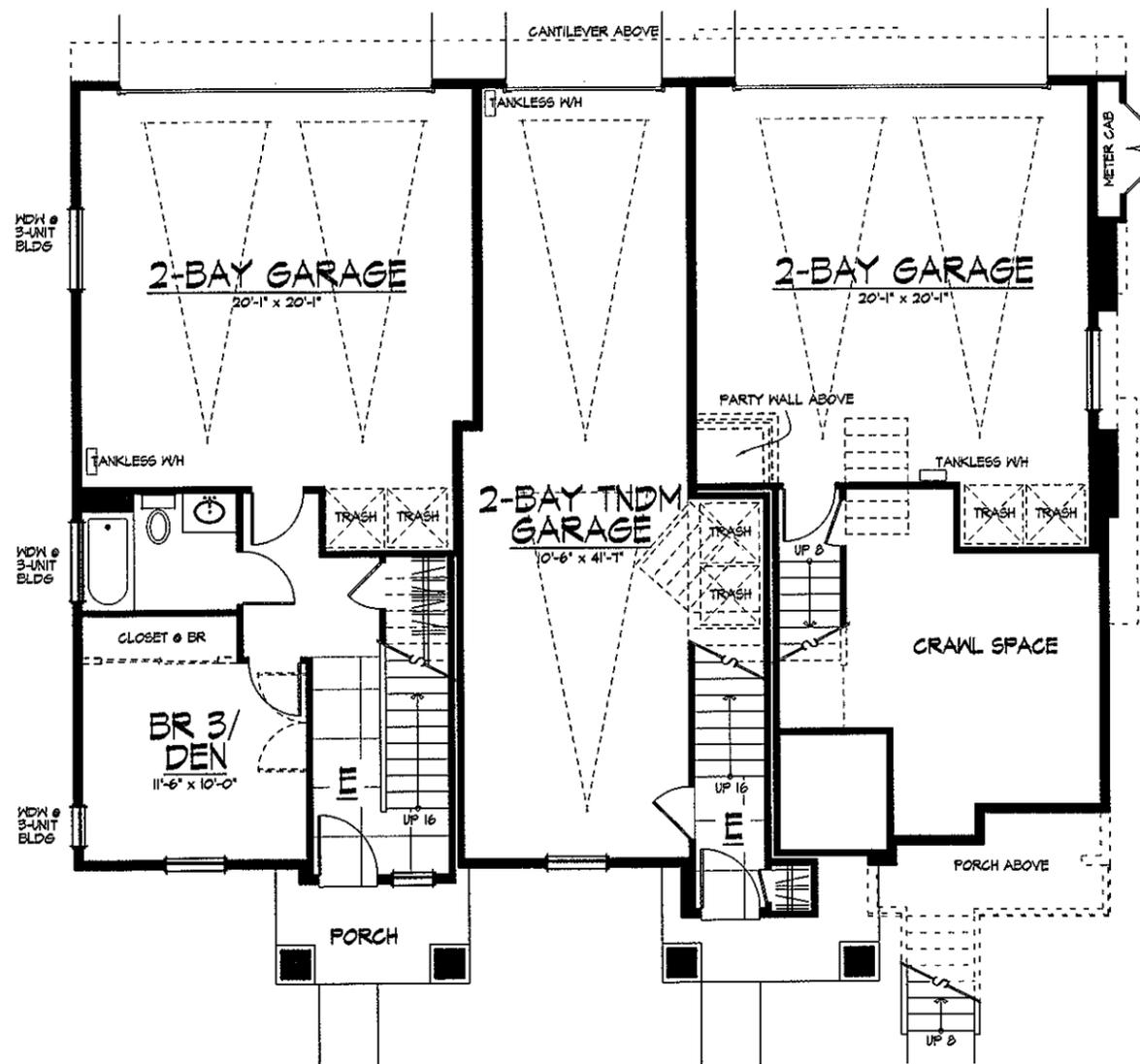
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**PLAN 3**  
 LOWER LEVEL - 362 SF  
 MID LEVEL - 748 SF  
 UPPER LEVEL - 499 SF  
 TOTAL - 1609 SF

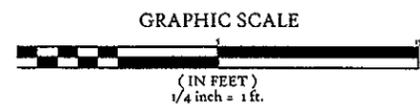
**PLAN 1**  
 LOWER LEVEL - 96 SF  
 MID LEVEL - 517 SF  
 UPPER LEVEL - 495 SF  
 TOTAL - 1108 SF

**PLAN 2**  
 LOWER LEVEL - 47 SF  
 MID LEVEL - 691 SF  
 UPPER LEVEL - 758 SF  
 TOTAL - 1496 SF

## 3-PLEX LOWER LEVEL MURPHY RANCH

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**A-01**

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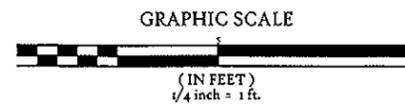
**PLAN 3**  
 LOWER LEVEL - 384 SF  
 MID LEVEL - 748 SF  
 UPPER LEVEL - 499 SF  
 TOTAL - 1631 SF

**PLAN 1**  
 LOWER LEVEL - 96 SF  
 MID LEVEL - 517 SF  
 UPPER LEVEL - 495 SF  
 TOTAL - 1108 SF

**PLAN 2**  
 LOWER LEVEL - 47 SF  
 MID LEVEL - 691 SF  
 UPPER LEVEL - 758 SF  
 TOTAL - 1496 SF

## 3-PLEX MAIN LEVEL MURPHY RANCH

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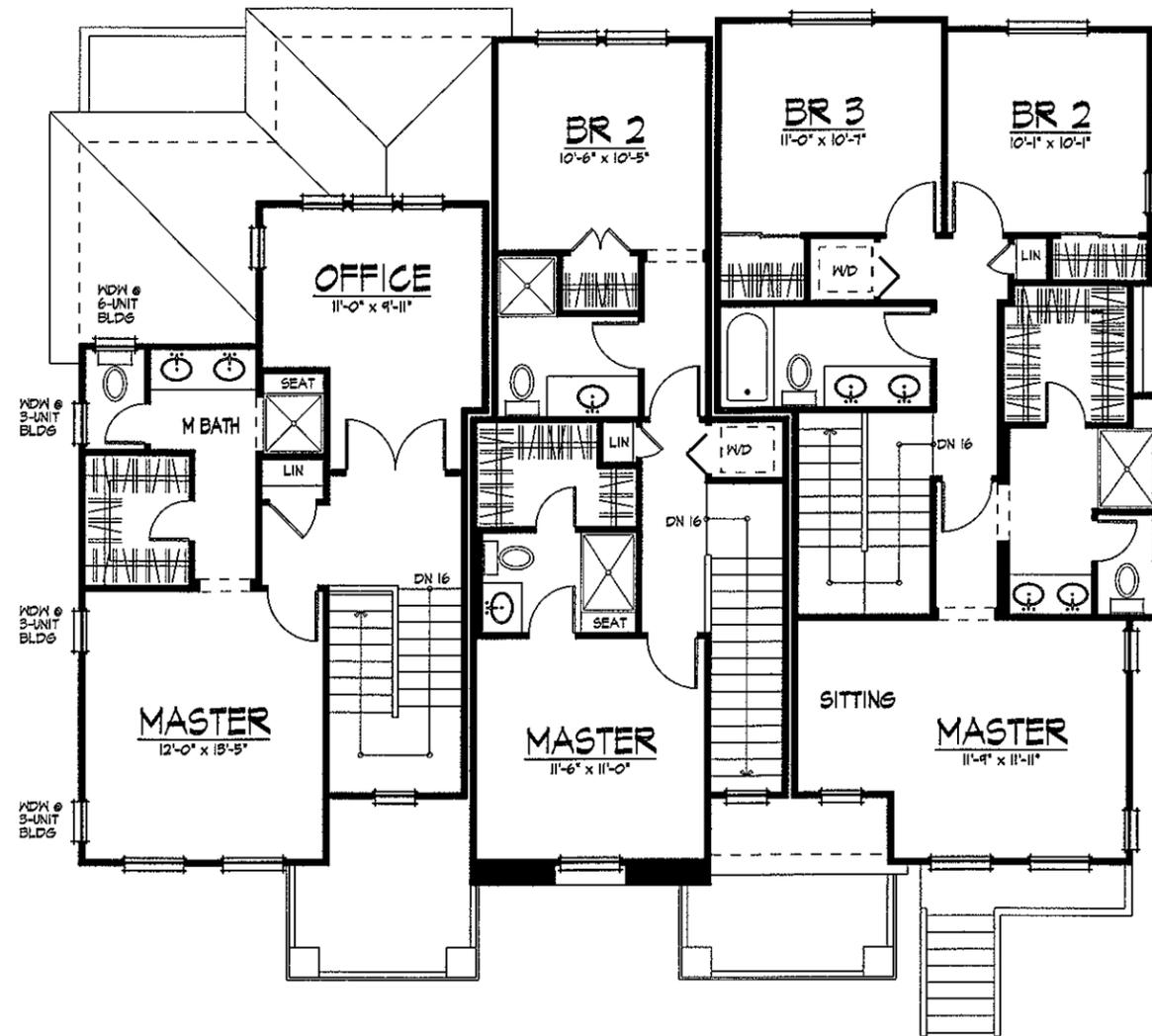
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SHEET NUMBER  
**A-02**



**PLAN 3**  
 LOWER LEVEL - 384 SF  
 MID LEVEL - 748 SF  
 UPPER LEVEL - 499 SF  
 TOTAL - 1631 SF

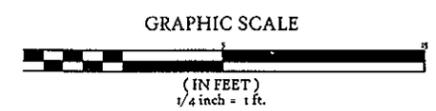
**PLAN 1**  
 LOWER LEVEL - 96 SF  
 MID LEVEL - 517 SF  
 UPPER LEVEL - 495 SF  
 TOTAL - 1108 SF

**PLAN 2**  
 LOWER LEVEL - 47 SF  
 MID LEVEL - 691 SF  
 UPPER LEVEL - 758 SF  
 TOTAL - 1496 SF

## 3-PLEX UPPER LEVEL MURPHY RANCH

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SHEET NUMBER  
**A-03**

WOOD PANEL SHUTTERS  
 PRECAST HEADER DETAIL  
 CULTURED STONE VENEER

FLAT-PROFILE CONCRETE ROOF TILE  
 WOOD RAILING  
 SOFFITED FASCIA W/ CORBELS  
 STUCCO  
 PRECAST BANDING



3-PLEX ELEVATION 'A'  
 FRONT ELEVATION  
 MURPHY RANCH

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GRAPHIC SCALE



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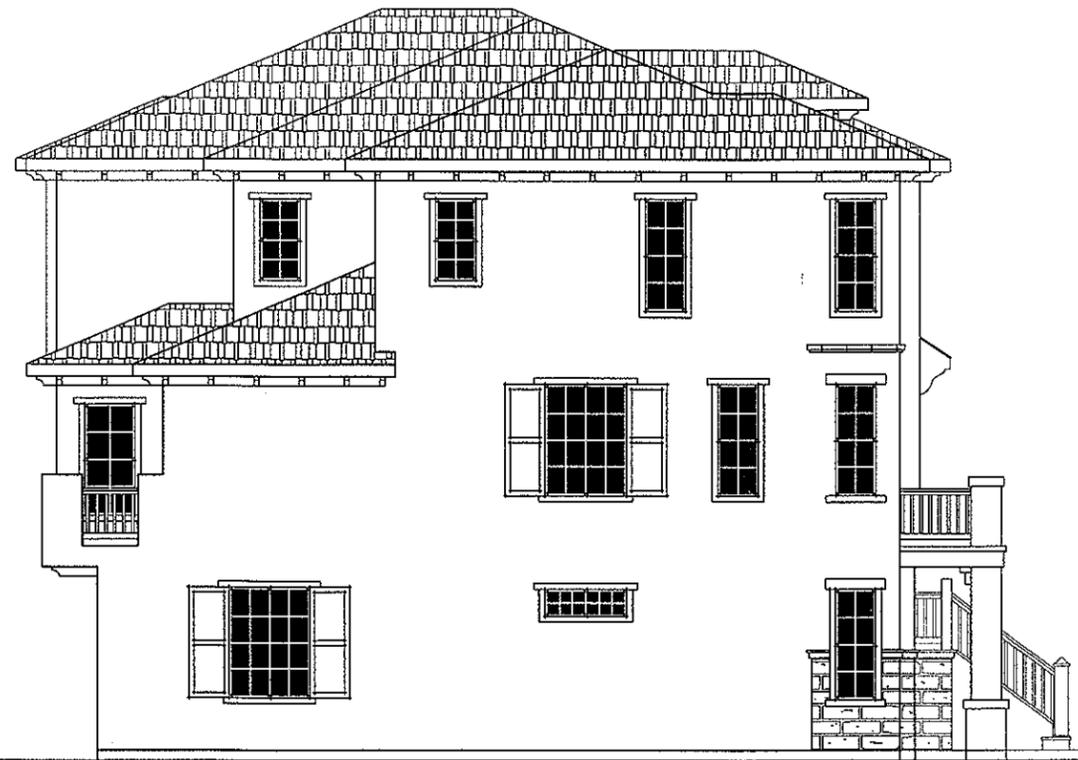
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A-04



LEFT ELEVATION

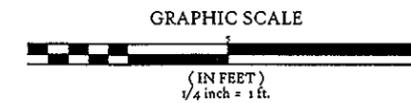


RIGHT ELEVATION

3-PLEX ELEVATION 'A'  
SIDE ELEVATIONS  
MURPHY RANCH

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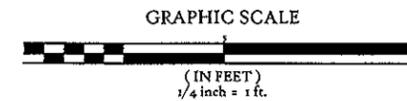
SHEET NUMBER  
A-05



REAR ELEVATION

3-PLEX ELEVATION 'A'  
 REAR ELEVATION  
 MURPHY RANCH

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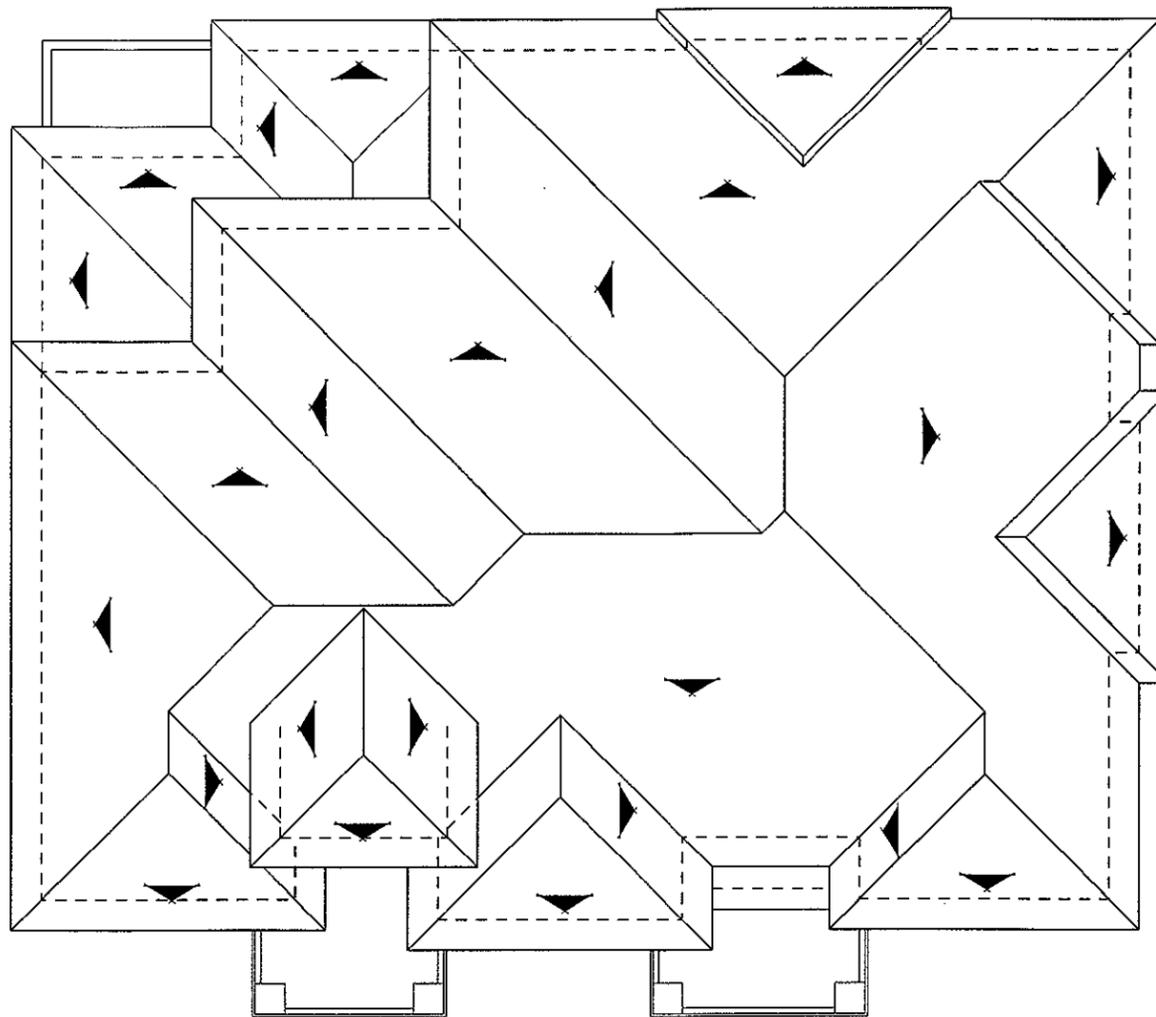
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 A-06

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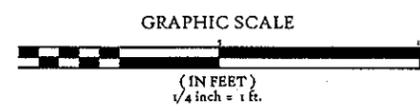


ROOF PLAN  
(ALL PITCHES 5:12 U.N.O.)

