

MILPITAS PLANNING COMMISSION AGENDA REPORT

Category: Public Hearing

Report Prepared by: Tiffany Kunsman

Public Hearing: Yes: No:

Notices Mailed On: 11/2/07

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TITLE: CONDITIONAL USE PERMIT AMENDMENT NO. UA2007-14, PARAGON SALES OFFICE

Proposal: A request to amend a previously approved Conditional Use Permit to allow for the relocation of the Paragon Sales Office from the existing sales trailer to the garage area of the 3-unit model home building. The application also includes the installation of a temporary freestanding sign and flag signs. .

Location: 1696 South Main Street

APN: 086 34 017, 019, 020

RECOMMENDATION: Approve subject to findings and Conditions of Approval

Applicant: Julie Nebozuk, Western Pacific Housing / D.R. Horton, 2300 Clayton Road, Suite 800, Concord, CA 94520

Property Owner: Western Pacific Housing / D.R. Horton, 2300 Clayton Road, Suite 800, Concord, CA 94520

Previous Action(s): Use Permit & "S" Zone Approval Amendment

Environmental Info: The proposed project is categorically exempt per Section 15304 (Minor Alterations to Land) of the California Environmental Quality Act (CEQA) Guidelines.

General Plan Designation: Multi-Family Very High Density

Present Zoning: R4-S, Multi-Family Very High Density with an "S" Zone Overlay

Existing Land Use: Multi-Family Condominium Development

Agenda Sent To: Applicant and owner as noted above

Attachments: Project Plans, Letter from the applicant

PJ#: 3204

BACKGROUND

On December 14, 2005, the Planning Commission approved “S” Zone Approval No. SZ2005-3 and Use Permit No. UP2005-17 for a multifamily residential development consisting of 147 condominium units with associated site improvements and deviations to setbacks, guest parking requirements and open space requirements.

The Planning Commission approved Use Permit No. UP2006-10 on May 10, 2006 for a temporary double-wide sales office trailer and associated site improvements, including a parking lot and landscaping for the Paragon multi-family residential project.

The Planning Commission Sub-Committee approved “S” Zone Amendment No. SA2006-60 on December 13, 2006, for the installation of temporary flag signs for the temporary tract sales office.

Site Description

The project site is a vacant 4.56-acre parcel currently under construction for the Paragon multi-family residential project at the northeast corner of South Main Street and Montague Expressway. The project site is bound by the Union Pacific Railroad to the immediate east, South Bay Tech Center to the west, public storage facility to the north and the City of San Jose to the immediate south. There is an existing Jack-in-the-Box fast food restaurant and Shell gasoline station adjacent to the property along South Main Street. The temporary tract sales office trailer is located south of the Jack-in-the-Box and north of the Shell gasoline station.



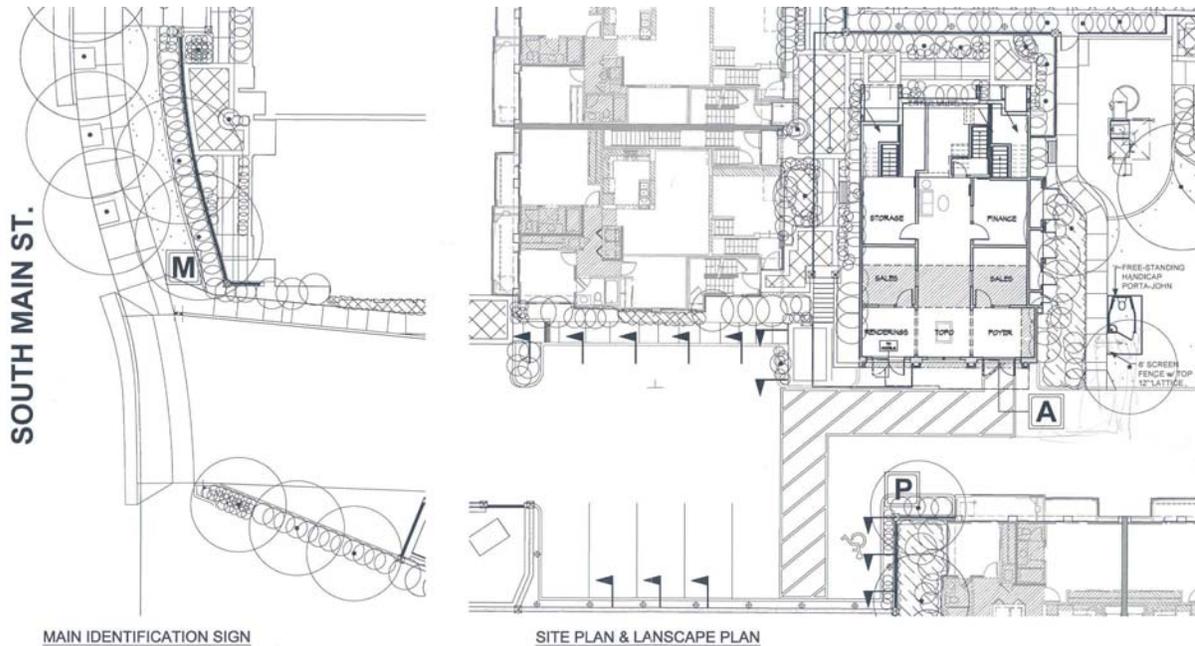
This Conditional Use Permit application is submitted pursuant to Title XI, Chapter 10, Section 8.04 (Multi-Family Very High Density, Conditional Uses – Temporary tract offices and tract signs) and Section 57 (Conditional Uses Permitted by Commission) of the Milpitas Zoning Ordinance. The applicant is requesting a conditional use permit amendment to allow for the relocation of the Paragon Sales Office from the existing sales trailer to the garage area of the 3-unit model home building. The application also includes the installation of a temporary freestanding sign and flag signs.

Project Description

The applicant requests to relocate the existing temporary tract sales office trailer to allow for the construction of another phase of condominiums as part of the overall phasing plan for the project. The applicant wants to maintain a sales office onsite by renovating the garage areas for 3 model homes to the new sales office location. Once all homes are sold, the sales office will be converted back into the 3 garages for the model homes. The purpose of remove the sales trailer is so construction may start on the 9-unit Building #19. The three tandem parking garage spaces on the ground floor of the model homes building will be converted into a temporary sales office, approximately 1,100 square feet, consisting of a foyer, display area, sales offices, finance office and storage space. The three garage doors will be modified to be two French style doors and paned windows. An ADA accessible porta-john will be located outside on the east side of the model homes building on the landscape area of the recreation area.



The temporary sales office will be accessed from the southern ingress/egress off South Main Street. There will be 8 parking spaces including an ADA accessible space directly in front of the temporary sales office.



The temporary sales office will be open daily. The hours of operation are Monday through Friday, between 10:00 A.M. and 5:00 P.M. and on Saturday and Sunday, between 10:00 A.M. and 6:00 P.M.

The applicant is also proposing a temporary advertisement sign next to the entrance on South Main Street, an identifying sales office sign rapped at the bottom of the storefront awning, and a directional parking sign. Advertisement flag signs will line the parking area.

Conformance with the General Plan

The project conforms to the General Plan in terms of land use. The proposed use does not conflict with any General Plan Principles and Policies, and is consistent with the following General Plan Implementing Policies.

Guiding Principle 2.a-I-22 Develop the Midtown area, as shown on the Midtown Specific Plan, as an attractive and economically vital district that accommodates a mixture of housing, shopping, employment, entertainment, cultural and recreational activities organized within a system of landscaped boulevards, streets and pedestrian / bicycle linkages.

Guiding Principle 2.a I-2 Promote development within the incorporated limits which acts to fill-in the urban fabric rather than providing costly expansion of urban services into outlying areas.

Conformance with the Zoning Ordinance

The proposed project is located in the Multi-Family Very High Density (R4) zoning district and is permitted with the approval of a Conditional Use Permit. Milpitas Municipal Code (MMC)

Section XI-10-8.04-7 lists the following use as permitted, subject to securing a conditional use permit:

Temporary tract offices and tract signs with the exception that no tract sign shall be permitted within six hundred (600) feet of a Santa Clara County Expressway.

MMC Section XI-10-57.03-5 states that approval of the Conditional Use Permit may be granted by the Planning Commission if all of the following findings can be made:

- (a) The proposed use, at the proposed location will not be detrimental or injurious to property of improvements in the vicinity nor to the public health, safety and general welfare;*
- (b) The proposed use is consistent with the Milpitas General Plan; and*
- (c) The proposed use is consistent with the Milpitas Zoning Ordinance.*

Conformance with CEQA

Staff conducted an environmental assessment of the project and determined that the proposed project is categorically exempt from further environmental review pursuant to Class 1, Section 15304 (“Minor temporary use of land having negligible or no permanent effects on the environment”) of the California Environmental Quality Act (CEQA) Guidelines.

RECOMMENDATION

Close the Public Hearing. Approve Conditional Use Permit Amendment No. UA2007-14 Subject to the Findings and Special Conditions of Approval listed below.