3-PLEX ELEVATION 'A'  
ROOF PLAN  
MURPHY RANCH

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A-07

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BUILT-UP PARAPET DETAIL  
 BUILT-UP HEADER DETAIL  
 BRICK VENEER

FLAT-PROFILE CONCRETE ROOF TILE  
 WROUGHT IRON RAILING  
 BAY WINDOW ELEMENT  
 STUCCO  
 BRICK ROWLOCK BANDING

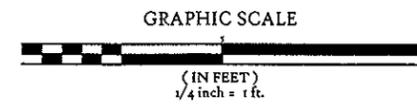


WOOD PANEL SHUTTERS  
 PRE-FAB COLUMNS

### 3-PLEX ELEVATION 'B' FRONT ELEVATION MURPHY RANCH

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SHEET NUMBER  
**A-08**



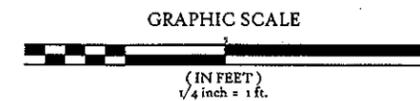
LEFT ELEVATION



RIGHT ELEVATION

3- PLEX ELEVATION 'B'  
 SIDE ELEVATIONS  
 MURPHY RANCH

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SHEET NUMBER  
 A-09



REAR ELEVATION

3-PLEX ELEVATION 'B'  
 REAR ELEVATION  
 MURPHY RANCH

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GRAPHIC SCALE



JULY 3, 2007

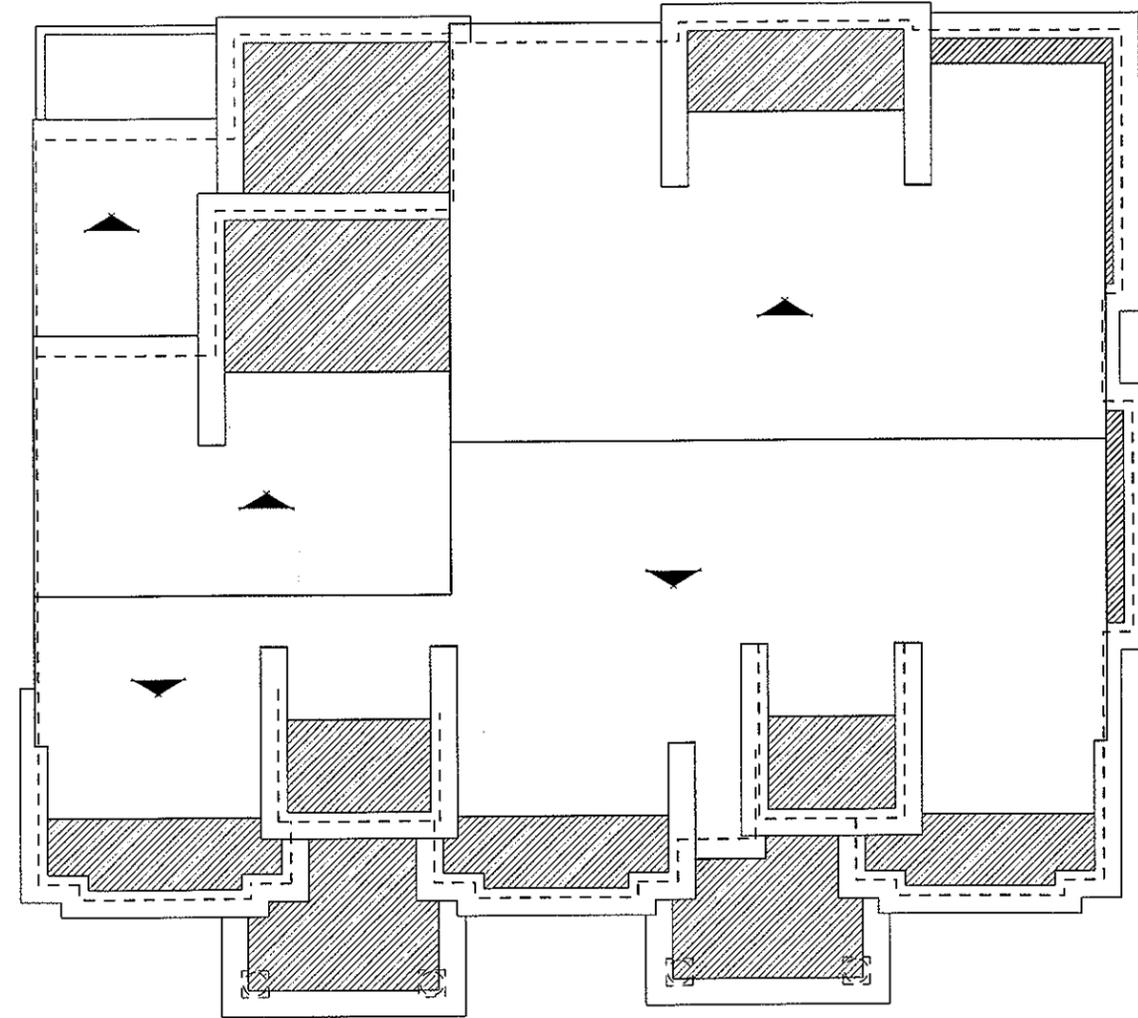
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A-10



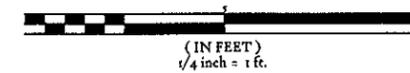
**ROOF PLAN**  
(ALL PITCHES 5:12 U.N.O.)

 : FLAT ROOF (SLOPE TO DRAIN - 1/4" : 1'-0" MIN)

**3-PLEX ELEVATION 'B'**  
**ROOF PLAN**  
**MURPHY RANCH**

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GRAPHIC SCALE



JULY 3, 2007

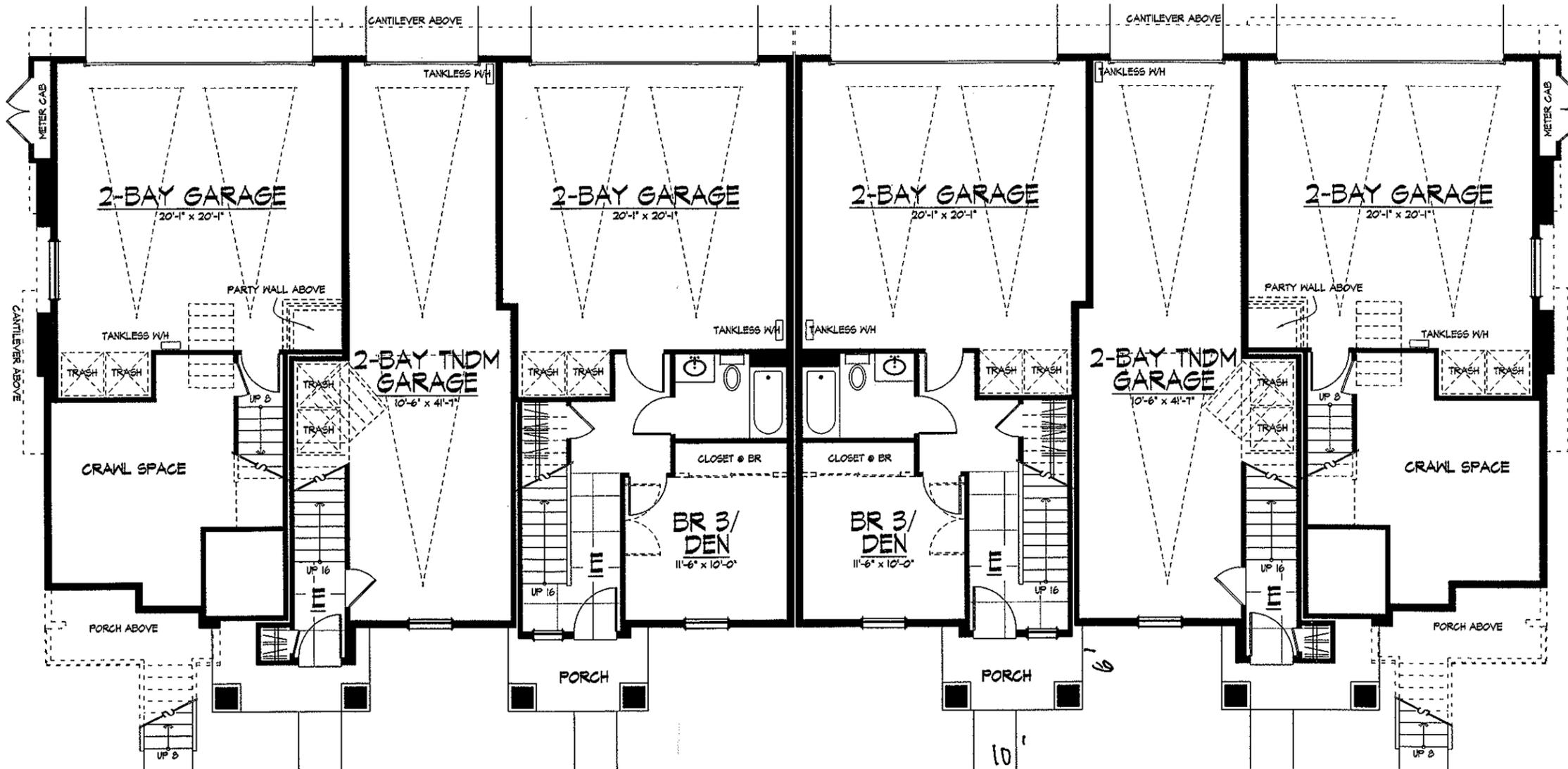
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SHEET NUMBER  
**A-II**



**PLAN 3**  
 LOWER LEVEL - 362 SF  
 MID LEVEL - 748 SF  
 UPPER LEVEL - 499 SF  
 TOTAL - 1609 SF

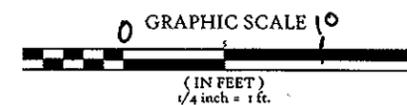
**PLAN 1**  
 LOWER LEVEL - 96 SF  
 MID LEVEL - 517 SF  
 UPPER LEVEL - 495 SF  
 TOTAL - 1108 SF

**PLAN 2**  
 LOWER LEVEL - 47 SF  
 MID LEVEL - 691 SF  
 UPPER LEVEL - 758 SF  
 TOTAL - 1496 SF

## 6-PLEX LOWER LEVEL MURPHY RANCH

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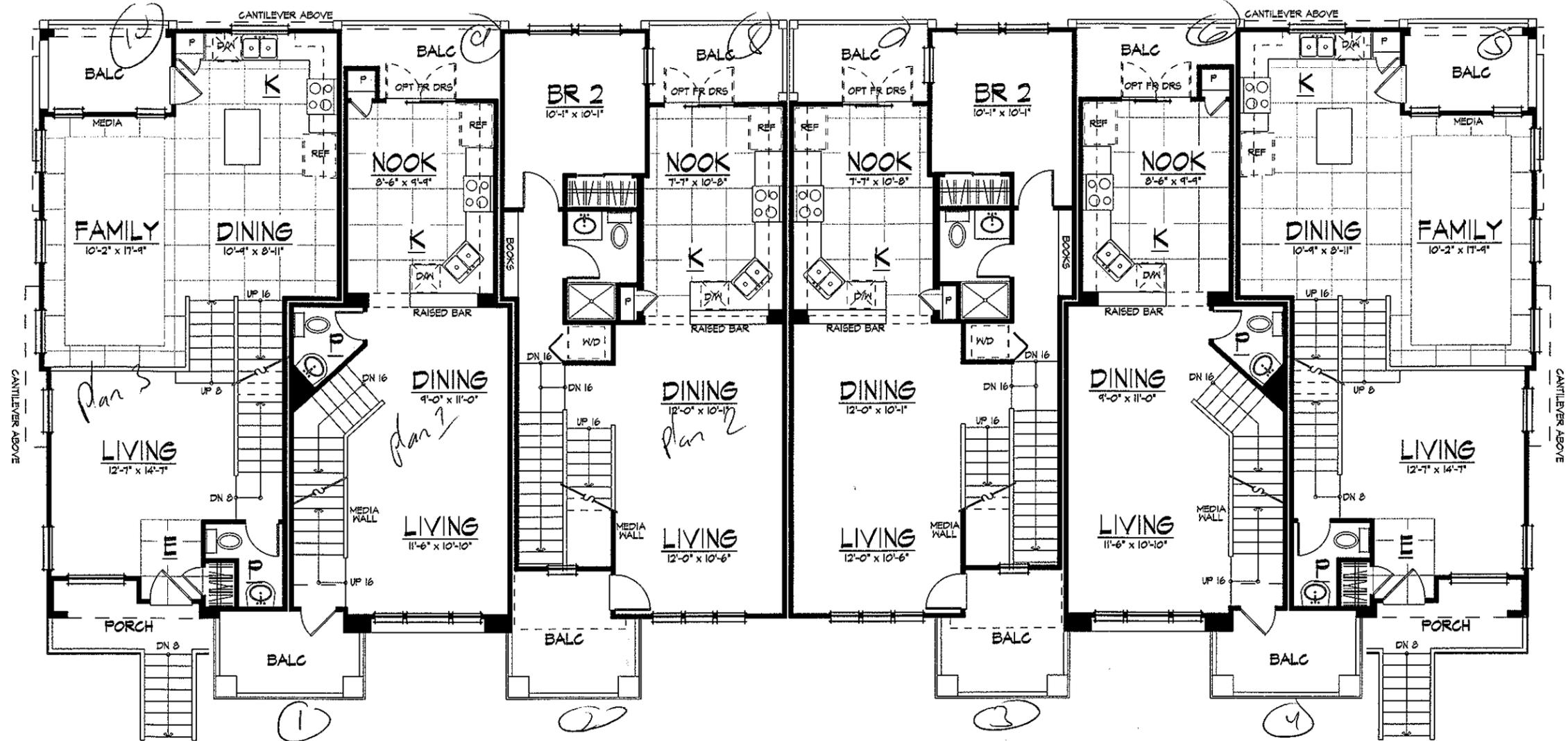
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**A-12**

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**PLAN 3**  
 LOWER LEVEL - 384 SF  
 MID LEVEL - 748 SF  
 UPPER LEVEL - 499 SF  
 TOTAL - 1631 SF

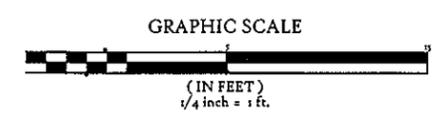
**PLAN 1**  
 LOWER LEVEL - 96 SF  
 MID LEVEL - 517 SF  
 UPPER LEVEL - 495 SF  
 TOTAL - 1108 SF

**PLAN 2**  
 LOWER LEVEL - 47 SF  
 MID LEVEL - 691 SF  
 UPPER LEVEL - 758 SF  
 TOTAL - 1496 SF

## 6-PLEX MAIN LEVEL MURPHY RANCH

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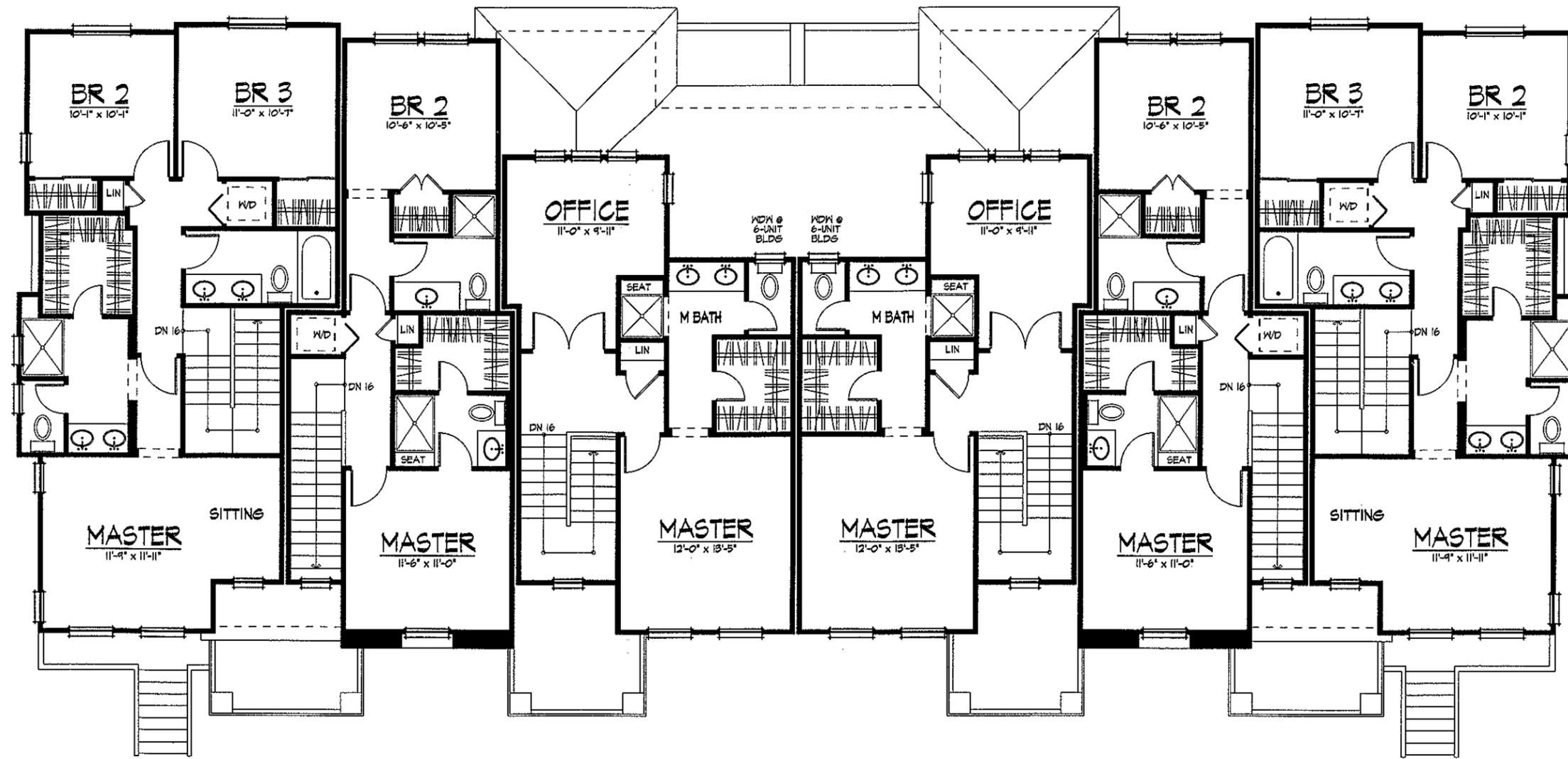
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**A-13**



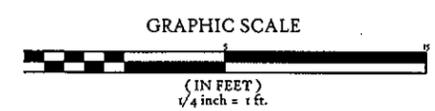
**PLAN 3**  
 LOWER LEVEL - 384 SF  
 MID LEVEL - 748 SF  
 UPPER LEVEL - 499 SF  
 TOTAL - 1631 SF

**PLAN 1**  
 LOWER LEVEL - 96 SF  
 MID LEVEL - 517 SF  
 UPPER LEVEL - 495 SF  
 TOTAL - 1108 SF

**PLAN 2**  
 LOWER LEVEL - 47 SF  
 MID LEVEL - 691 SF  
 UPPER LEVEL - 758 SF  
 TOTAL - 1496 SF

## 6-PLEX UPPER LEVEL MURPHY RANCH

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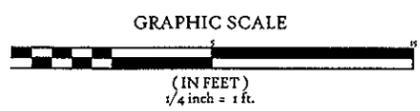
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**6-PLEX ELEVATION 'A'**  
**FRONT ELEVATION**  
**MURPHY RANCH**

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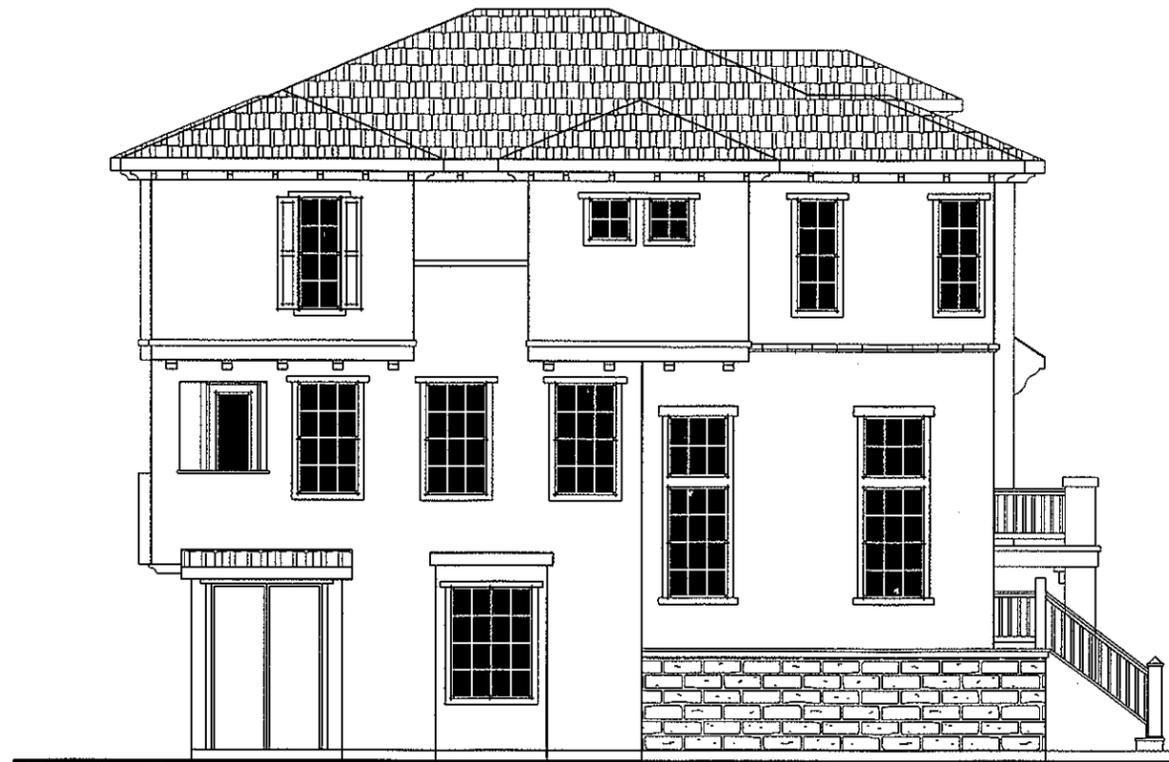


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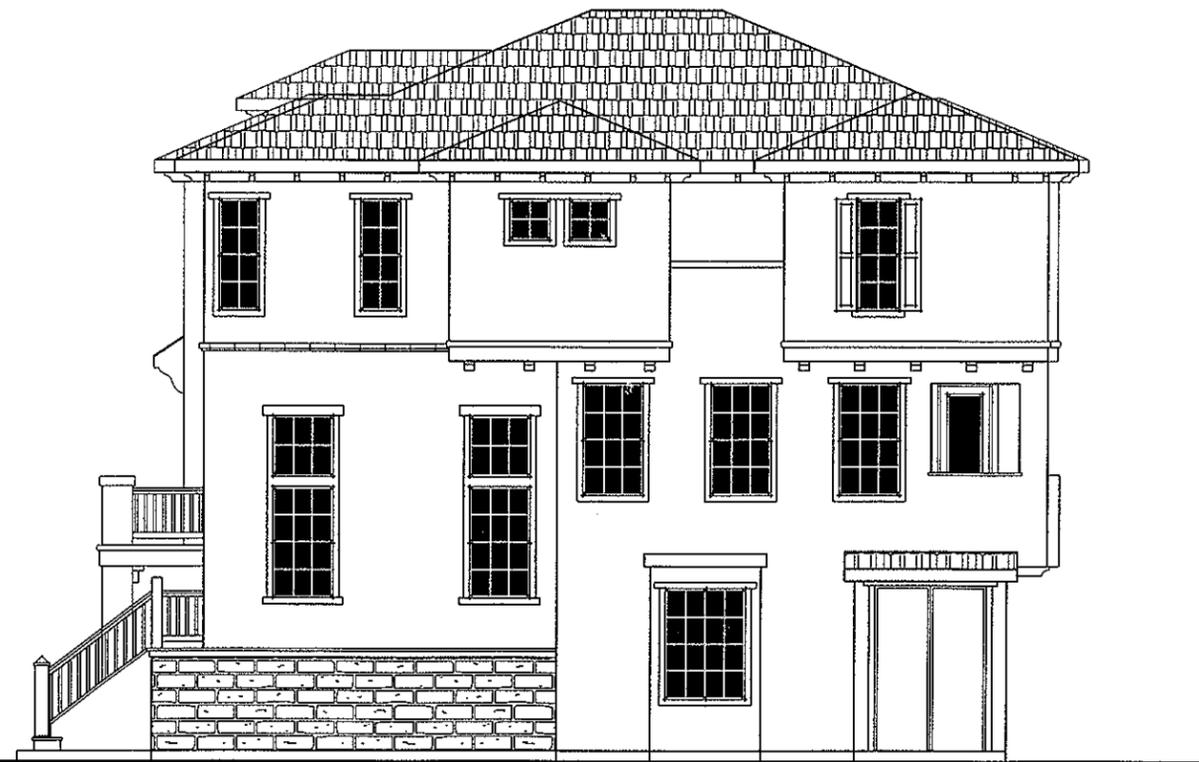
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SHEET NUMBER  
**A-15**



LEFT ELEVATION

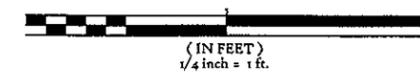


RIGHT ELEVATION

6-PLEX ELEVATION 'A'  
SIDE ELEVATIONS  
MURPHY RANCH

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GRAPHIC SCALE



JULY 3, 2007

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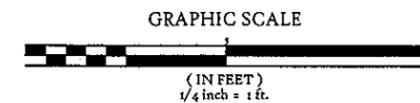
A-16



REAR ELEVATION

6-PLEX ELEVATION 'A'  
 REAR ELEVATION  
 MURPHY RANCH

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JULY 3, 2007

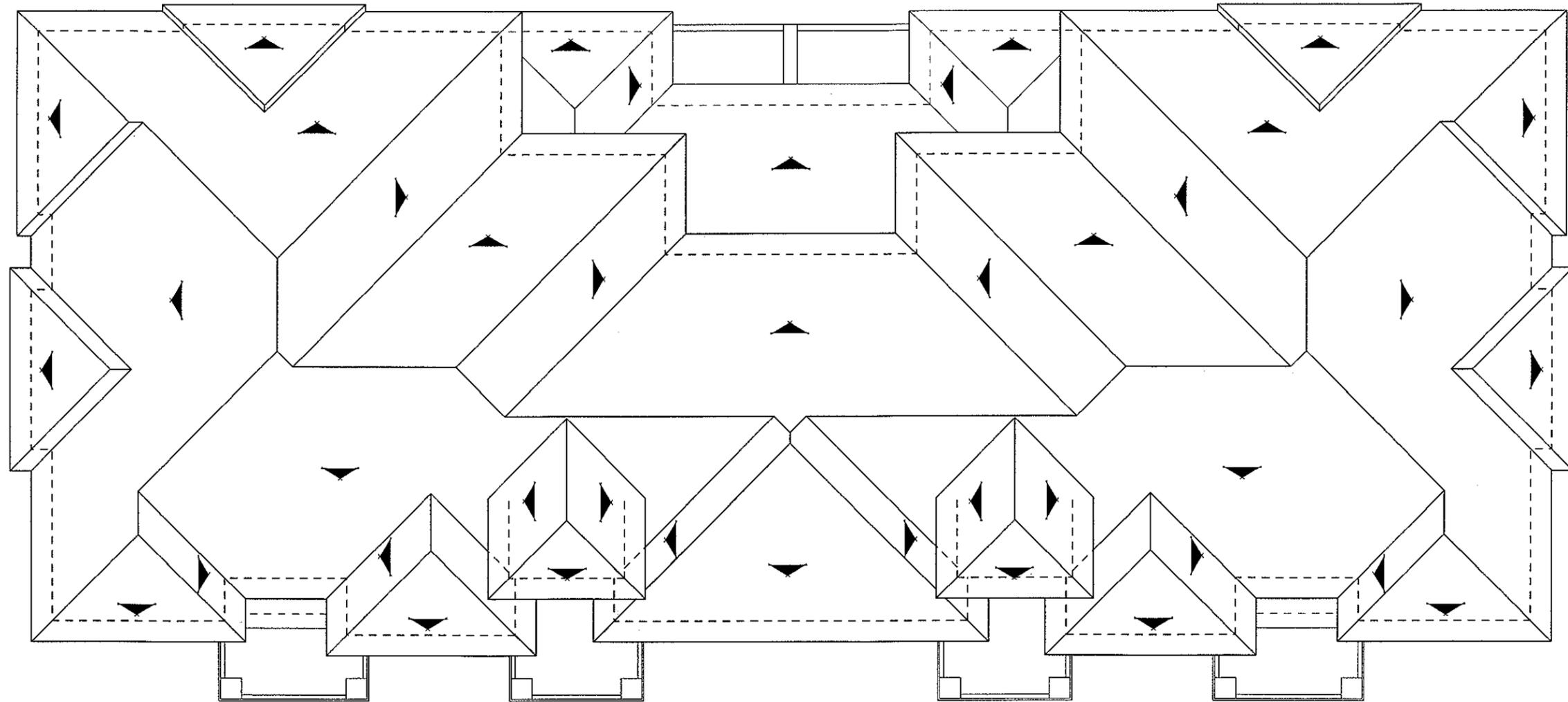
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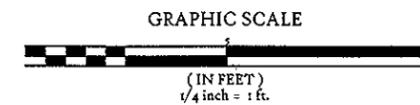
SHEET NUMBER  
 A-17



ROOF PLAN  
(ALL PITCHES 5:12 U.N.O.)

6-PLEX ELEVATION 'A'  
ROOF PLAN  
MURPHY RANCH

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A-18

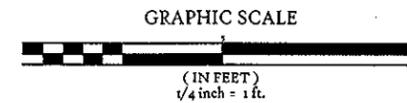
BRICK ROWLOCK BANDING  
 STUCCO  
 BAY WINDOW ELEMENT  
 WROUGHT IRON RAILING  
 FLAT-PROFILE CONCRETE ROOF TILE

BRICK VENEER  
 BUILT-UP HEADER DETAIL  
 BUILT-UP PARAPET DETAIL

WOOD PANEL SHUTTERS  
 PRE-FAB COLUMNS

6-PLEX ELEVATION 'B'  
 FRONT ELEVATION  
 MURPHY RANCH

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



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**A-19**

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LEFT ELEVATION



RIGHT ELEVATION

6-PLEX ELEVATION 'B'  
SIDE ELEVATIONS  
MURPHY RANCH

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

GRAPHIC SCALE



(IN FEET)  
1/4 inch = 1 ft.

JULY 3, 2007

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GROUP, INC.



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Highlands Ranch, CO 80129  
303 683.7231  
303 683.2922 (fax)

151 Kalmus Dr, Suite C230  
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714 546.8929 (fax)

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SHEET NUMBER

A-20

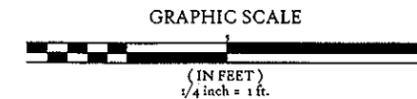


REAR ELEVATION

6-PLEX ELEVATION 'B'  
 REAR ELEVATION  
 MURPHY RANCH

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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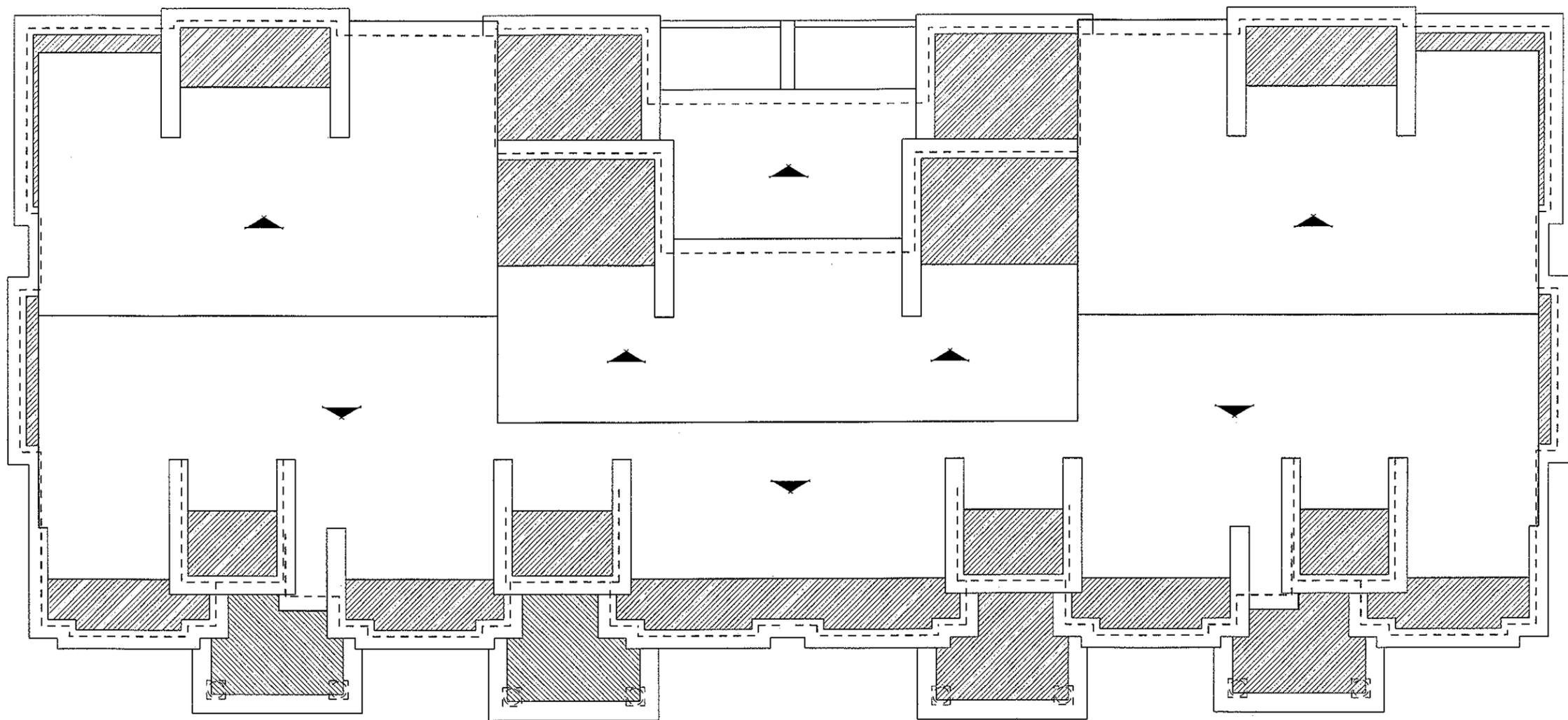
JULY 3, 2007

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SHEET NUMBER  
 A-2I

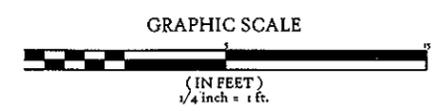


**ROOF PLAN**  
(ALL PITCHES 5:12 U.N.O.)

▨ : FLAT ROOF (SLOPE TO DRAIN - 1/4":1'-0" MIN)

**6-PLEX ELEVATION 'B'**  
**ROOF PLAN**  
**MURPHY RANCH**

CITY OF MILPITAS    SANTA CLARA COUNTY    CALIFORNIA



JULY 3, 2007

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SHEET NUMBER  
**A-22**

# MURPHY RANCH APARTMENTS

Milpitas, California

## Project Summary

**PROJECT DESCRIPTION:** MULTIFAMILY APARTMENTS  
**ZONING:** (EXISTING) MP - LIGHT INDUSTRIAL  
**ZONING:** (PROPOSED) PLANNED DEVELOPMENT  
**SITE AREA:** 7.58 ACRES (330,235 S.F.)  
**OPEN SPACE:** 3.42 ACRES (128,812 S.F.) (45.1%)  
**TOTAL # OF DWELLING UNITS:** 374 UNITS  
**DENSITY:** 49.34 DU/ ACRE  
**LOT COVERAGE:** 3.58 ACRES (168,067 S.F.) (47.2% OF SITE AREA)  
**TOTAL BUILDING AREA (RESIDENTIAL):** 687,874 S.F. (4 FLOORS)  
**PARKING STRUCTURE FOOTPRINT:** 38,933 S.F.