FINDINGS

1. The proposed project is consistent with the City of Milpitas General Plan in terms of land use because the temporary office is an ancillary use to the new residential units.
2. The proposed project is consistent with the City of Milpitas Zoning Ordinance because the proposed use is a conditionally permitted use in the Multi-Family Very High Density zoning district.
3. As conditioned, the proposed project will not be detrimental or injurious to the public health, safety, and general welfare to adjacent future tenants or the surrounding community because the use is temporary in nature and no significant impacts to parking, traffic, odor or noise are anticipated.

SPECIAL CONDITIONS

1. This Conditional Use Permit Amendment No. UA2007-14 is for the relocation of the Paragon Sales Office from the existing sales trailer to the garage area of the 3-unit model home building. The application also includes the installation of a temporary freestanding sign and flag signs. (P)

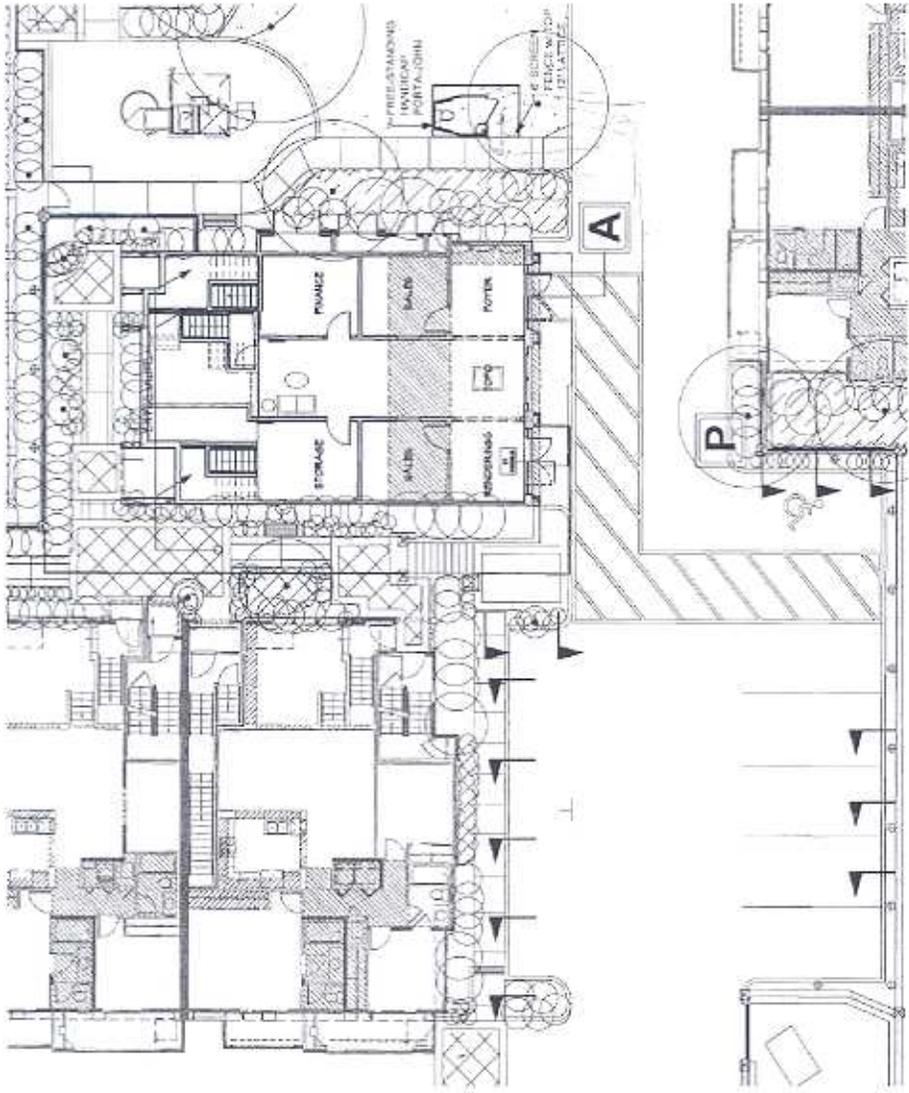
2. This temporary use permit for the temporary sales office and associated site improvement expires on November 14, 2009. Should any extension of this permit be necessary, an application shall be submitted to the Planning Division no later than August 14, 2009. (P)
3. Any modifications to the conditions of approval require Planning Commission approval of an amendment to this Use Permit and a public hearing. Minor changes, as per Section 42.10-2 of the Milpitas Zoning Ordinance, to approved plans may be approved by the Planning Division staff. (P)
4. Prior to issuance of occupancy, all site improvements indicated on the approved plans including but no limited, parking lot, landscaping, sidewalks, streets and lighting, shall be installed and to the satisfaction of the Planning Division. (P)
5. Pursuant to Resolution No. 3187, the applicant shall prominently post a copy of the City's General Plan Map and have a copy of the General Plan available for public review in the sales office trailer. In addition, the applicant shall be required to refer to each purchaser of a home to the General Plan and Map and to the City Planning Division to answer any questions regarding the interpretation of the Plan or Map.
6. On-site temporary signage associated with the sales office and model homes shall be to the approval of the Planning Division staff under a separate permit. Once approved all temporary signage shall removed upon the removal of the sales office and sale of the model homes. (P)
7. If at the time of application for building permit there is a project job account balance due to the City for recovery of fees, review of permits will not be initiated until the balance is paid in full. (P)
8. This use shall be conducted in compliance with all appropriate local, state, and federal laws and regulations and in conformance with the approved plans. (P)
9. Developer must comply with all the conditions previously approved by the Planning Commission and City Council for Tentative Tract Map No. MA2005-2, Site and Architecture Approval No. SZ2005-3, and Use Permit No. UP2005-17. (E)
10. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing #405. Overall cumulative height of the grading, landscaping & signs as determined by sight distance shall not exceed 2 feet when measured from street elevation. (E)
11. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to plan check and inspection deposit. (E)
12. Applicant/property owner shall be responsible for the trash collection and recycling services account. Prior to occupancy permit issuance, the applicant shall submit evidence to the City that the minimum refuse and recycling services have been subscribed with Allied Waste

Services/BFI for commercial services. For general information, contact BFI at (408) 432-1234, x-264. (E)

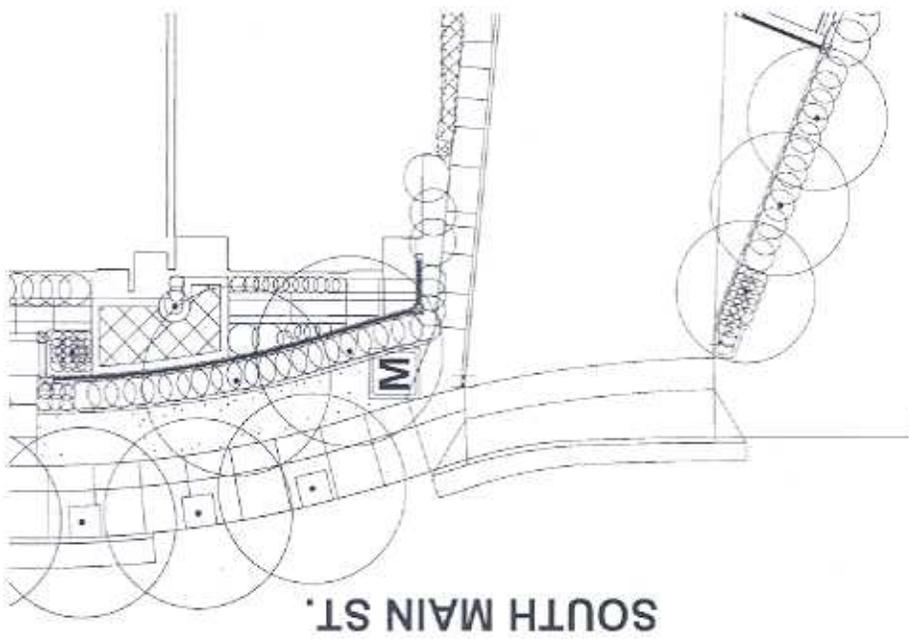
13. The developer shall submit a Sewer Needs Questionnaire and/or Industrial Waste Questionnaire with the building permit application and pay the related fees prior to Building Permit issuance. Contact the Land Development Section at (408) 586-3329 to obtain the form(s). (E)
14. It is the responsibility of the developer to obtain any necessary encroachment permits or approvals from affected agencies or private parties. Copies of these approvals or permits must be submitted to the City of Milpitas Engineering Division. (E)

Planning Division = (P)

Engineering Division = (E)



SITE PLAN & LANDSCAPE PLAN



MAIN IDENTIFICATION SIGN



VICINITY MAP

LEGEND

M	#1 MAIN IDENTIFICATION SIGN
A	#2 AVENUE
P	#3 PARKING SIGN
T	#4 PLANTS

REVISIONS	DATE	BY

SALES OFFICE

JOB NO. 205,000	SHEET
DRAWN: BUS	A1.1
CHECK:	
DATE:	

- San Diego 619-474-8244
- Phoenix 602-401-4884
- Denver 303-799-0760
- Sacramento 916-635-0234
- Las Vegas 702-253-6470
- Livermore 925-469-1900
- Phoenix 602-401-4884
- Seattle 206-275-4893
- Sacramento 916-635-0234
- Fresno 559-431-7602
- Austin 512-383-1372