## Property Address

ADDRESS: 1001 MURPHY ROAD  
 SANTA CLARA COUNTY, CA

## Legal Description

BOOK 86, PAGE 1, PARCEL MAP LOTS 41 AND 42,  
 ASSESSORS PARCEL NUMBERS: (APN) 086-01-041 AND 086-01-042.

## Project Team

**APPLICANT:**  
 Fairfield Residential  
 5510 Morehouse Drive  
 San Diego, CA 92121  
 (858)626-8337 Attn: Shon Finch

**ARCHITECT:**  
 Architects Orange  
 144 N. Orange Street  
 Orange, CA 92866  
 (714) 639-9860 Attn: Serafin Maranan

**OWNER:**  
 Fairfield Residential  
 5510 Morehouse Drive  
 San Diego, CA 92121  
 (858)626-8337 Attn: Shon Finch

**CIVIL ENGINEER:**  
 Carlson Barbee & Gibson  
 6111 Bollinger Canyon Road, Suite 150  
 San Ramon, CA 94583  
 (925) 866-0322 Attn: Jason Neri

**LANDSCAPE ARCHITECT:**  
 IMA Design  
 2500 Michelson Drive, Suite 125  
 Irvine, CA 92612  
 (949) 250-0023 ext.19 Attn: James Keenan

## Sheet Index

- A-200 Cover Sheet
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- A-206 Third Floor Building Plan
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- A-216 Site Sun Shadow Exhibit
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- A-218 Details
- A-219 Details

Project: Fairfield - Milpitas - Murphy Ranch

Building / Unit Mix: Revised: 07/10/07

Level	Studio		1 Bedroom				2 Bedroom		3 Bedroom		Total
	A1-S	A1	A2	A4	B1-mod	B1	B4	C1			
1	2	7	13	18	8	23	14	5		90	
2	2	7	13	18	0	33	14	5		92	
3	2	9	13	19	0	34	14	5		96	
4	2	9	13	19	0	34	14	5		96	
Sub-total	8	32	52	74	8	124	56	20		374	
Sub-total Percentage	2.1%	8.6%	13.9%	19.8%	2.1%	33.2%	15.0%	5.3%			
Total	8			166		180		20			
Total Percentage	2.1%			44.4%		48.1%		5.3%		100.0%	

Unit	Module Size	Unit SF	Qty.	%	Total
A1-S	20' x 31'-6"	600	8	2.1%	4,800
A1	24' x 31'	687	32	8.6%	21,984
A2	24' x 31'	732	52	13.9%	38,064
A4	26' x 32'	820	74	19.8%	60,680
B1-mod	24' x 33'	731	8	2.1%	5,848
B1	35' x 33'	1,010	124	33.2%	125,240
B4	37'-10" x 37'-10"	1,203	56	15.0%	67,368
C1	48'-2" x 37'-10"	1,496	20	5.3%	29,920
Avg. SF / Total		946	374	100%	353,904

Recreational Facilities	S.F.
Leasing / Lobby (2 Story)	1,500
Club/ Fitness Center (2 Story)	2,024
Total	3,524

Site: 7.58 Acres  
 Density: 49.34 D.U. / AC

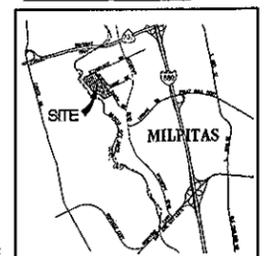
### Parking Summary:

Standard Parking Req'd	Units	Stall / Unit	Required Stalls
Studio	8	1.00	8
1 Bedroom	166	1.50	249
2 Bedroom	180	2.00	360
3 Bedroom	20	2.00	40
Guest		0.15	99
Subtotal	374	2.02	756

Parking Structure	Garage
Parking Provided	Stalls
1st Floor Garage	128
2nd Floor Garage	134
3rd Floor Garage	134
4th Floor Garage	134
5th Floor Garage	138
Roof level Garage	90
Surface	0
Total Provided	756

Parking Ratio: 2.02

## Vicinity Map



# Schematic Design Set

A-200

2005-070 June 27, 2007



MURPHY RANCH APARTMENTS

MILPITAS, CALIFORNIA

FAIRFIELD RESIDENTIAL

5510 MOREHOUSE DRIVE, SAN DIEGO, CA 92121 (858) 626-8240

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92866 (714) 639-9860

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Project: Fairfield - Milpitas - Murphy Ranch

Level	Revised:										Total	
	Studio		1 Bedroom			2 Bedroom		3 Bedroom				
1	A1-S	A1	A2	A4	B1mod	B1	B4	C1				
2	2	7	13	18	0	23	14	5			92	
3	2	9	13	19	0	34	14	5			95	
4	2	9	13	19	0	34	14	5			95	
Sub-Total	8	32	52	74	0	124	56	20			374	
Subtotal Percentage	2.1%	8.6%	13.9%	19.8%	2.1%	33.2%	15.0%	5.3%				
Total	8					190		20				
Total Percentage	2.1%					48.1%		5.3%			100.0%	

Unit	Module Size	Unit SF	Dty	%	Total
A1-S	27' x 31'-6"	800	8	2.1%	4,800
A1	24' x 31'	697	37	8.6%	21,984
A2	24' x 31'	732	52	13.9%	38,064
A4	26' x 32'	820	74	19.8%	60,680
B1-mod	24' x 33'	731	6	2.1%	5,586
B1	35' x 33'	1,010	124	33.2%	125,240
B4	37'-10" x 37'-10"	1,406	20	5.3%	28,120
C1	48'-2" x 37'-10"	1,818	20	5.3%	36,360
Avg. SF / Total		946	374	100%	353,904

Recreational Facilities	S.F.
Leasing / Lobby (2 Story)	1,500
Club Fitness Center (2 Story)	2,024
Total	3,524

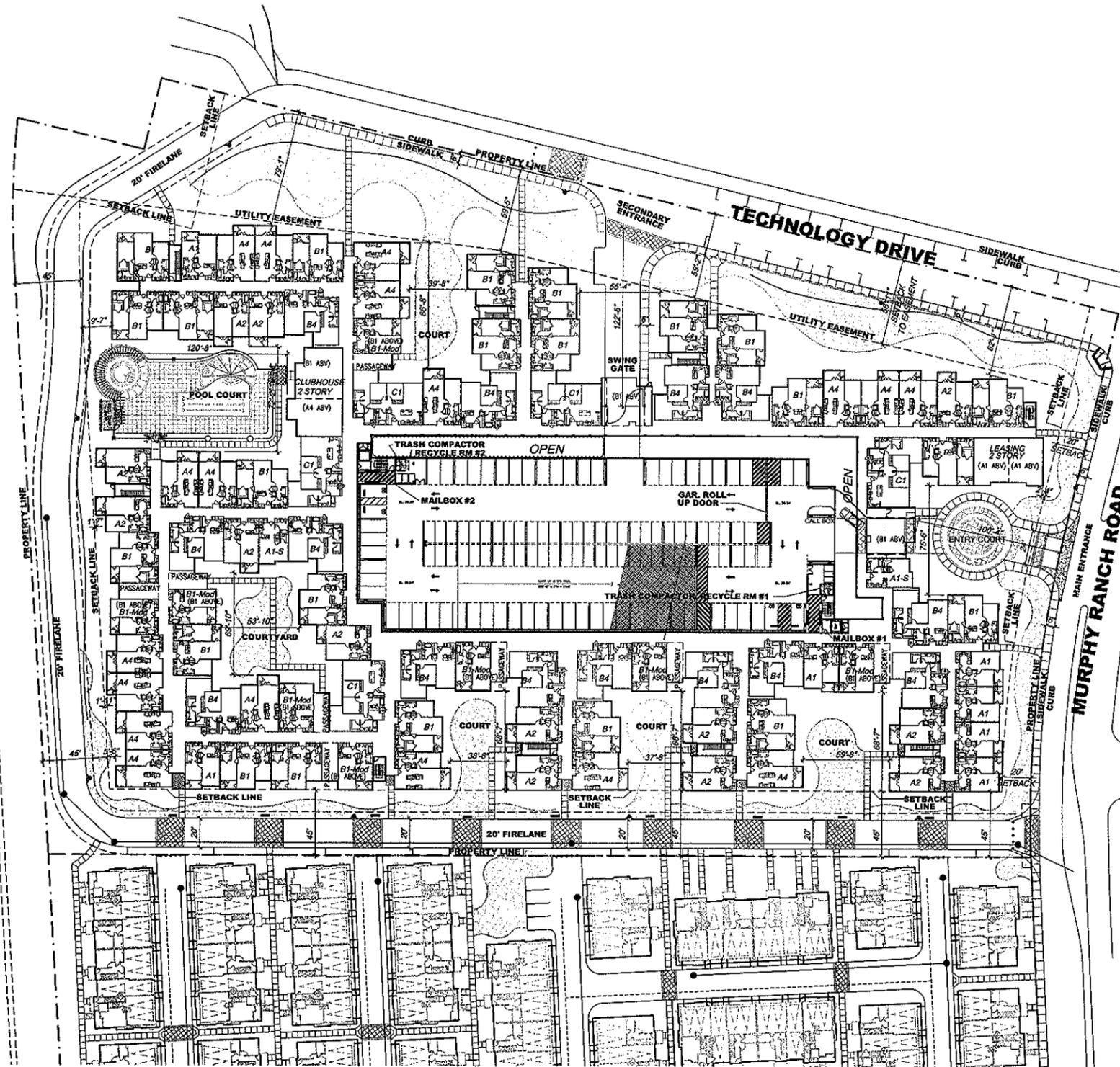
Site: 7.58 Acres  
 Density: 49.34 D.U. / AC

**Parking Summary:**

Standard Parking Req'd	Units	Staff / Unit	Required Stalls
Garage	8	1.00	8
1 Bedroom	166	1.50	249
2 Bedroom	180	2.00	360
3 Bedroom	20	2.00	40
Guard		0.15	99
Subtotal:	374	2.02	756

**Parking Structure**

Structure	Garage	Stalls
Parking Provided		176
1st Floor Garage		134
2nd Floor Garage		134
3rd Floor Garage		134
4th Floor Garage		134
5th Floor Garage		134
Rooftop Garage		90
Surface		0
Total Provided		756
Parking Ratio		2.02



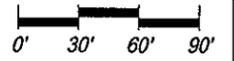
**LEGEND**

A1, A2, A3, B1 INDICATES UNIT TYPES. SEE SHT A-210 FOR UNIT PLANS.  
 B2, B3, B4, C1

CALL BOX (PROVIDED WITH HOOK KEY SWITCH, DUAL KEYS TO POLICE AND FIRE DEPT., MOUNTED AT 4' ABOVE DRIVE SURFACE)  
 IN ADDITION, PROVIDE A CLOSING HARD ACCESS SYSTEM FOR VEHICLE GATE AND LOBBY DOORS



**SITE PLAN**



SCALE: 1" = 40'-0"

**A-201**

2005-070 June 27, 2007



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**MURPHY RANCH APARTMENTS**

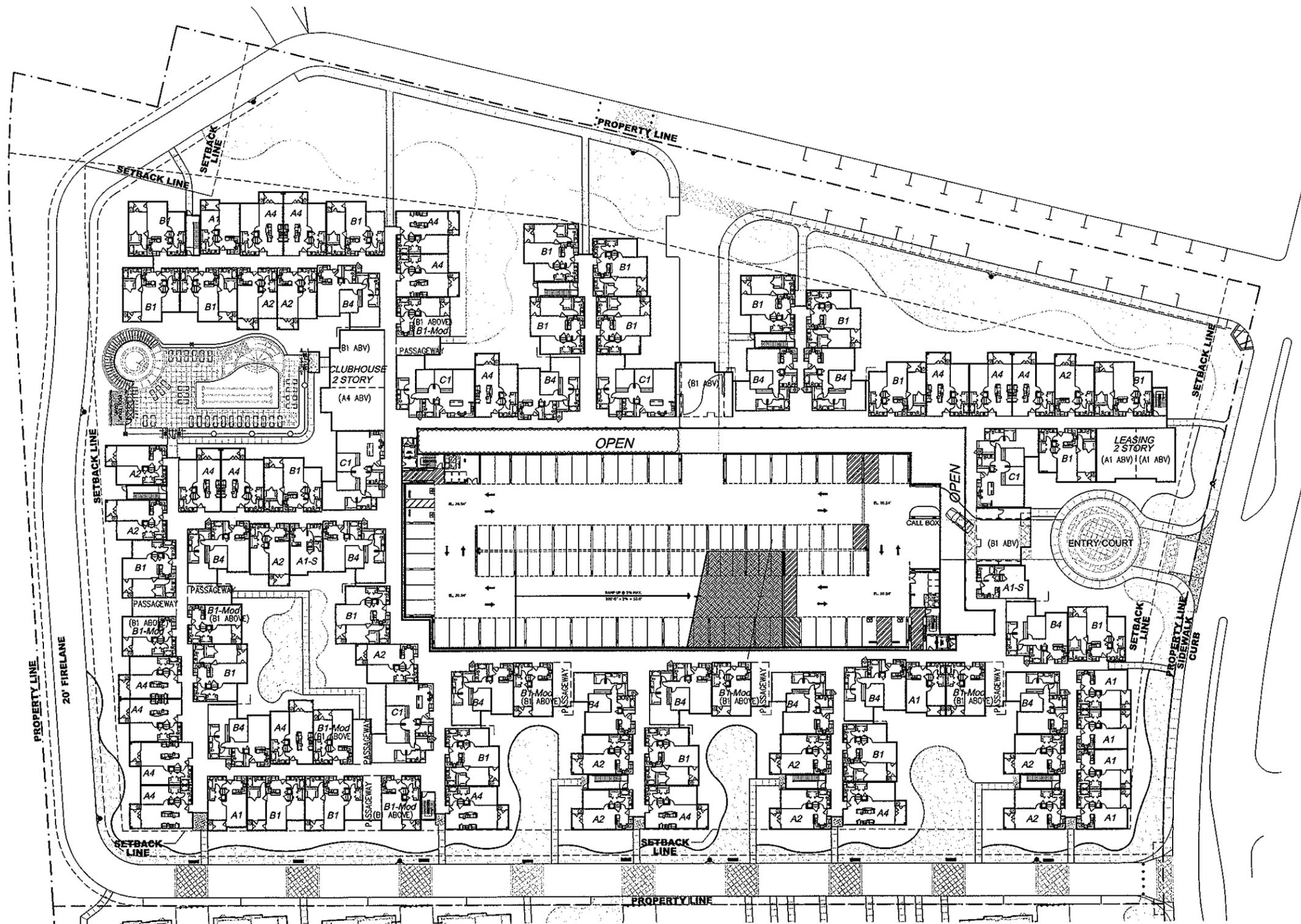
**FAIRFIELD RESIDENTIAL**

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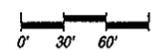
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**ARCHITECTS ORANGE**

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FIRST FLOOR



SCALE: 1" = 30'

**A-204**

2005-070 June 27, 2007



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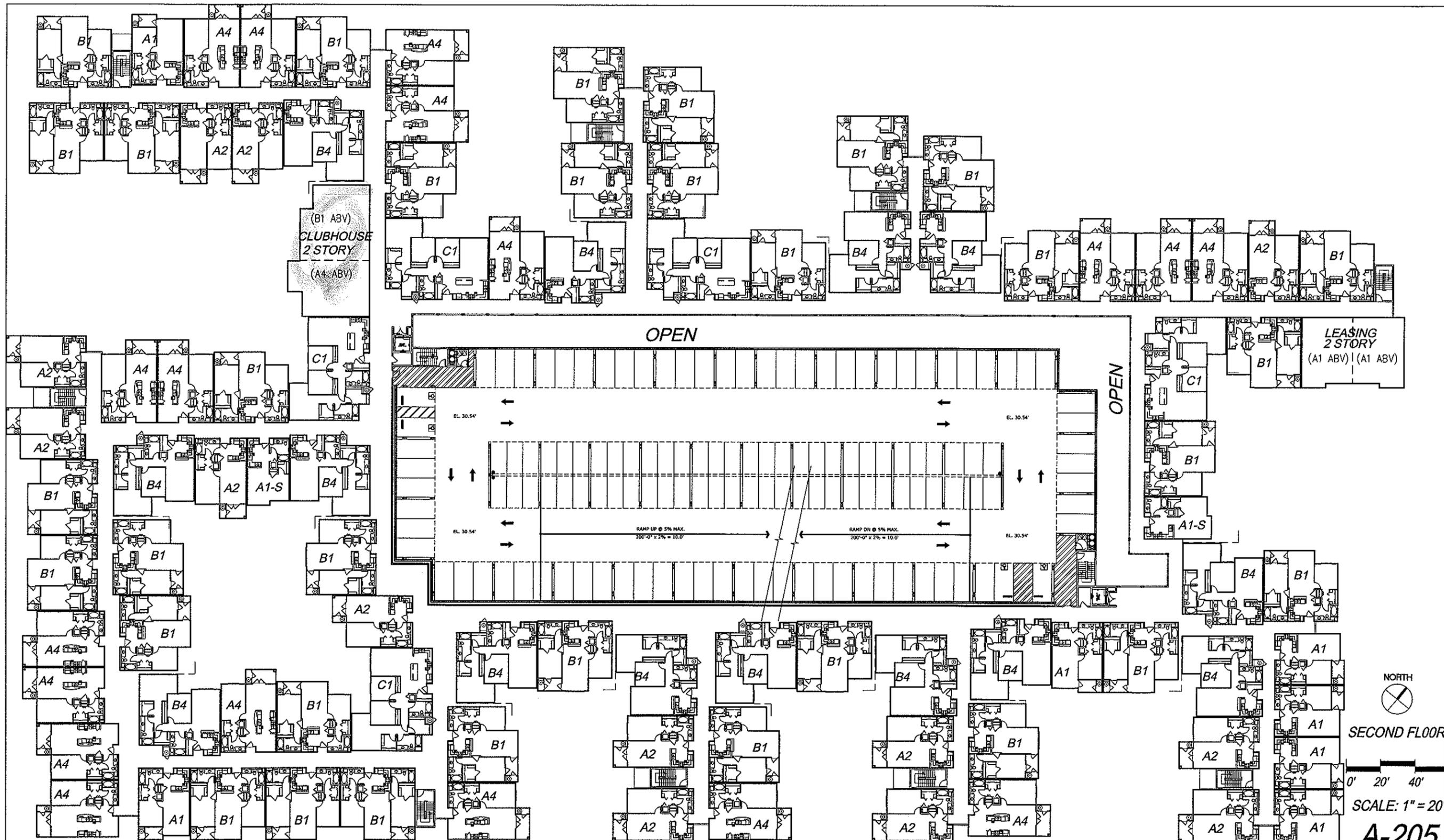
## FAIRFIELD RESIDENTIAL