PROJECT THE PARAGON

CLIENT D.R. HORTON BAY AREA

JOB# / JPO# 500-15533-OGD

MO# 00044191

AE TE

DESIGNER CC/ SARAH TEDFORD

ORIGINAL DATE 4-7-06

REVISIONS 4-13-06

9-13-07/ST

SCALE 3/4" = 1'-0"

MAC FILE NAME (GD-7)

PARAGON
MAIN ID SIGN 2

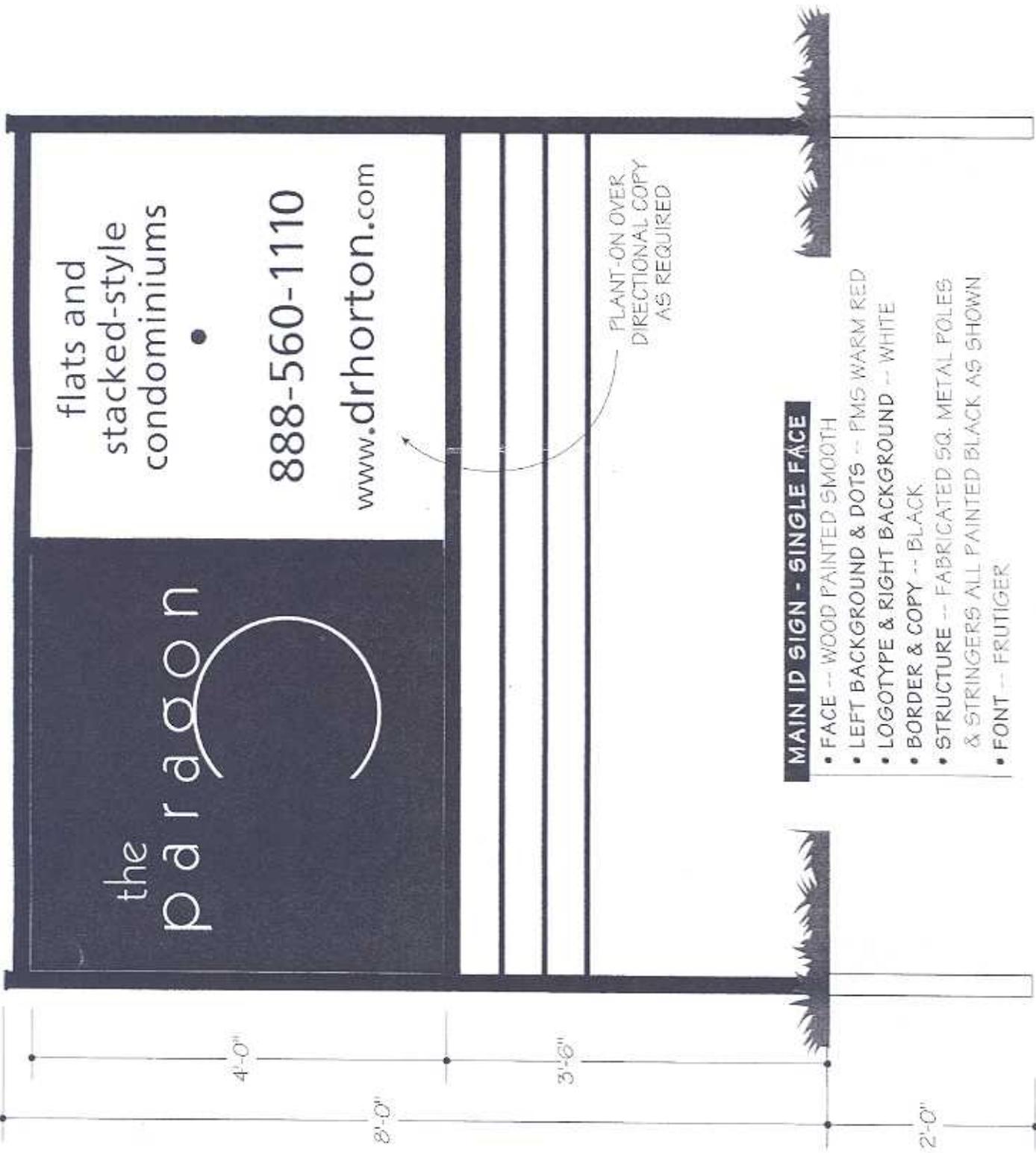
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- Seattle (206) 575-4895
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- Sacramento (916) 635-0034
- Las Vegas (702) 253-6470
- Fresno (559) 431-2502
- Livermore (925) 449-1900
- Austin (512) 383-1572

PROJECT
THE PARAGON

CLIENT
D.R. HORTON BAY AREA

IDOR/PROJ#
500-22536-OGD

MOJ#
000101413

AE
TERRI EVERHART

DESIGNER
CC/ SARAH TEDFORD

ORIGINAL DATE
4-3-06

REVISIONS

- 4-7-06 9-14-07/ST**
- 4-14-06 9-14-07/ST**
- 9-14-07/ST 9-17-07/ST**

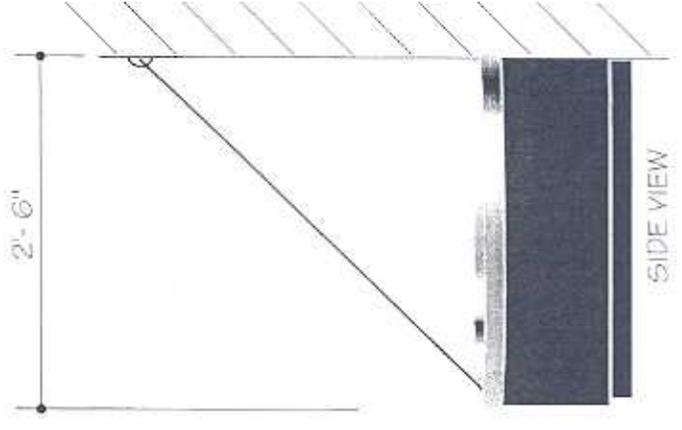
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MAC FILE NAME (GD/7)
**PARAGON
AWNING 3**

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SIDE VIEW OF FOLDED SHEET METAL FRONT AND SIDES
N.T.S.

AWNING - SINGLE FACE

- FRAME -- METAL PAINTED PMS WARM RED HELD UP WITH STAINLESS STEEL CABLES.
- AWNING FABRIC -- TOP IS CORRUGATED SHEET METAL; SIDES ARE FOLDED SHEET METAL PAINTED WARM RED
- COPY -- WHITE
- FONT -- FRUTIGER

- San Diego 619 474-2246
- Phoenix 602 484 0044
- Denver 303 762-0200
- Seattle 206 575-4895
- Southern Co. 913 378-2037
- Sacramento 916 835-0214
- Las Vegas 702 253-6470
- Fresno 559 431-2502
- Livermore 925 449-1900
- Austin 512 383-1572

PROJECT
THE PARAGON

CLIENT
D.R. HORTON BAY AREA

IDOR/IPC#
500-22536-OGD

MO#
101413

AE
TERRI EVERHART

DESIGNER
CC/ SARAH TEDFORD

ORIGINAL DATE
4-7-06

REVISIONS
9 - 26 - 07/ST

SCALE
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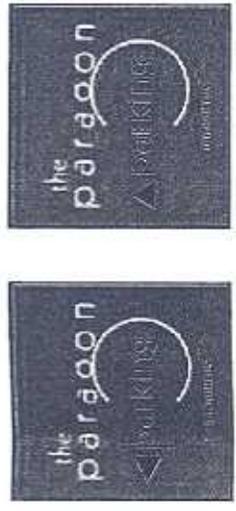
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PARAGON PARKING SIGN