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MILPITAS, CALIFORNIA

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NORTH  
SECOND FLOOR

0' 20' 40'  
SCALE: 1" = 20'  
A-205

2005-070 June 27, 2007



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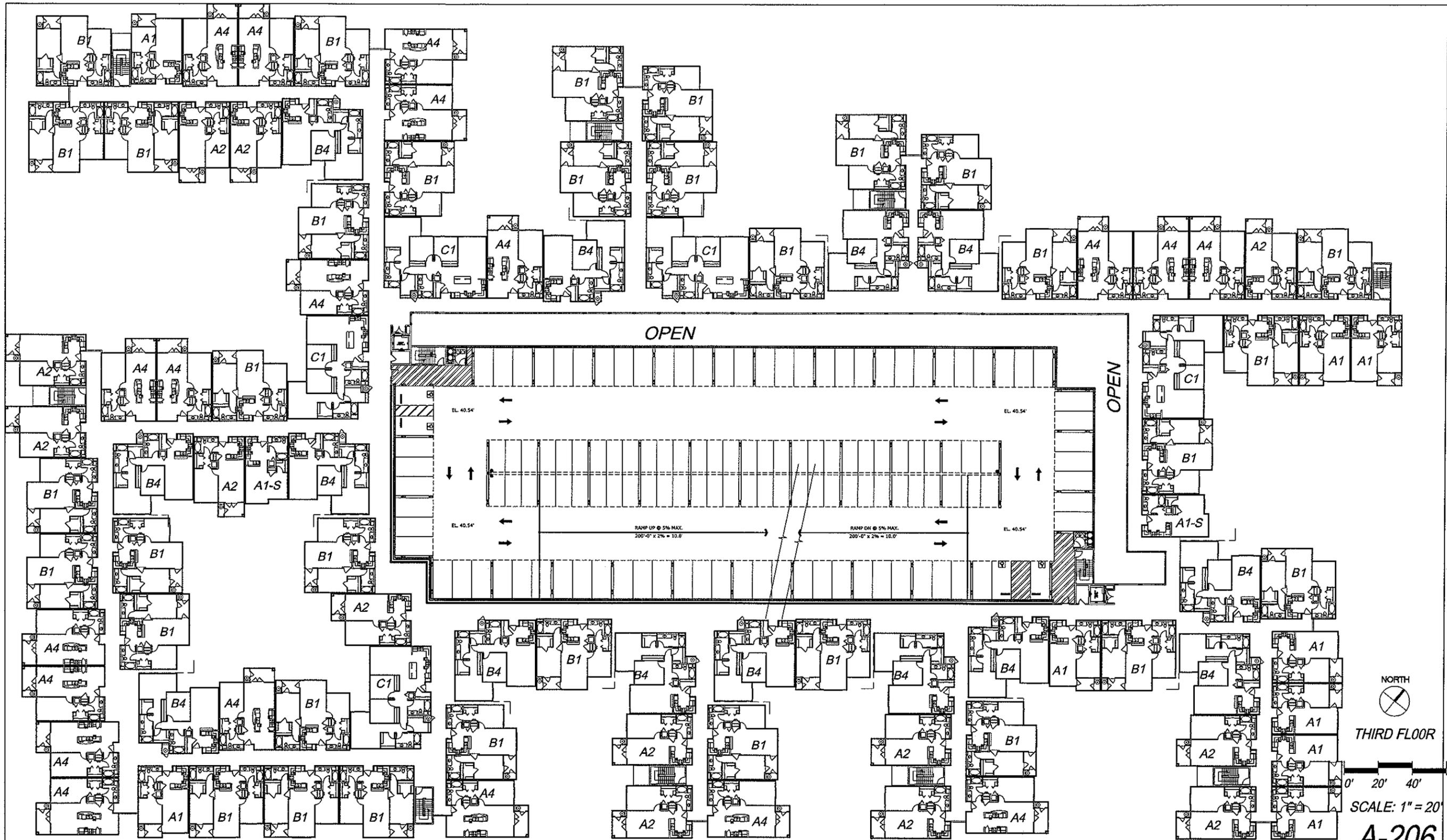
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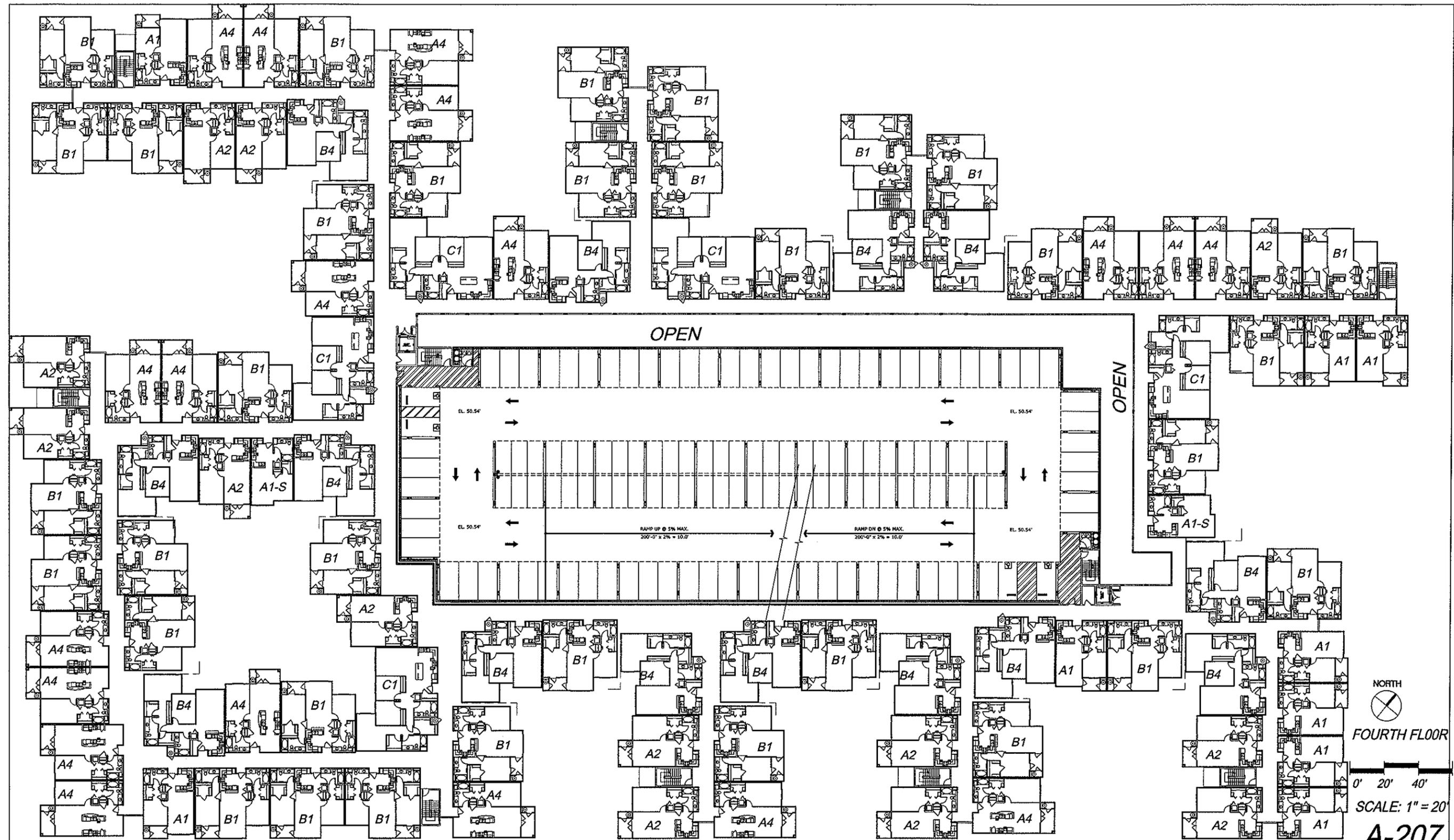
2005-070 June 27, 2007



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THIRD FLOOR

**A-206**



FOURTH FLOOR

0' 20' 40'  
SCALE: 1" = 20'

**A-207**

2005-070 June 27, 2007



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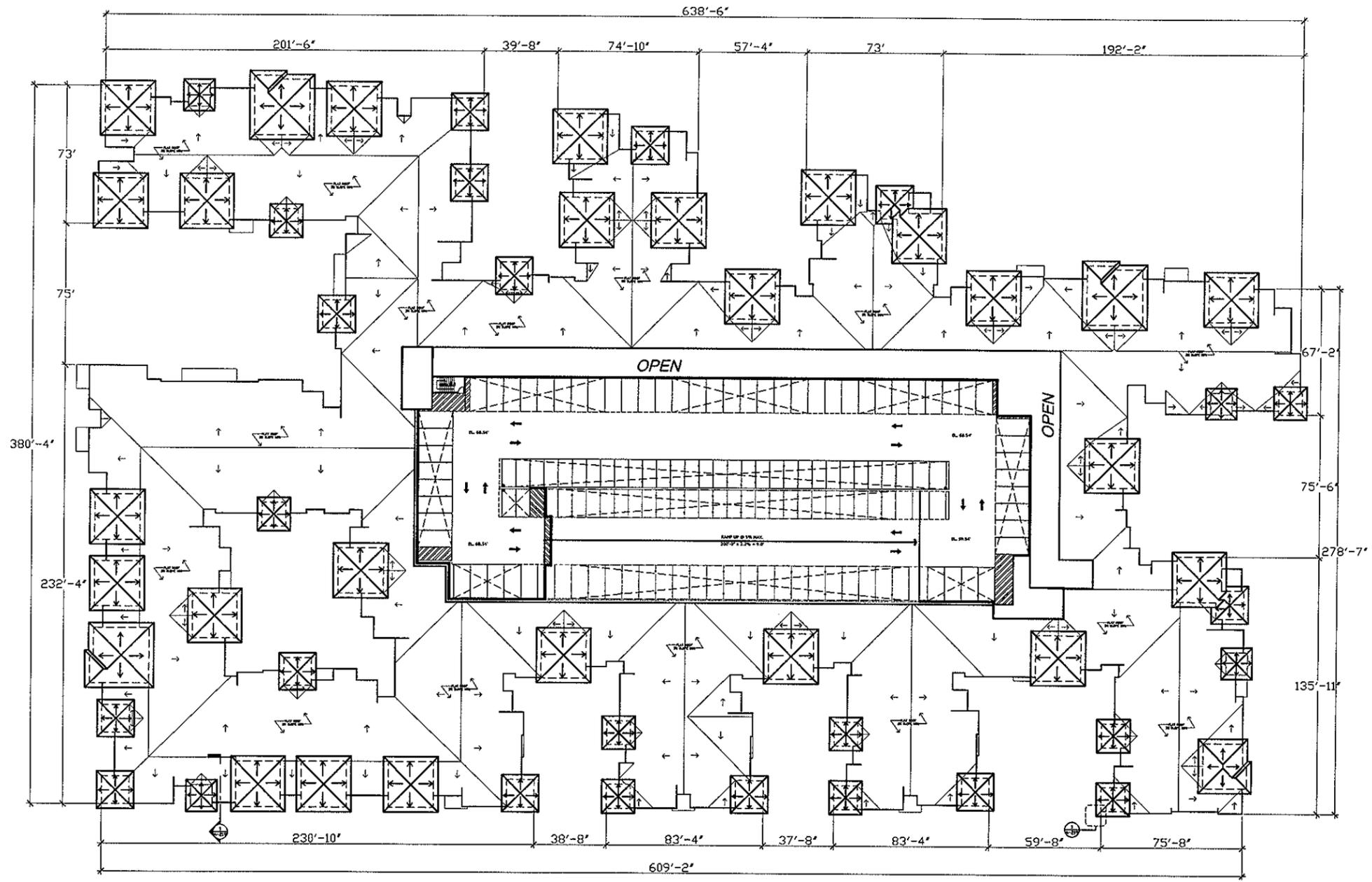
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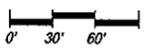
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NORTH



ROOF PLAN



SCALE: 1" = 30'

A-208

2005-070 June 27, 2007



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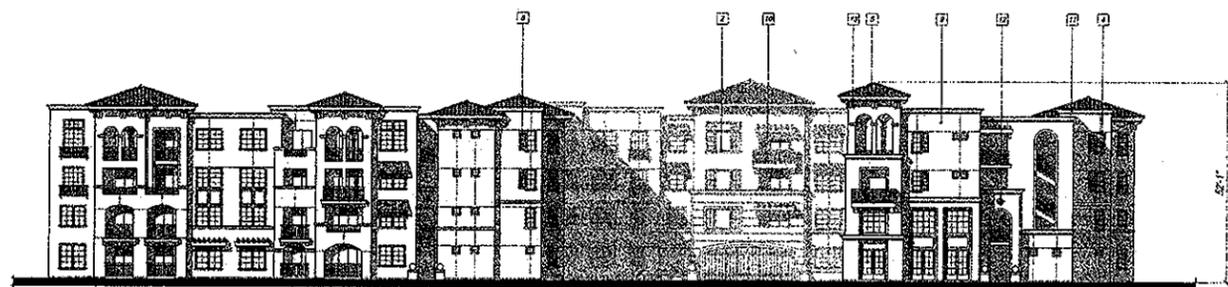
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NORTHEAST ELEVATION  
(MURPHY RANCH ROAD ELEVATION)



ELEVATION AT MAIN ENTRANCE GATE  
(MURPHY RANCH ROAD ELEVATION)



ELEVATION AT SECONDARY ENTRANCE GATE  
(TECHNOLOGY DRIVE ELEVATION)

- MATERIAL LEGEND:**
- 1. SANDY STUCCO
  - 2. DECORATIVE WINDOW SHIP
  - 3. 3/4" BRICK
  - 4. DECORATIVE WINDOW SURROUND AND SHIP
  - 5. CONCRETE'S ROOF TILE
  - 6. STUCCO
  - 7. FABRIC SHIP
  - 8. DECORATIVE WINDOW SHIP
  - 9. DECORATIVE
  - 10. DECORATIVE
  - 11. DECORATIVE
  - 12. DECORATIVE
  - 13. DECORATIVE



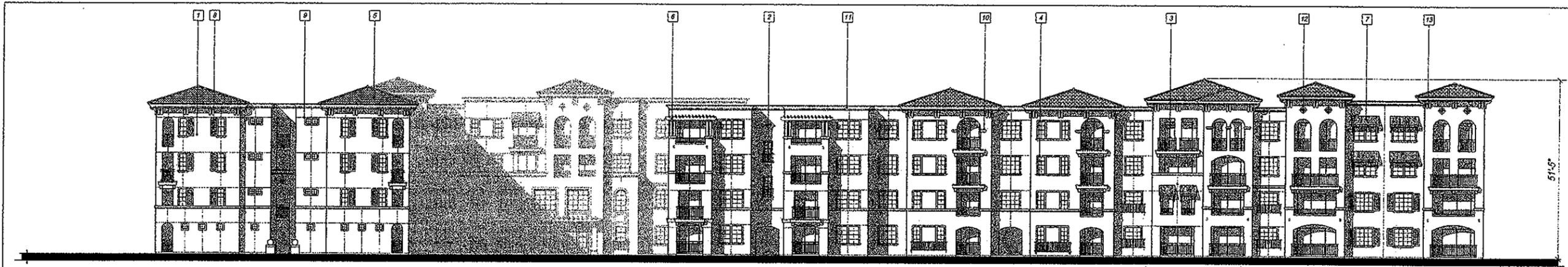
NORTHWEST ELEVATION  
(TECHNOLOGY DRIVE ELEVATION)

EXTERIOR ELEVATIONS  
0' 8' 16' 24'  
SCALE: 3/32" = 1'-0"

A-209  
2005-070 June 27, 2007  
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MURPHY RANCH APARTMENTS  
FAIRFIELD RESIDENTIAL  
5510 MOREHOUSE DRIVE, SAN DIEGO, CA 92121 (619) 526-6243