BUILDER LOGO IS PROD. READY

LOGO TYPE IS NOT PROD. READY
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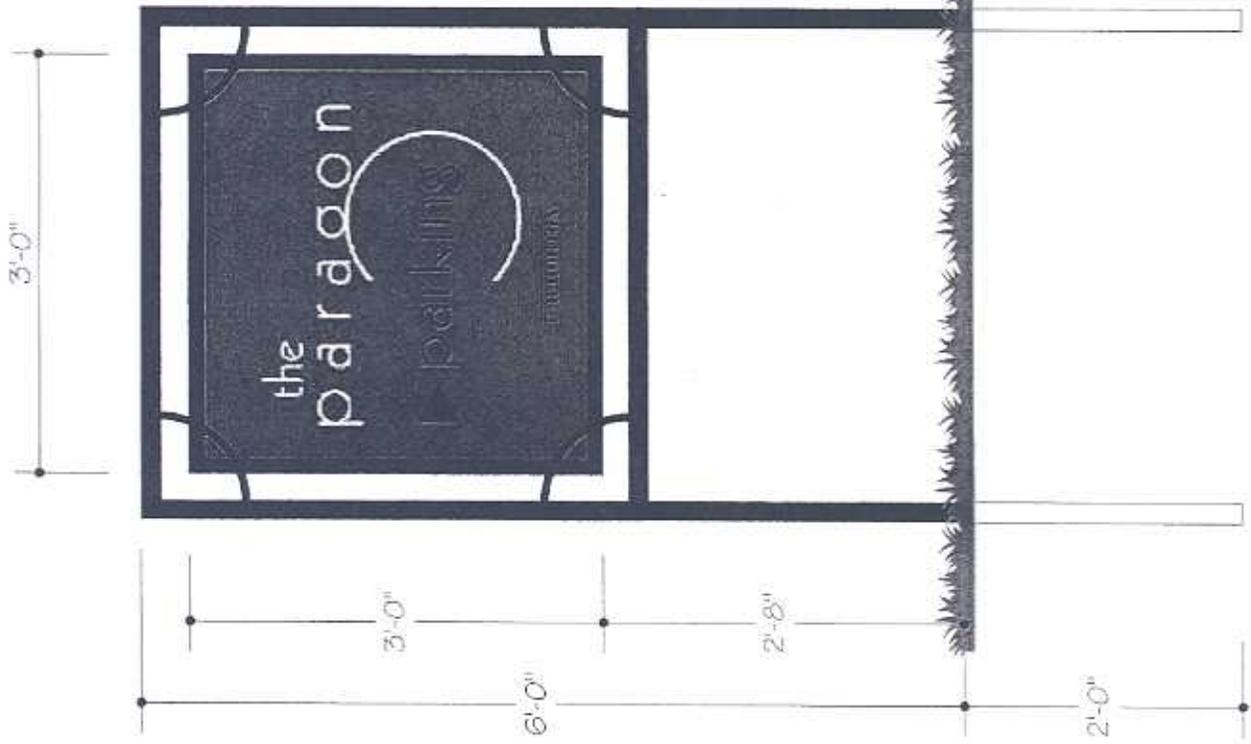
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OTHER SIGN FACES
N.T.S.

PARKING SIGN - SINGLE FACE

- **FACE -- CLEAR ACRYLIC PAINTED SECOND SURFACE OR WOOD PAINTED SMOOTH**
- **BACKGROUND -- PMS WARM RED**
- **LOGO TYPE -- CUT OUT WHITE ACRYLIC OR SMOOTH VCO**
- **COPY -- CUT OUT BLACK ACRYLIC OR SMOOTH VCO**
- **BUILDER LOGO -- BLACK VCO**
- **STRUCTURE -- FABRICATED SQ. METAL**
- **POLES ALL PAINTED BLACK AS SHOWN**
- **FONT -- KABEL**



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 916-372-1200
 FRESONO, CALIFORNIA

W/O# 25543/57
 CLIENT: DR HORTON
 PROJECT: MAIN

DATE: 04/05/2007
 DESCRIPTION: FLAG LAYOUT
 SCALE:

REVISION / DATE / DESIGNER

SALES: GABRIEL
 DESIGNER: *Signitech*

CLIENT APPROVAL SIGNATURE: _____
 DATE: _____

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DESCRIPTION: FLAG
SCALE:

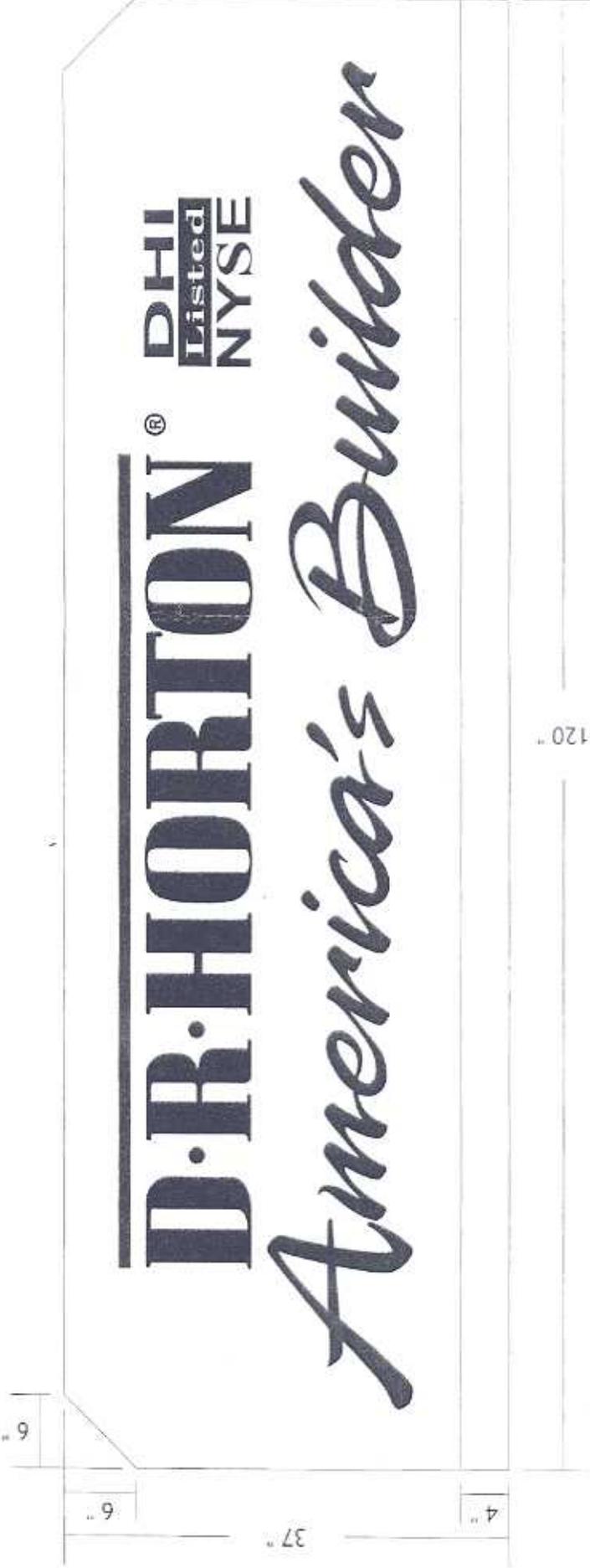
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PANTONE 281 C (100%)
PANTONE 405 C (100%)



GENERAL NOTES

- GENERAL NOTES**
 1. THE WORD "CONTRACTOR" AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM.
 2. CONTRACTOR SHALL COMPLY WITH ALL ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AGENCY HAVING JURISDICTION ON THIS PROJECT AND SHALL NOTIFY OWNER IMMEDIATELY UPON BECOMING AWARE THAT ANY ASPECT OF THE PROJECT DESCRIBED HEREIN IS AT THE VARIANCE THEREWITH.
 3. CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTABLE TO OWNER PRIOR TO COMMENCEMENT OF WORK.
 4. BY SUBMITTAL OF BID, CONTRACTOR WARRANTS TO OWNER THAT ALL MATERIALS AND EQUIPMENT TO BE FURNISHED ARE NEW UNLESS NOTED OTHERWISE AND ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS.
 5. CONTRACTOR SHALL VISIT SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BID.
 6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN HEREIN AND REPORT ALL DISCREPANCIES TO OWNER PRIOR TO SUBMITTAL OF BID.
 7. ALL STANDARD NOTES CONTAINED HEREIN ARE TYPICAL UNLESS NOTED OTHERWISE.
 8. ALL TRADE NAMES AND BRAND NAMES CONTAINED HEREIN ESTABLISH QUALITY STANDARDS. OWNER PERMITS SUBSTITUTIONS WITH PRIOR APPROVAL.
 9. THE SCOPE OF SERVICES UNDER THIS CONTRACT IS LIMITED TO PROVIDING A "BUILDER'S SET" OF PLANS. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDER'S PERMIT; HOWEVER ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN THIS "BUILDER'S SET". THE IMPLANTATION OF THE PLANS REQUIRES AN OWNER/CONTRACTOR (GENERAL CONTRACTOR AND SUBCONTRACTORS) THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION. THE PLANS AND GENERAL NOTES DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS AND TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIAL, PRODUCT OR METHOD.
 10. SMOKE DETECTOR SYSTEM SHALL COMPLY WITH CBC SECTION 310.9
 11 (A). EXTERIOR WALLS - R-11 KRAFT - FACED FIBERGLASS BATTIS STAPLED BETWEEN STUDS.
 (B). INTERIOR WALLS - R-19 UNFACED FIBERGLASS BATTIS IN WALL AROUND RESTROOMS AND LOBBY. FULL THICK FIBERGLASS SOUND BATT IN ALL OTHER WALLS.
 (C). INSULATION SHALL BE INSTALLED IN COMPLIANCE W/ THE FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF CBC SECTION 707.
 (D). FLAME SPREAD OF 25 REQUIRED FOR EXPOSED INSULATION IN CEILING SPACE.
 (E). INSULATION MATERIAL SHALL MEET THE QUALITY STANDARD PER SECTION 110 ENERGY EFFICIENCY STANDARDS (E.E.S.)

- ENERGY CONSERVATION**
 1. ALL HEATING, VENTILATION AND AIR CONDITIONING EQUIPMENT SHALL MEET ALL OF THE REQUIREMENTS OF THE APPLIANCE EFFICIENCY STANDARDS AND SHALL BE CERTIFIED TO THE STATE ENERGY COMMISSION.
 2. THERMOSTATS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK WHICH THE BUILDING OCCUPANT CAN PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTAT, SET POINTS FOR AT LEAST TWO PERIODS WITHIN 24 HOURS.
 3. ALL TRANSVERSE DUCT, PLENUM AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE TAPE OR MASTIC TO PREVENT AIR LOSS AND SHALL BE INSULATED TO CONFORM TO THE PROVISIONS OF SECTION 604 OF THE CURRENT UNIFORM MECHANICAL CODE.
 4. ALL MANUFACTURED WINDOWS AND SLIDING DOORS SHALL MEET STANDARDS (ASTM #E283-09) AND SHALL BE CERTIFIED AND LABELED. PER SECTION 116, ALL MANUFACTURED FENESTRATION PRODUCTS ARE TO BE CERTIFIED AND PERMANENTLY LABELED AS TO THEIR OVERALL U-VALUES, AS TESTED IN ACCORDANCE WITH THE NFRC PROCEDURE, OR A DEFAULT TABLE CONTAINED IN THE DESIGN MANUAL. THE TEMPORARY LABEL LISTING THE CERTIFIED U-VALUE SHALL NOT BE REMOVED BEFORE INSPECTION BY THE BUILDING DEPARTMENT.
 5. ALL SWINGING DOORS AND WINDOWS LEADING TO UNCONDITIONED AREAS SHALL BE FULLY WEATHER STRIPPED.
 6. INSULATION USED SHALL COMPLY WITH CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS (PER C.E.C. 110)
 7. THE INSULATION INSTALLER SHALL POST A SIGNED CERTIFICATE (PER C.E.C.)
 8. PROVIDE GASKETS UNDER THE PLATES OF ALL OUTLETS LOCATED IN THE WALL FORMING THE PERIMETER OF CONDITIONED SPACE IF REQUIRED BY ENERGY CALCULATIONS.
 9. WRAP ALL HVAC DUCTS OUTSIDE CONDITIONED SPACE
 10. ALL EXTERIOR DOORS SHALL BE WEATHER STRIPPED. INSTALL METAL THRESHOLDS AT ALL DWELLING EXTERIOR SWINGING AND GARAGE TO DWELLING DOORS PER 124.

- SALES OFFICE CONSTRUCTION NOTES**
 1. INTERIOR CONSTRUCTION OF WALLS, SOFFITS AND BUILT-IN STORAGE CABINETS IS BY OWNER/CONTRACTOR, UNLESS SPECIFIED OTHERWISE.
 2. THE PURCHASE AND INSTALLATION OF DOORS AND WINDOWS ARE BY OWNER/CONTRACTOR UNLESS SPECIFIED OTHERWISE.
 3. SET HEADER HEIGHTS AT STANDARD 8'-0" UNLESS SPECIFIED OTHERWISE.
 4. MANY DIMENSIONS ARE CRITICAL. PLEASE NOTIFY SALES OFFICE DESIGNER PRIOR TO MAKING FIELD CHANGES.
 5. FURK OUT WALLS AND SHEET ROCK TO COVER CURBS UNLESS SPECIFIED OTHERWISE. REFER TO DETAIL PROVIDED IN "BUILDER'S SET".
 6. FURK OUT WALLS INSIDE GARAGE HEADER TO ACHIEVE FLUSH INTERIOR WALLS.
 7. STUB OFF PLUMBING STANDARD TO GARAGE AND RECESS IN WALL FOR FUTURE USE.

- MECHANICAL**
 1. CONTRACTOR SHALL DESIGN ENTIRE HVAC SYSTEM AND SUBMIT DRAWINGS FOR THE OWNER'S APPROVAL PRIOR TO ORDERING MATERIALS OR EQUIPMENT. HEATING SYSTEMS SHALL BE SIZED TO ACCOMMODATE AIR CONDITIONS. MSI DOES NOT DESIGN HVAC SYSTEMS.
 2. ALL EQUIPMENT INSTALLED IN THIS PROJECT SHALL COMPLY WITH THE REFERENCE STANDARDS LISTED IN APPENDIX C.U.M.C.
 3. IN RESTROOMS WITHOUT REQUIRED NATURAL VENTILATION, PROVIDE A MECHANICAL VENTILATION SYSTEM CAPABLE OF FIVE AIR CHANGES PER HOUR AND CONNECTED DIRECTLY TO OUTSIDE AIR PER UBC SEC. 1203.3.
 4. ALL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH THE 1997 EDITIONS OF THE UBC, UMC AND UPC.
 5. HVAC REGISTERS SHALL BE LOCATED IN AN UNOBTRUSIVE LOCATION AT CEILING LEVEL OR LOCATED IN THE CEILING.

- GLAZING**
 1. ALL GLAZING SHALL CONFORM TO UBC STANDARD #24-1
 2. SAFETY GLAZING CONFORMING TO UBC STANDARD #24-2, PART 1 SHALL BE PROVIDED IN ALL LOCATIONS SUBJECT TO HUMAN IMPACT AS SPECIFIED IN UBC SECTION 2406.
 3. ALL GLAZING NOT SPECIFIED ABOVE SHALL BE ANNEALED FLOAT GLASS WHOSE THICKNESS COMPLIES WITH UBC TABLE #24-A ASSUMING 20 PSF WIND LOAD.
 4. ALL FRENCH DOORS AND GLASS WITHIN 24" OF AN OPENING TO HAVE SAFETY GLAZING/TEMPERED GLASS PER UBC SECTION 2406.4

- DOOR THRESHOLD**
 1. NO DOOR THRESHOLD SHALL BE OVER 1/2" HEIGHT IN PROFILE. ANY HEIGHT DIFFERENCES REQUIRE A BEVELED PROFILE FOR WHEELCHAIR ACCESSIBILITY.

- DOORS**
 1. 10043 TYPE OF LATCH OR LOCK
 10043.1 HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER - TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE IN EGRESS DIRECTION.
 2. ALL PASSAGE DOORS TO HAVE LEVER STYLE HARDWARE ON THE PULL SIDE AND TO BE OPENABLE ON THE PUSH SIDE WITHOUT ANY KNOWLEDGE OR EFFORT OF OPERATION.
 3. ALL EXIT DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS, AND BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 4. 10045.1 EFFORT TO OPERATE DOORS. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 POUNDS FOR EXTERIOR DOOR AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.
 5. FRENCH DOORS TO HAVE 10" KICK PLATE PER DISABLED ACCESSIBLE REQUIREMENTS.

6. 10049.2.a LEVEL FLOOR OR LANDING
 A. THERE SHALL BE A LEVEL AND CLEAR AREA ON EACH SIDE OF AN EXIT DOOR AND 44 INCHES WHERE THE DOOR SWINGS AWAY FROM THE LEVEL AND CLEAR AREA. THE LEVEL AREA SHALL HAVE A LENGTH OF AT LEAST 60 INCHES IN THE DIRECTION OF DOOR SWING AS MEASURED AT RIGHT ANGLES TO THE PLAN OF THE DOOR IN ITS CLOSED POSITION.
 B. MINIMUM MANEUVERING CLEARANCES AT DOORS. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR. THE LEVEL AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF 48 INCHES AS MEASURED AT RIGHT ANGLES TO THE PLANS OF THE DOOR IN ITS CLOSED POSITION.
 C. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR DOORS.

- TRANSACTION COUNTERS/WORK SURFACES**
 1. ANY TRANSACTION COUNTER WILL BE DISABLED ACCESSIBLE WITH A COUNTER HEIGHT OF BETWEEN 28" AND 34" FOR A MINIMUM LENGTH OF 36".

- ELECTRICAL**
 1. ALL SYSTEMS, CIRCUITS & EQUIPMENT SHALL BE GROUNDED PER N.E.C. ARTICLE 250.
 2. ALL 125 -VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PER N.E.C. ARTICLE 210-B.
 3. ALL CONDUCTORS CLOSER THAN 1 1/4" TO THE EDGE OF FRAMING MEMBERS SHALL BE PROTECTED WITH STEEL PLATE AT LEAST 1/8" THICK.
 4. ANY FIXTURE WEIGHING MORE THAN 50 LBS. SHALL BE SUPPORTED INDEPENDENTLY OF THE OUTLET BOX.
 5. ALL FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE SUITABLE LABELED PER N.E.C. ARTICLE 410-4(A).
 6. ALL ELECTRICAL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH THE CURRENTLY ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE.
 7. PROVIDE PERMANENTLY WIRED SMOKE DETECTORS PER CBC SECTION 310.9.1 W/ BATTERY BACK-UP.
 8. RECESSED CEILING FIXTURES INSTALLED IN INSULATED AREAS SHALL BE "ZERO CLEARANCE INSULATION COVER" (IC) APPROVED.
 9. OUTLET BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24" PER CBC 709.7

THE PARAGON

SALES OFFICE

Plans prepared for

D. R. HORTON



- Motivational Systems Inc**
- San Diego (619)474-8246
 - Phoenix (602)484-8844
 - Denver (303)790-0780
 - Seattle (206)575-4895
 - Corona (909)734-3970
 - Sacramento (916)635-0234
 - Las Vegas (702)253-6470
 - Fresno (559)431-2502
 - Livermore (925)449-1900