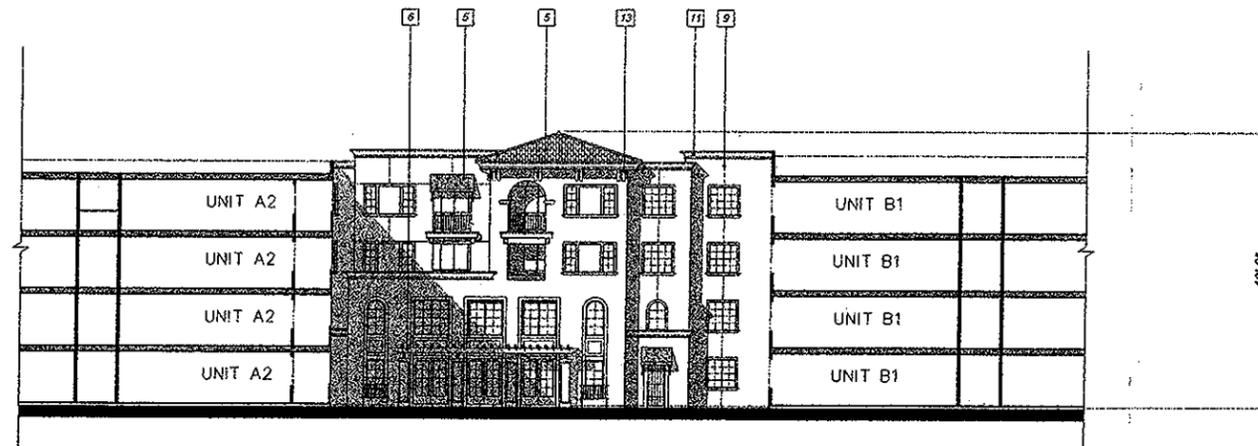
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SOUTHWEST ELEVATION

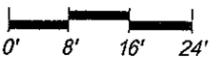
MATERIAL LEGEND:

1. SAND FINISH STUCCO
2. DECORATIVE W/ WINDOW BAR
3. W/ GUARDRAIL
4. DECORATIVE WINDOW SURROUND AND SILL
5. CONCRETE S' ROOF TILE
6. TRELLIS
7. FABRIC AWNING
8. DECORATIVE WINDOW SHUTTERS
9. SCREENED LINES
10. DECORATIVE TRIM
11. DECORATIVE PARAPET CORNICE
12. STUCCO RECESS W/ DECORATIVE W/ BARS
13. DECORATIVE CORBELS



SOUTHWEST POOL COURT ELEVATION

EXTERIOR ELEVATIONS



SCALE: 3/32" = 1'-0"

**A-210**

2005-070 June 27, 2007



**MURPHY RANCH APARTMENTS**

**FAIRFIELD RESIDENTIAL**

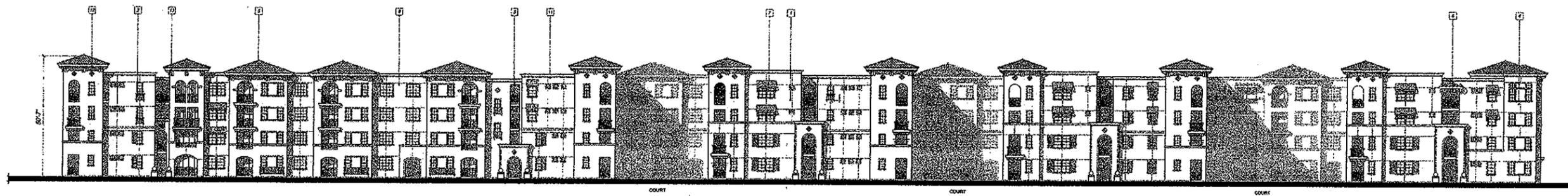
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MILPITAS, CALIFORNIA

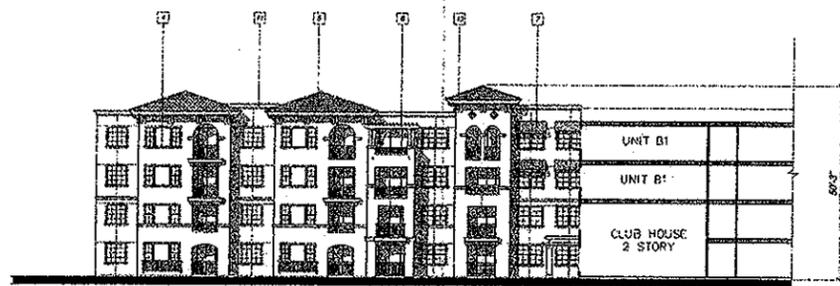
**ARCHITECTS ORANGE**

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SOUTHEAST ELEVATION



SOUTHEAST POOL COURT ELEVATION

- MATERIAL LEGEND:**
1. SAND/ROCK STUCCO
  2. ORANGE/TAPEX HIL ROOFING MAT
  3. 1/2\"/>

EXTERIOR ELEVATIONS

0' 8' 16' 24'

SCALE: 3/32" = 1'-0"

A-211

2005-078 June 27, 2007



MURPHY RANCH APARTMENTS

FAIRFIELD RESIDENTIAL

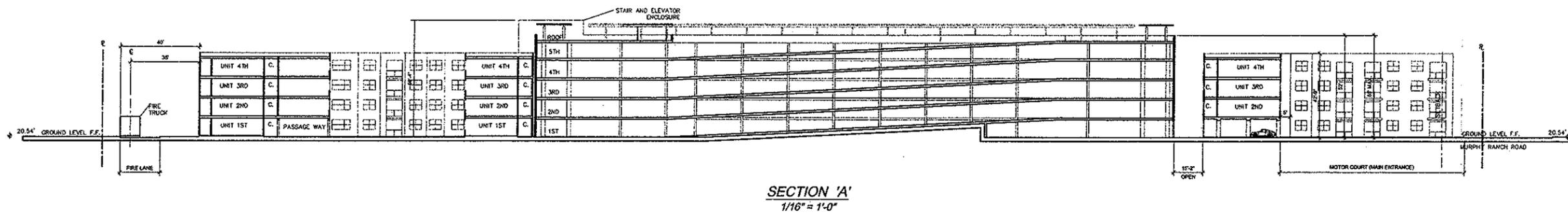
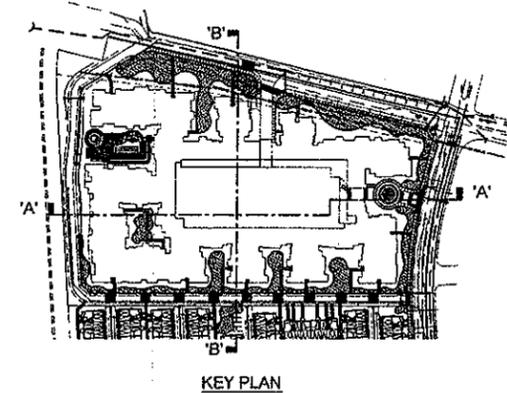
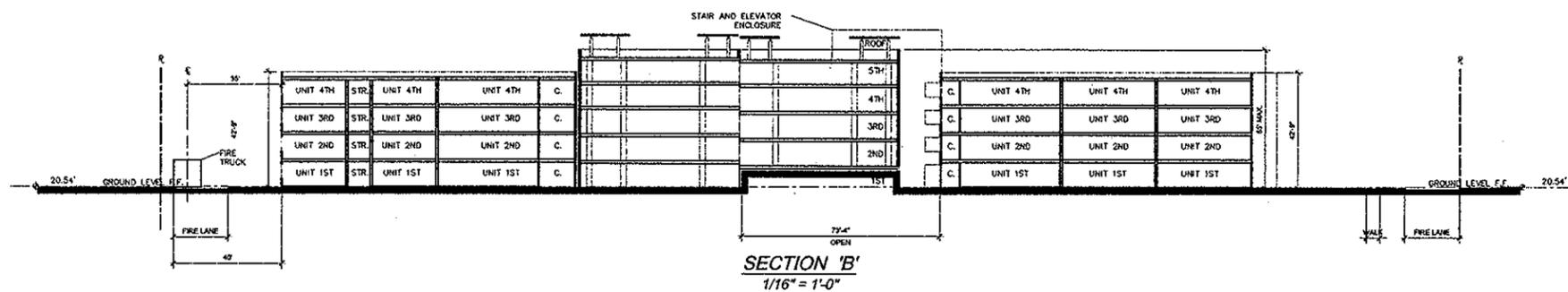
5510 MOREHOUSE DRIVE, SAN DIEGO, CA 92121 (651) 678-8244

MILPITAS, CALIFORNIA

ARCHITECTS ORANGE

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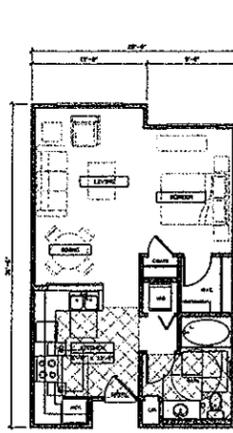


**BUILDING SECTIONS**  
 0' 20' 40' 60'  
 SCALE: 1" = 20'-0"  
**A-212**  
 2005-070 June 27, 2007

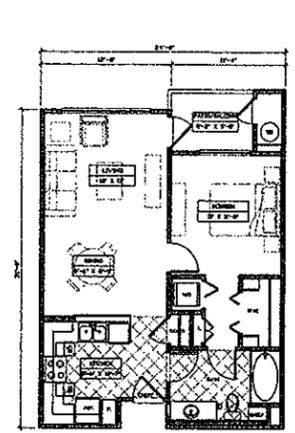
**MURPHY RANCH APARTMENTS**  
**FAIRFIELD RESIDENTIAL**  
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**ARCHITECTS ORANGE**  
 144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9860

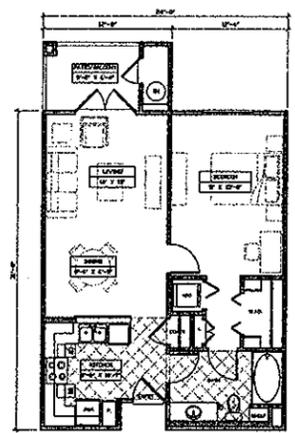




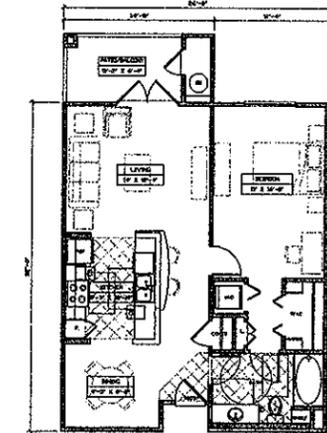
**UNIT A1S**  
1 BEDROOM STUDIO - 1 BATH  
LIVABLE AREA: 600 SQ. FT.



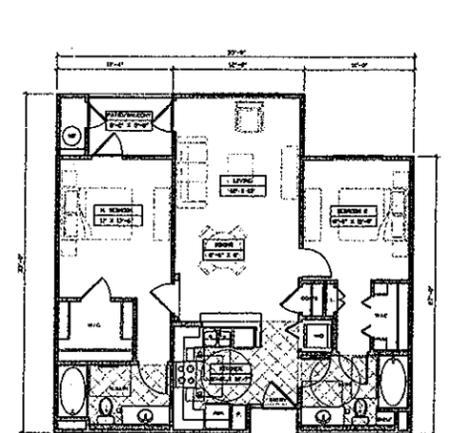
**UNIT A1**  
1 BEDROOM - 1 BATH  
LIVABLE AREA: 687 SQ. FT.  
PATIO/BALCONY: 46 SQ. FT.



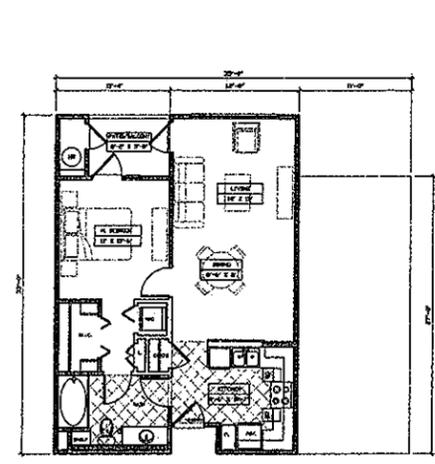
**UNIT A2**  
1 BEDROOM - 1 BATH  
LIVABLE AREA: 732 SQ. FT.  
PATIO/BALCONY: 63 SQ. FT.



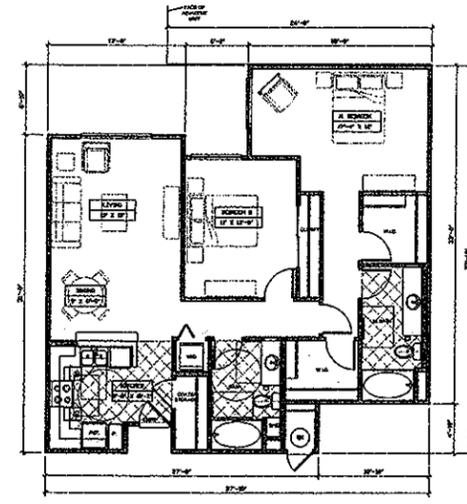
**UNIT A4**  
1 BEDROOM - 1 BATH  
LIVABLE AREA: 830 SQ. FT.  
PATIO/BALCONY: 74 SQ. FT.



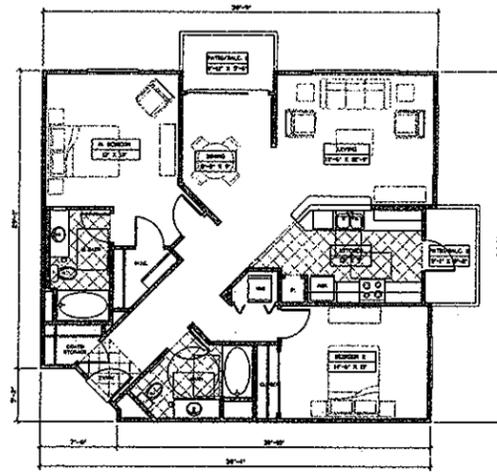
**UNIT B1**  
2 BEDROOM - 2 BATH  
LIVABLE AREA: 1,010 SQ. FT.  
PATIO/BALCONY: 48 SQ. FT.



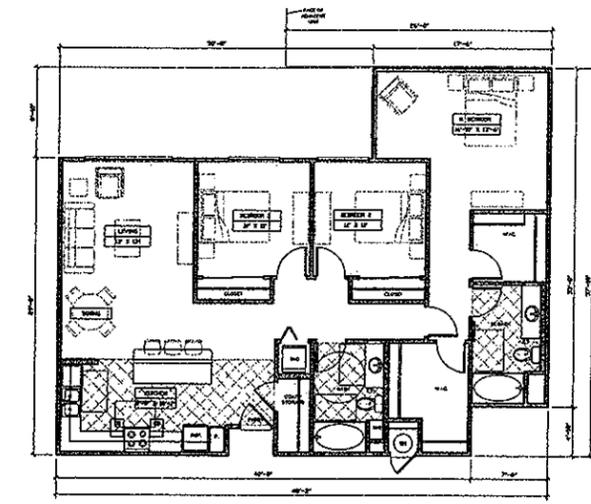
**UNIT B1-Mod**  
1 BEDROOM - 1.5 BATH  
LIVABLE AREA: 731 SQ. FT.  
PATIO/BALCONY: 46 SQ. FT.



**UNIT B4**  
2 BEDROOM - 2 BATH (INSIDE CORNER)  
LIVABLE AREA: 1,203 SQ. FT.

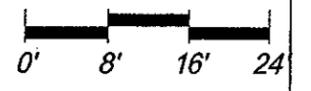


**UNIT B5**  
2 BEDROOM - 2 BATH (OUTSIDE CORNER)  
LIVABLE AREA: 1,264 SQ. FT.  
PATIO/BALCONY 1: 49 SQ. FT.  
PATIO/BALCONY 2: 47 SQ. FT.