<p>SCOPE OF WORK</p>	<p>PROJECT INFORMATION</p>	<p>PROJECT TEAM</p>																																																																																																																																																																																																																								
<p>THESE PLANS ARE FOR THE TEMPORARY NON-STRUCTURAL INTERIOR CONVERSION OF RECREATIONAL CENTER TO TYPE B/SALES OFFICE. THESE PLANS SHALL NOT INVOLVE ANY STRUCTURAL CHANGES. I.E. REMOVAL OF BEARING WALLS OR NEW OPENINGS IN SHEAR WALLS.</p> <p>ALL STRUCTURAL & ENGINEERING ISSUES, INCLUDING HVAC & PLUMBING, SHOULD BE ADDRESSED & SUBMITTED BY THE APPROPRIATE PROFESSIONALS AND ARE NOT A PART OF THESE TENANT IMPROVEMENT PLANS.</p> <p>THESE PLANS DO NOT ADDRESS EXTERIOR ISSUES SUCH AS PARKING AND ACCESS. PLEASE REFER TO LANDSCAPE ARCHITECT'S PLANS.</p> <p>THESE ARE NON-STRUCTURAL & NON-SEISMIC PLANS.</p> <p>THESE PLANS ARE TO CONFORM TO TITLE 24 AND CURRENT UBC STANDARDS</p>	<p>CITY: MILPITAS, CA.</p> <p>PLAN # 1701, 1702, & 1703 GARAGES</p> <p>LOT # BUILDING 17</p>	<p>BUILDER: D. R. HORTON 2300 CLAYTON RD. SUITE 800 CONCORD, CA. 94520 CONTACT: GERRY FERREE TEL. (925)808-2300</p>																																																																																																																																																																																																																								
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BEAM	NO./#	NUMBER	CAB.	CABINET	N.T.S.	NOT TO SCALE	CEM.	CEMENT	O.C.	ON CENTER	CER.	CERAMIC	O.D.	OUTSIDE DIMENSION	CLG.	CEILING	OPNG.	OPENING	CLO.	CLOSET	P.LAM.	PLASTIC LAMINATE	CLR.	CLEAR	PR.	PAIR	COL.	COLUMN	RAD.	RADIUS	CONT.	CONTINUOUS	REC.	RECESSED	CORR.	CORRIDOR	REQ'D	REQUIRED	DET.	DETAIL	RM.	ROOM	DIA.	DIAMETER	R.O.	ROUGH OPENING	DIM.	DIMENSION	S.C.	SOLID CORE	DN.	DOWN	SECT.	SECTION	DR.	DOOR	SHT.	SHEET	DTL.	DETAIL	SPEC.	SPECIFICATION	DWG.	DRAWING	SQ.	SQUARE	EA.	EACH	STD.	STANDARD	EL.	ELEVATION	STOR.	STORAGE	ELEC.	ELECTRICAL	T.O.C.	TOP OF CONCRETE	EMER.	EMERGENCY	TEMP.	TEMPERED	E.P.	ELECTRICAL PANEL	T&G	TONGUE AND GROOVE	EQ.	EQUAL	THK.	THICK	E.W.C.	ELECTRIC WATER COOLER	TV.	TELEVISION	EXP.	EXPOSED	T.O.W.	TOP OF WALL	EXT.	EXTERIOR	TYP.	TYPICAL	F.A.	FIRE ALARM	U.N.O.	UNLESS OTHERWISE NOTED	F.E.	FIRE EXTINGUISHER	VERT.	VERTICAL	F.F.	FINISH FLOOR	W/	WITH	FIN.	FINISH	W.C.	WATER CLOSET	FLR.	FLOOR	WD.	WOOD	FLUOR.	FLUORESCENT	W.H.	WATER HEATER	F.O.C.	FACE OF CONCRETE	W/O	WITHOUT	F.O.M.	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THE PARAGON

D. R. HORTON

JOB#
598-01041-061

CLIENT
D. R. HORTON

AE
TERRI EVERHART

DRAWN BY
MS / ST

ORIGINAL DATE:
09-19-07

SCALE:
N.T.S.

REVISIONS		
#	DATE	DESCRIPTION

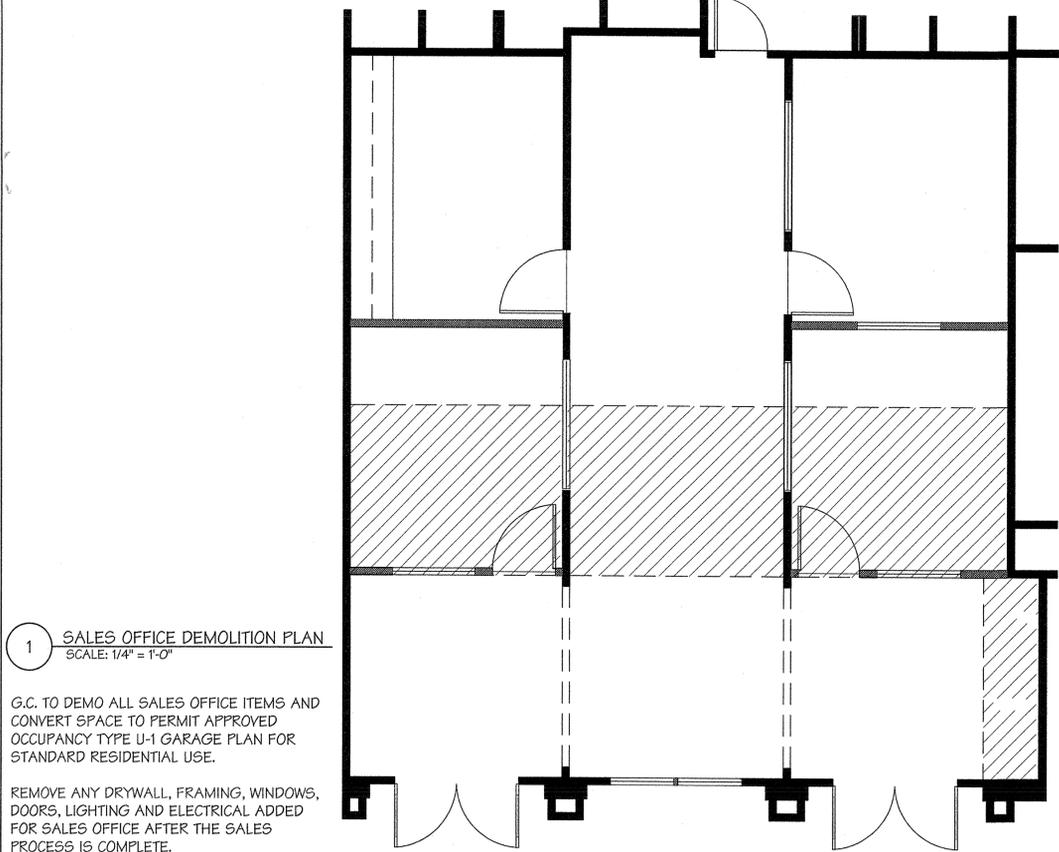
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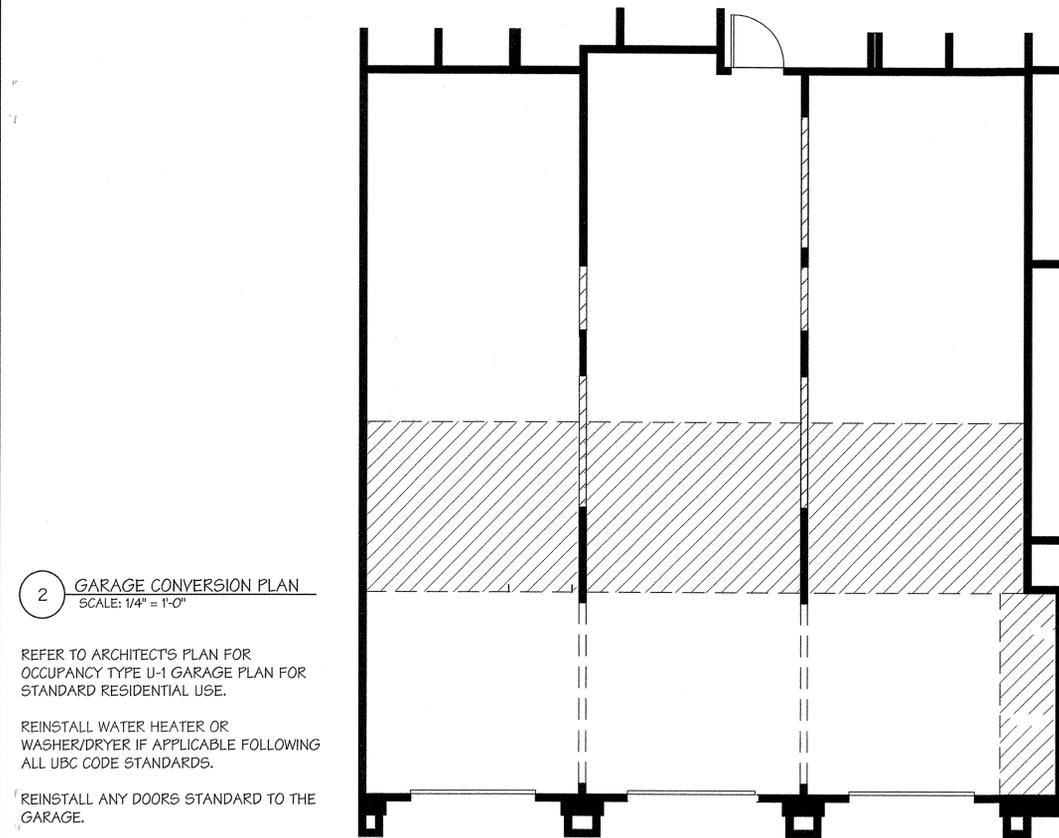


1 SALES OFFICE DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

G.C. TO DEMO ALL SALES OFFICE ITEMS AND CONVERT SPACE TO PERMIT APPROVED OCCUPANCY TYPE U-1 GARAGE PLAN FOR STANDARD RESIDENTIAL USE.

REMOVE ANY DRYWALL, FRAMING, WINDOWS, DOORS, LIGHTING AND ELECTRICAL ADDED FOR SALES OFFICE AFTER THE SALES PROCESS IS COMPLETE.

UNCOVER ALL OUTLETS, PLUMBING, VENTS, ETC. AS STANDARD TO GARAGE.



2 GARAGE CONVERSION PLAN
SCALE: 1/4" = 1'-0"

REFER TO ARCHITECT'S PLAN FOR OCCUPANCY TYPE U-1 GARAGE PLAN FOR STANDARD RESIDENTIAL USE.

REINSTALL WATER HEATER OR WASHER/DRYER IF APPLICABLE FOLLOWING ALL UBC CODE STANDARDS.

REINSTALL ANY DOORS STANDARD TO THE GARAGE.

DEMOLITION PLAN

DOOR SCHEDULE

- (A) PAIR 3'-0" x 6'-8" SINGLE LIGHT, PAINT GRADE. EXTERIOR PAINT COLOR TO MATCH EXTERIOR OF UNIT. TEMPERED SAFETY GLASS IN DOOR. DOOR TO HAVE 10" BOTTOM RAIL AND LEVER STYLE ADA APPROVED HARDWARE PER ADA REQUIREMENTS.
- (B) 3'-0" x 6'-8" SINGLE LITE W/ TEMPERED SAFETY GLASS IN DOOR. PAINT GRADE. DOOR TO HAVE 10" BOTTOM RAIL AND ADA APPROVED LEVER STYLE HARDWARE PER ADA REQUIREMENTS.
- (C) 3'-0" x 6'-8" HOLLOW CORE DOOR, PAINT GRADE, STYLE OF DOOR PER BUILDING STANDARD
- (D) EXISTING TO REMAIN, REFER TO ARCHITECT'S PLANS

WINDOW SCHEDULE

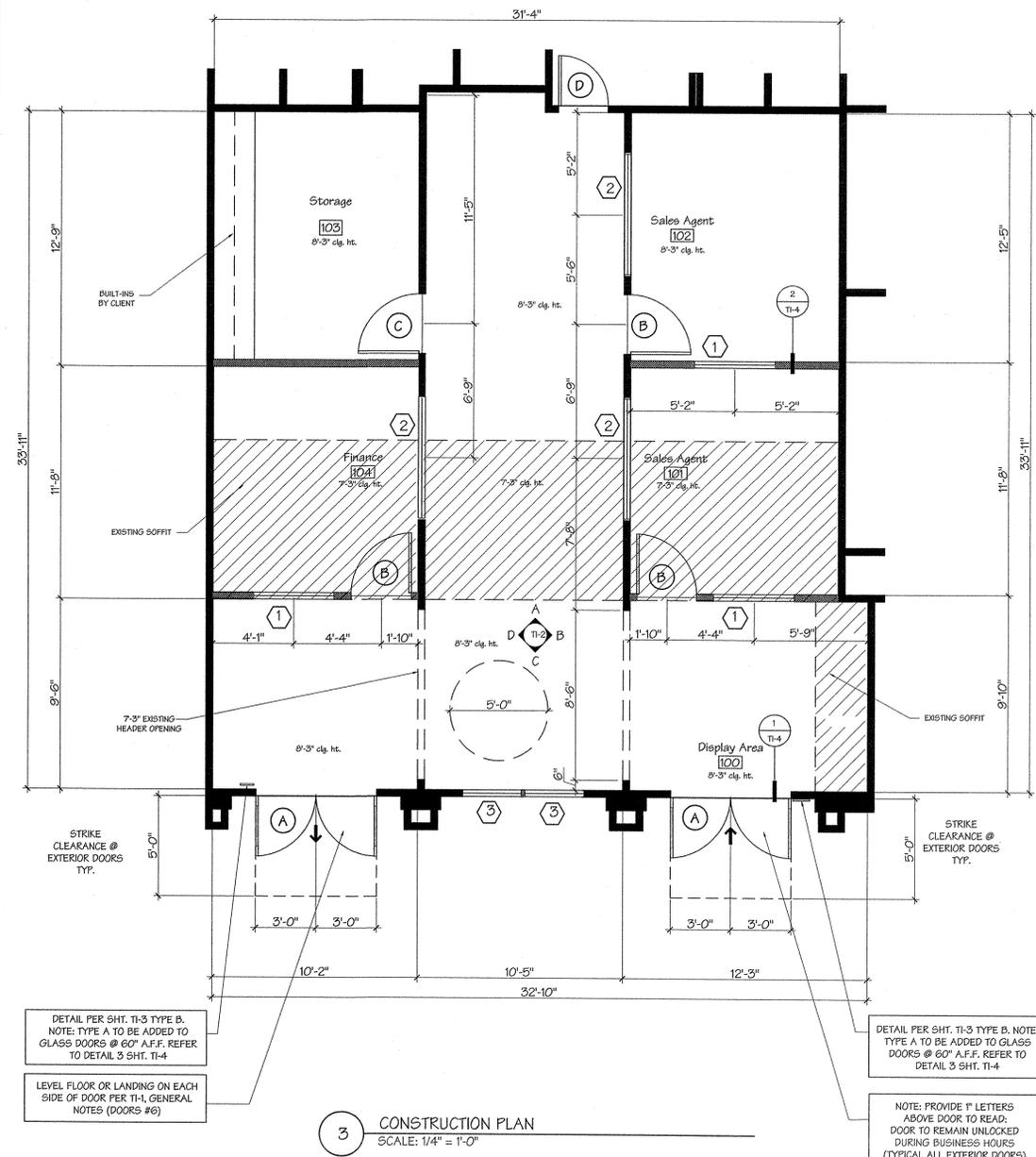
- (1) 4'-0" x 4'-0" FIXED TEMPERED GLASS W/ PAINT GRADE STOPS. HEADER @ 6'-8" (REFER TO TI-4)
- (2) 6'-0" x 4'-0" FIXED TEMPERED GLASS W/ PAINT GRADE STOPS. HEADER @ 6'-8" (REFER TO TI-4)
- (3) 3'-0" x 4'-0" SLIDING GLASS W/ PAINT GRADE STOPS. HEADER @ 6'-8". MATCH EXTERIOR DETAIL PER BUILDING STANDARD. (REFER TO TI-4)

WALL LEGEND

- PERMANENT LOAD AND NON-LOAD BEARING WALLS PER ARCHITECT'S PLANS
- TEMPORARY NON-LOAD BEARING 2 X 4 WALLS TO BE REMOVED UPON COMPLETION OF SALES
- PATCH, REPAIR PAINT TO EXISTING ARCHITECT'S SPECIFICATIONS

SALES OFFICE CONSTRUCTION NOTES

1. INTERIOR CONSTRUCTION OF WALLS AND SOFFITS ARE BY OWNER/CONTRACTOR, UNLESS SPECIFIED OTHERWISE.
2. THE PURCHASE AND INSTALLATION OF DOORS AND WINDOWS ARE BY OWNER/CONTRACTOR UNLESS SPECIFIED OTHERWISE.
3. SET HEADER HEIGHTS AT STANDARD 6'-8" UNLESS SPECIFIED OTHERWISE.
4. MANY DIMENSIONS ARE CRITICAL. PLEASE NOTIFY MOTIVATIONAL SYSTEMS PRIOR TO MAKING FIELD CHANGES.
5. FURR OUT WALLS AND SHEET ROCK TO COVER CURBS UNLESS SPECIFIED OTHERWISE. REFER TO DETAIL PROVIDED ON SHEET TI-4.
6. FURR OUT WALLS INSIDE GARAGE HEADER TO ACHIEVE FLUSH INTERIOR WALLS. REFER TO DETAIL PROVIDED ON SHEET TI-4.
7. STUB OFF PLUMBING STANDARD TO GARAGE AND RECESS IN WALL FOR FUTURE USE.
8. REFER TO SHEET TI-1 FOR COMPLETE CONSTRUCTION NOTES.
9. DO NOT HOOK UP WATER HEATER UNTIL GARAGE IS RESTORED AS PER GARAGE CONVERSION PLAN - SEE (2) (TZ)



3 CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

NO DOOR THRESHOLD SHALL BE OVER 1/2" HEIGHT IN PROFILE. ANY HEIGHT DIFFERENCES REQUIRE A BEVELED PROFILE FOR WHEELCHAIR ACCESSIBILITY.