**UNIT C1**  
3 BEDROOM - 2 BATH (INSIDE CORNER)  
LIVABLE AREA: 1,498 SQ. FT.

**UNIT PLANS**



SCALE: 1/8" = 1'-0"

**A-213**

2005-070 June 27, 2007



**MURPHY RANCH APARTMENTS**

**FAIRFIELD RESIDENTIAL**

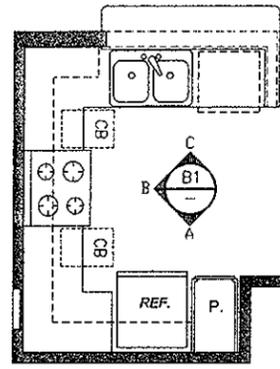
5510 MOREHOUSE DRIVE, SAN DIEGO, CA 92121 (858) 626-8240

MILPITAS, CALIFORNIA

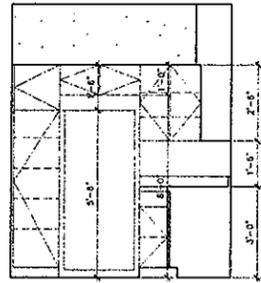
**ARCHITECTS ORANGE**

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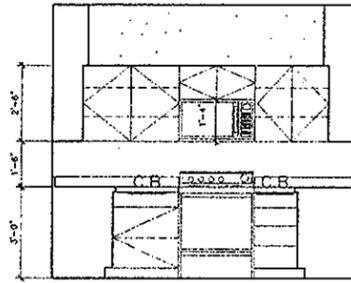
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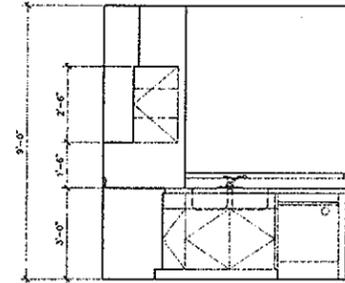
B1 PLAN



KITCHEN A

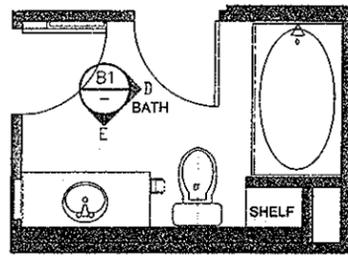


KITCHEN B

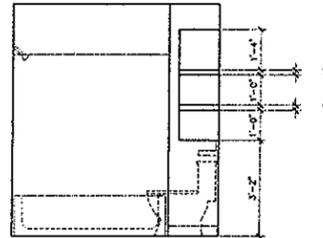


KITCHEN C

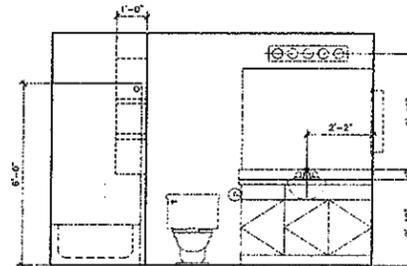
UNIT B1



B1 PLAN

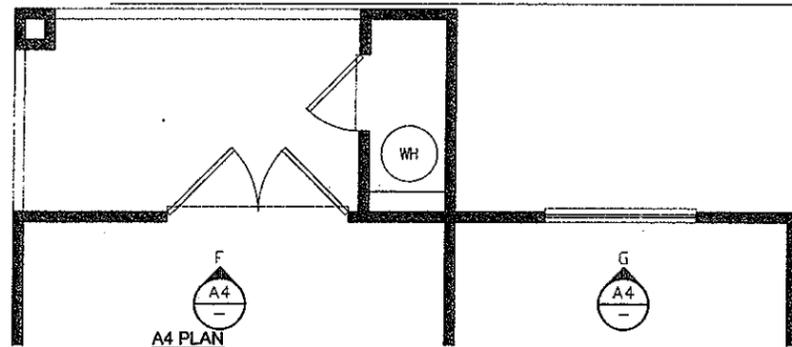


BATH D

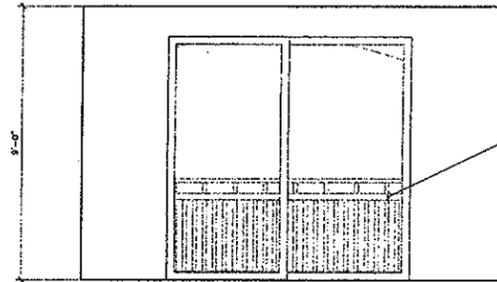


BATH E

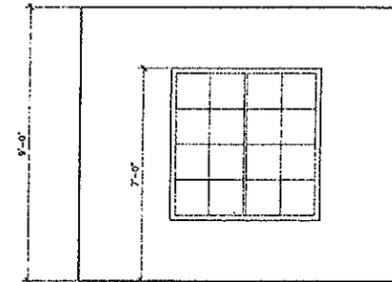
UNIT B1



A4 PLAN



LIVING ROOM F



BEDROOM G

UNIT A4

MURPHY RANCH APARTMENTS

FAIRFIELD RESIDENTIAL

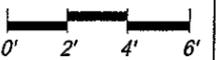
5510 MOREHOUSE DRIVE, SAN DIEGO, CA 92121 (858) 626-8240

MILPITAS, CALIFORNIA

ARCHITECTS ORANGE

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UNIT INTERIOR ELEVATIONS



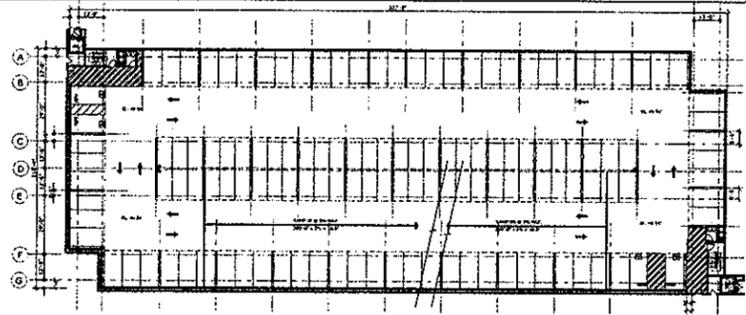
SCALE: 1/2" = 1'-0"

A-214

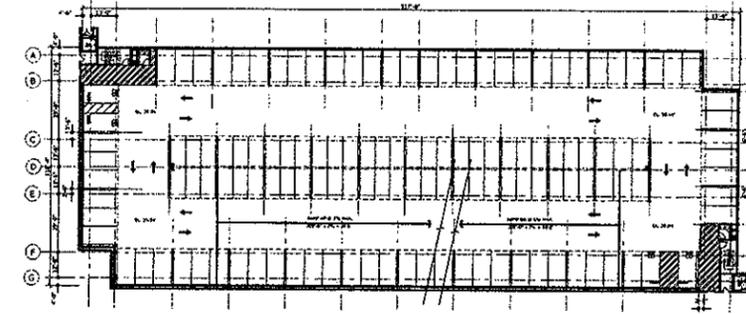
2005-070 June 27, 2007



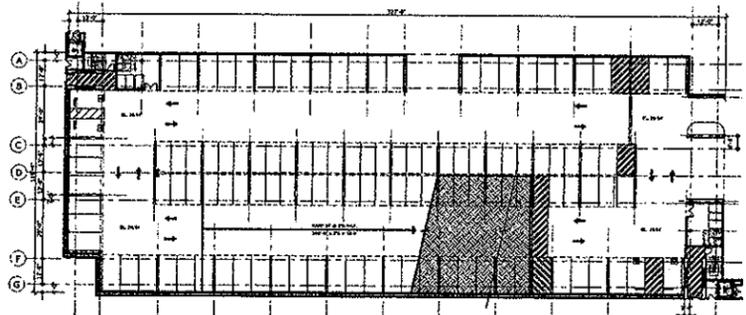
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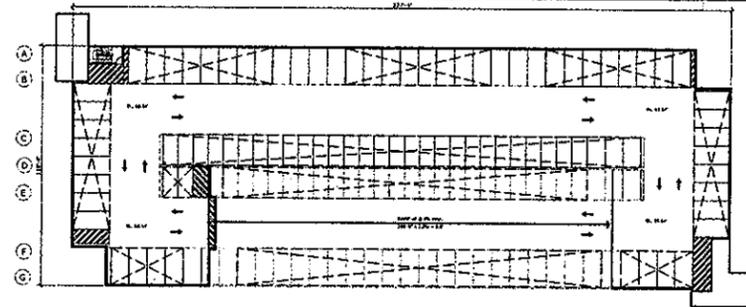
**THIRD FLOOR PLAN** 134 STALLS  
38,319 S.F.



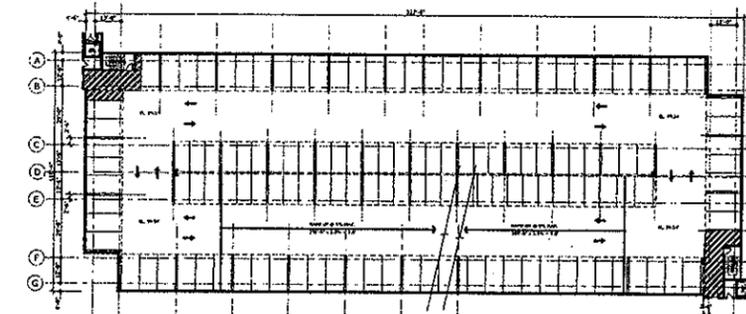
**SECOND FLOOR PLAN** 134 STALLS  
38,319 S.F.



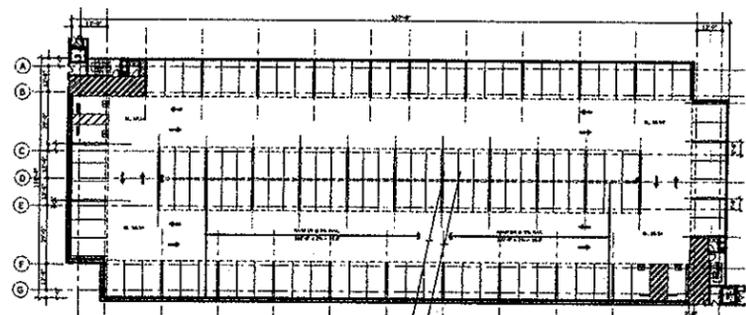
**FIRST FLOOR PLAN** 126 STALLS  
38,319 S.F.



**ROOF PLAN** 90 STALLS  
23,110 S.F.



**FIFTH FLOOR PLAN** 138 STALLS  
38,319 S.F.

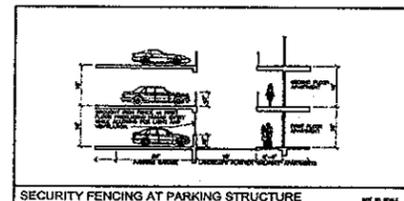
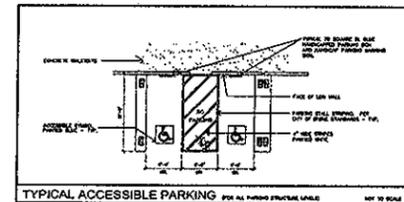
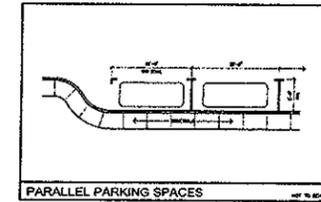
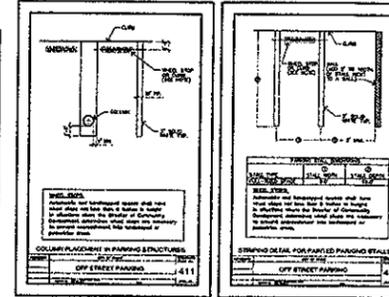
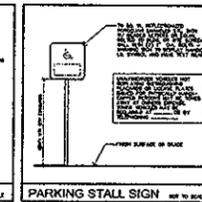
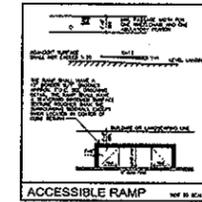


**FOURTH FLOOR PLAN** 134 STALLS  
38,319 S.F.

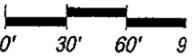
**PARKING TABULATION**

FIRST FLOOR PLAN	126 STALLS INCL. 4 ACCESSIBLE & 1 RESERVED
SECOND FLOOR PLAN	134 STALLS INCL. 4 ACCESSIBLE
THIRD FLOOR PLAN	134 STALLS INCL. 4 ACCESSIBLE
FOURTH FLOOR PLAN	134 STALLS INCL. 4 ACCESSIBLE
FIFTH FLOOR PLAN	138 STALLS
ROOF PLAN	90 STALLS

**TOTAL PARKING PROVIDED:** 756 STALLS INCL. 16 ACCESSIBLE & 1 RESERVED



**PARKING STRUCTURE TIER PLAN**



SCALE: 1" = 30'-0"

**A-215**

2005-070 June 27, 2007



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**MURPHY RANCH APARTMENTS**

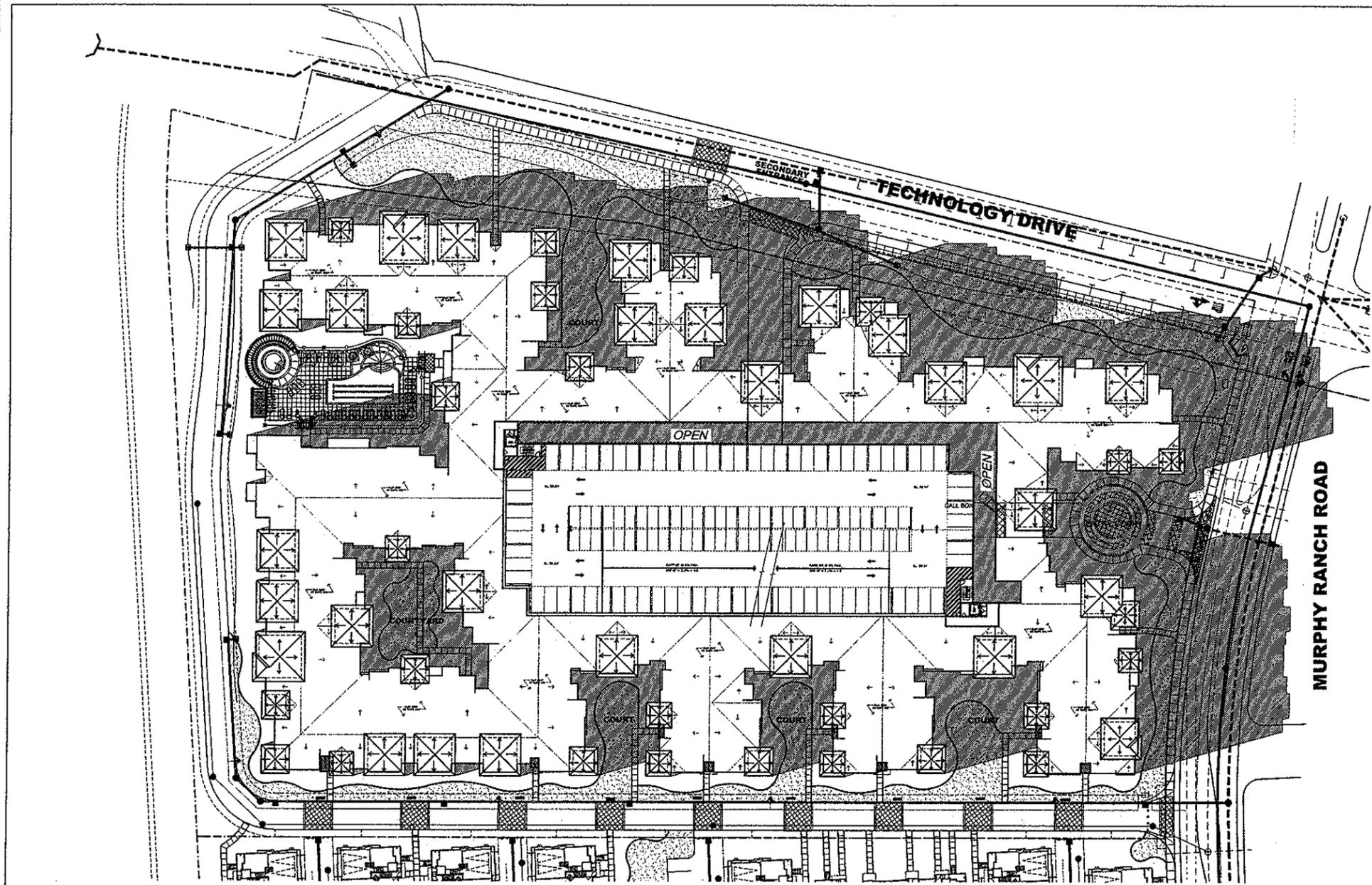
**FAIRFIELD RESIDENTIAL**

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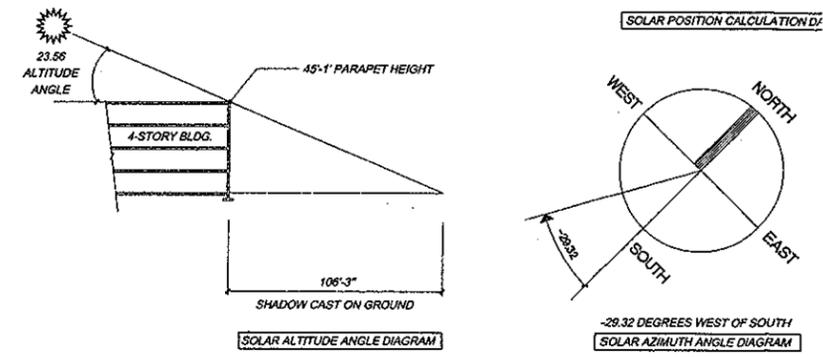
MILPITAS, CALIFORNIA

**ARCHITECTS ORANGE**

144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92666 (714) 639-9880



Longitude: 121	West	Time: 2:00	PM
Latitude: 37	North	Timezone: U (GMT - 8:00)	
Date: Dec 22		Day: Dec 22	Daylight Savings: No
Year: 2005		Time base: Clock time	Daylight Savings: No
Altitude: 50	feet	Time of sunrise: 7:13am	Time of sunset: 4:52pm
Altitude angle: 23.56		Equation of time: 0.02	
Azimuth angle: -29.32		Time of sunrise: 7:13am	Time of sunset: 4:52pm
Clock time: 2:00pm			
Solar time: 1:57pm			
Hour angle: -29.28			



**LEGEND**

A1, A2, A3, B1  
B2, B3, B4, C1

CALL BOX  
PROVIDED WITH EMERGENCY  
SWITCH, DIAL KEY TO  
POLICE AND FIRE DEPTS.  
MOUNTED AT 4' ABOVE DRIVE  
SURFACE.  
IN ADDITION PROVIDE A  
COURTNEY VIDEO ACCESS  
SYSTEM FOR VEHICLE GATE  
AND LOBBY DOORS



0' 30' 60'

SCALE: 1" = 30'-0"

**A-216**

2005-070 June 27, 2007

**MURPHY RANCH APARTMENTS**

**FAIRFIELD RESIDENTIAL**

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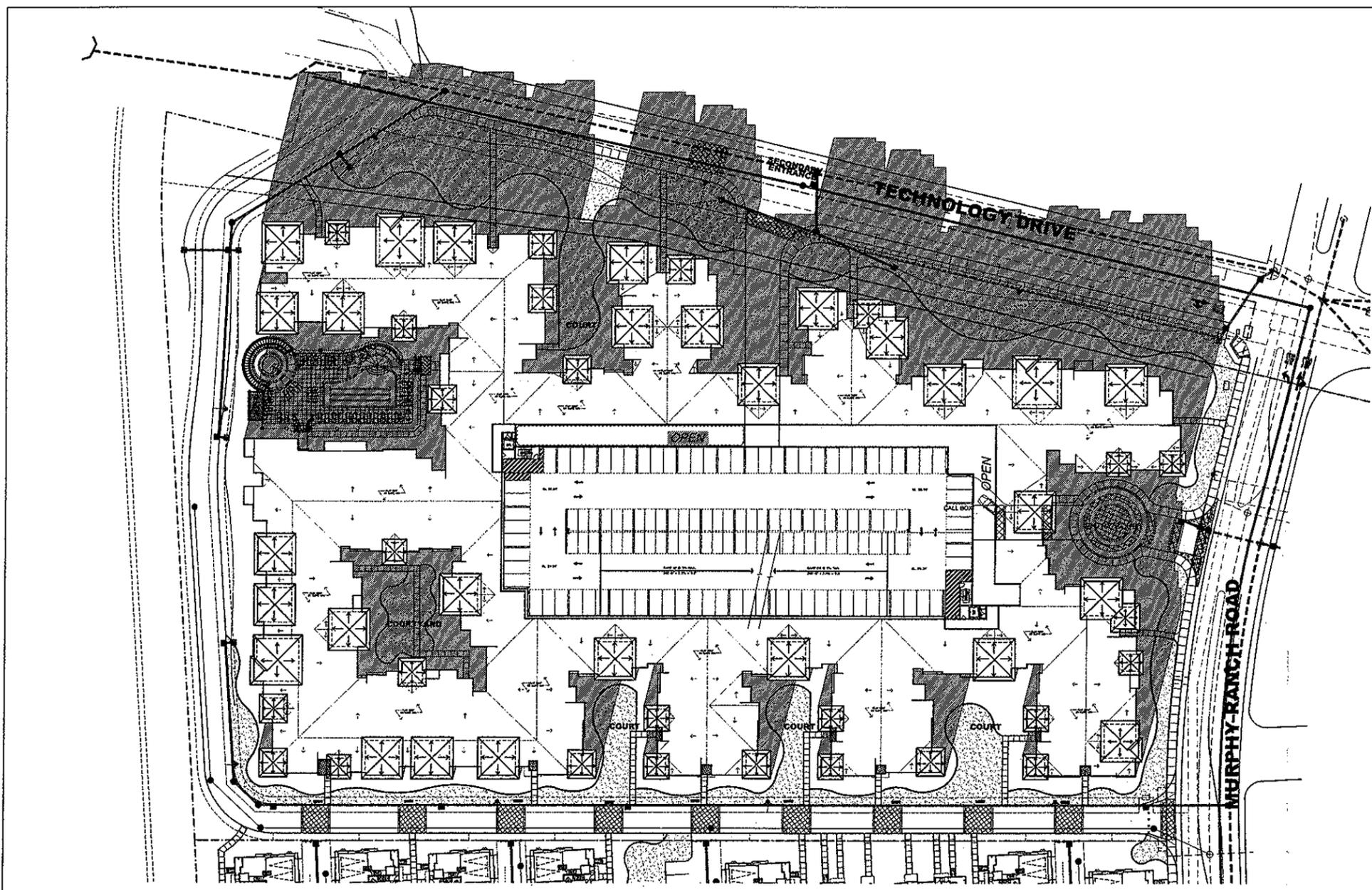
MILPITAS, CALIFORNIA

**ARCHITECTS ORANGE**

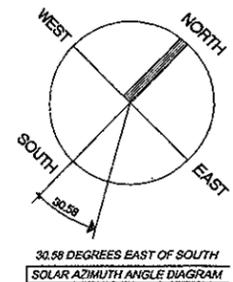
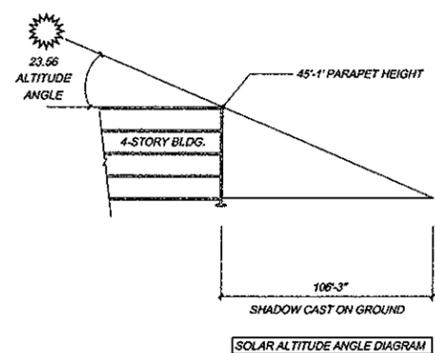
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Longitude: 121	West	Time: 10:00	AM
Latitude: 37	North	Time zone: U (GMT-8:00)	
Date: Dec 22		Time basis: Clock time	
Year: 2005		Daylight savings: No	
Elevation: 50	feet	Zero azimuth: South	
SOLAR POSITION CALCULATION DATA			
Altitude angle: 23.00		Declination: -23.43	
Azimuth angle: 30.58		Equation of time: 0.02	
Local time: 10:00am		Time of sunrise: 7:13am	
Solar time: 9:57am		Time of sunset: 4:52pm	
Hour angle: 30.69			



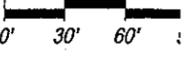
**LEGEND**

A1, A2, A3, B1 INDICATES UNIT TYPES. SEE SHEET A-210 FOR UNIT PLANS

B2, B3, B4, C1

CALL BOX PROVIDED WITH FLOOR KEY SWITCHES KEYS TO POLICE AND FIRE DEPTS. MOUNTED AT 4' ABOVE DRIVE SURFACE

ADDITIONAL PROVIDE A CLOSURE HOOD ACCESS SYSTEM FOR VEHICLE GATE AND LOBBY DOORS



SCALE: 1" = 30'-0"

**A-217**  
2005-070 June 27, 2007



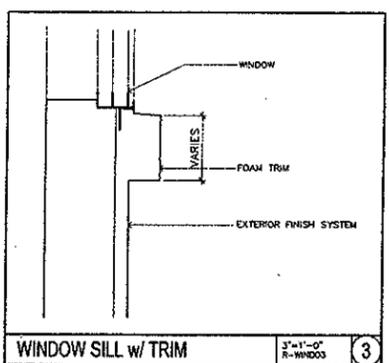
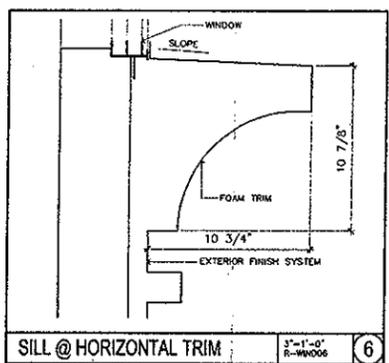
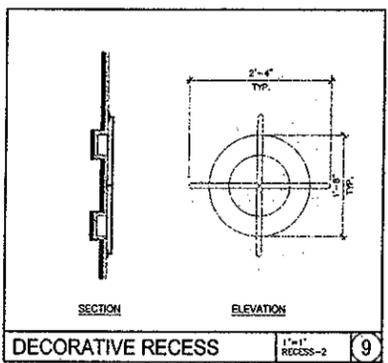
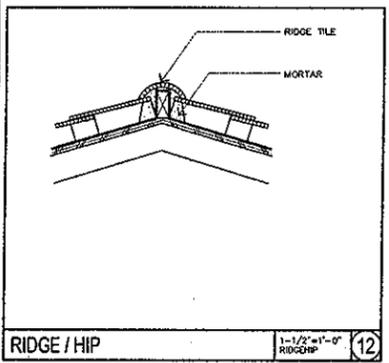
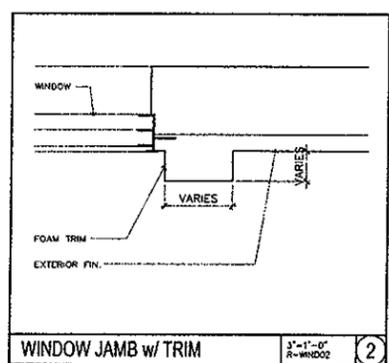
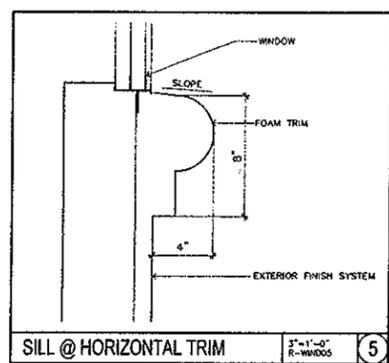
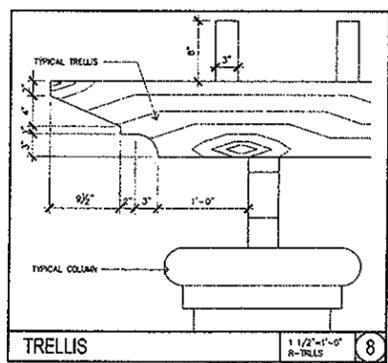
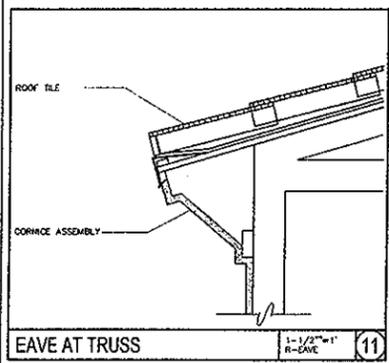
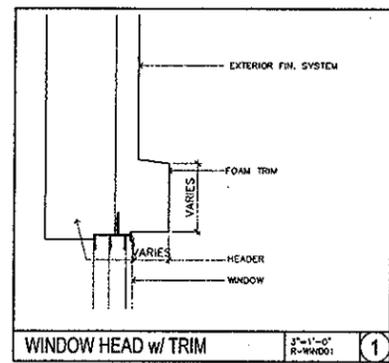
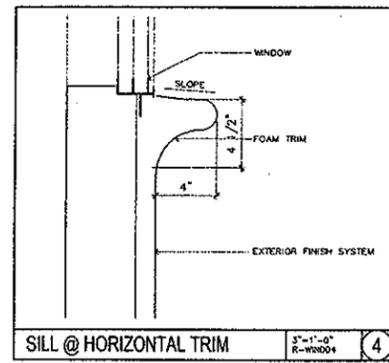
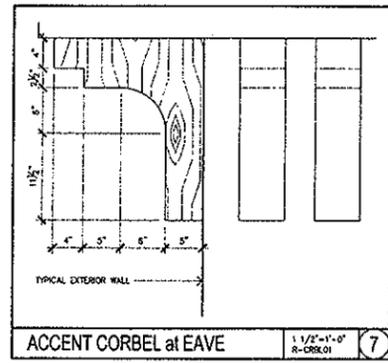
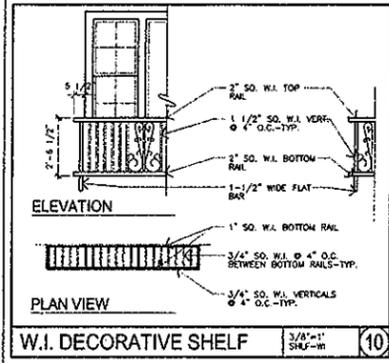
**MURPHY RANCH APARTMENTS**

**FAIRFIELD RESIDENTIAL**  
5510 MOREHOUSE DRIVE, SAN DIEGO, CA 92121 (858) 626-6240

MILPITAS, CALIFORNIA

**ARCHITECTS ORANGE**  
144 NORTH ORANGE ST., ORANGE, CALIFORNIA 92866 (714) 639-9860

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TYPICAL WINDOW SILL PROFILES

WINDOW TRIMS WHERE APPLICABLE

DETAILS

SCALE: VARIES

A-218  
 2005-070 June 27, 2007



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MURPHY RANCH APARTMENTS

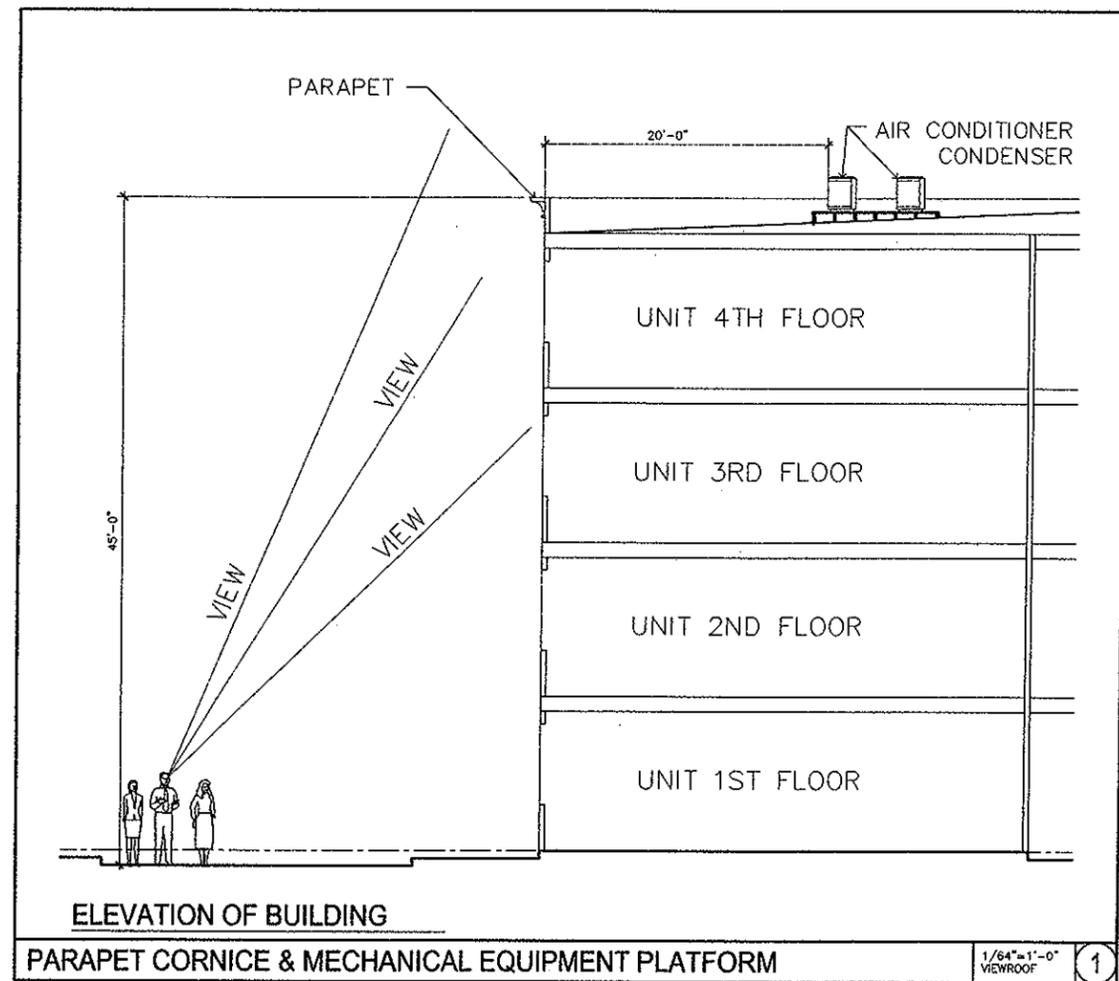
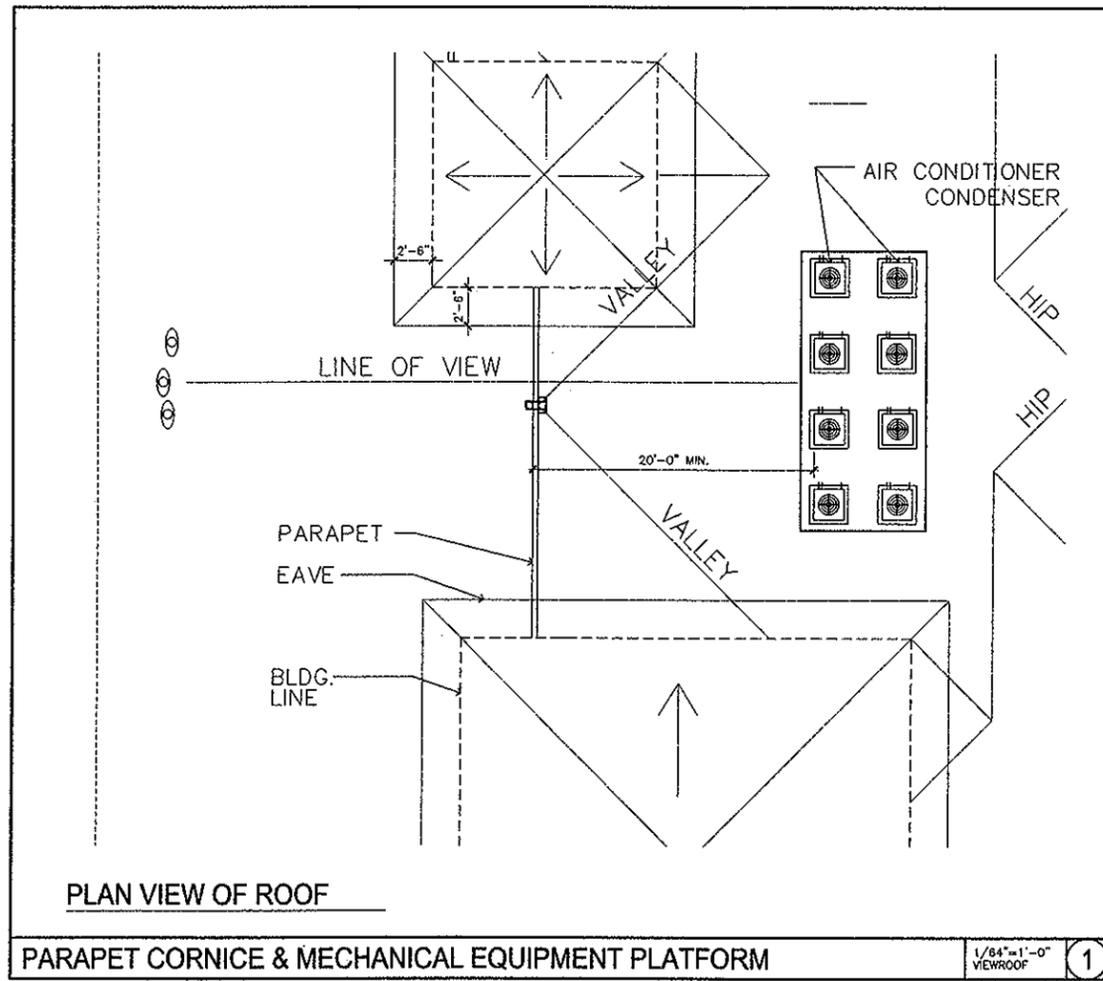
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MILPITAS, CALIFORNIA

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DETAILS

SCALE: 1/64"=1'-0"

**A-219**  
2005-070 June 27, 2007



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