CONSTRUCTION PLAN / DOOR AND WINDOW SCHEDULE



- San Diego (619)474-8246
- Phoenix (602)484-8844
- Denver (303)790-0780
- Seattle (206)575-4895
- Corona (909)734-3970
- Sacramento (916)635-0234
- Las Vegas (702)253-6470
- Fresno (559)431-2502
- Livermore (925)449-1900

THE PARAGON
D. R. HORTON

JOB#
598-01041-061

CLIENT
D. R. HORTON

AE
TERRI EVERHART

DRAWN BY
MS / ST

ORIGINAL DATE:
09-19-07

SCALE:
1/4" = 1'-0"

REVISIONS

#	DATE	DESCRIPTION

SHEET TITLE

DEMOLITION PLAN
CONSTRUCTION PLAN

SUBMITTAL SET

SHEET NUMBER

TI-2

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LIGHTING AND ELECTRICAL NOTES

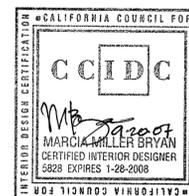
ALL LIGHTING BY CLIENT UNLESS OTHERWISE NOTED. ANY SUBSTITUTIONS IN FIXTURE, LAMP OR MANUFACTURER MUST HAVE THE APPROVAL OF THE OWNER. MSI MAKES NO GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER.

PLACEMENT OF LIGHTING IS OFTEN CRITICAL. NOTIFY SALES OFFICE DESIGNER OF ADJUSTMENTS PRIOR TO MAKING FIELD CHANGES.

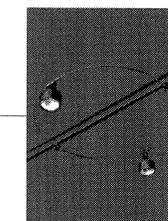
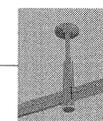
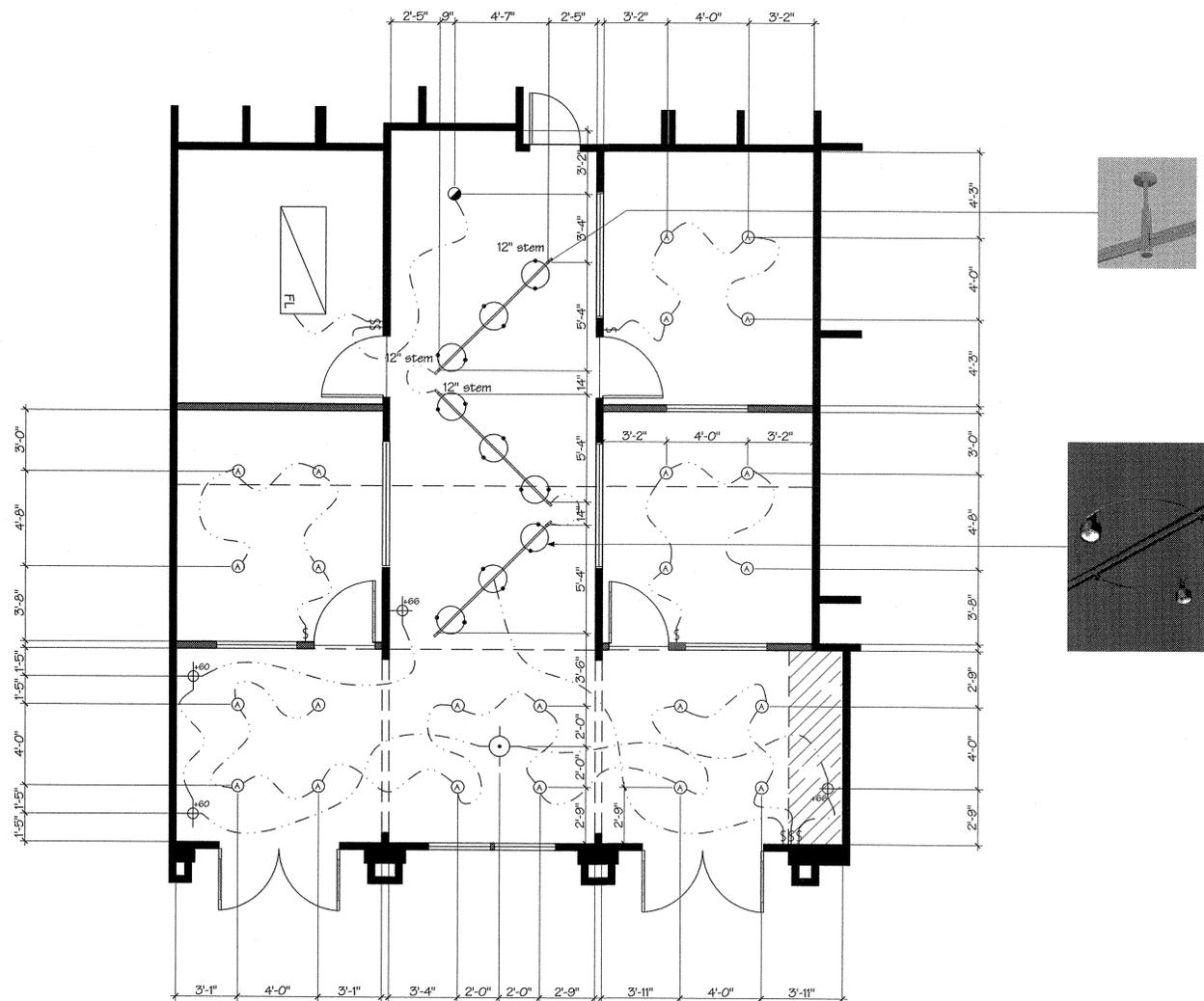
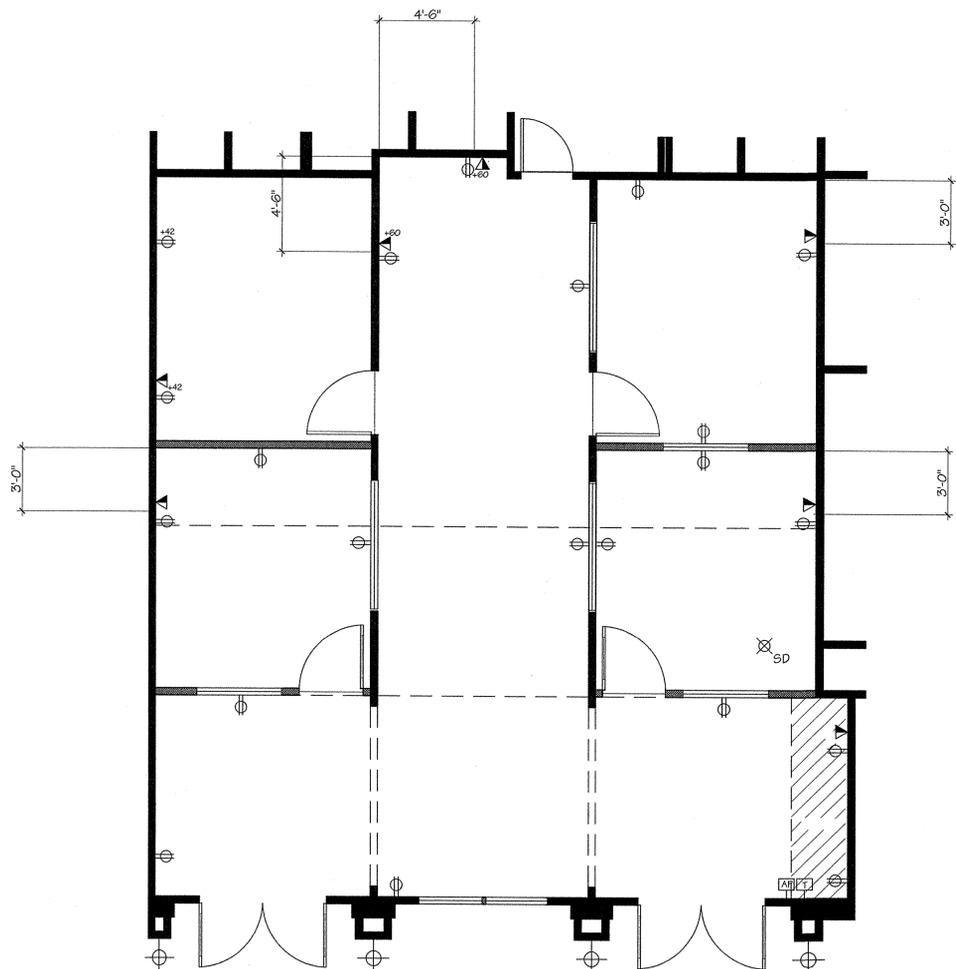
OUTLETS ARE TO BE SET AT A STANDARD HEIGHT OF 12"-18" UNLESS OTHERWISE NOTED.

HVAC REGISTERS SHOULD BE LOCATED IN AN UNOBTRUSIVE LOCATION AT CEILING LEVEL OR LOCATED IN THE CEILING. MSI DOES NOT DETERMINE DUCTING; THIS SHOULD BE DONE BY HVAC LICENSED CONTRACTOR.

LIGHTING DIMENSIONS SHOULD BE CONSIDERED AS APPROXIMATION. INTENT IS TO CENTER FIXTURES AS CLOSE TO THE INDICATED POSITION AS POSSIBLE.



- San Diego (619)474-8246
- Phoenix (602)484-8844
- Denver (303)790-0780
- Seattle (206)575-4895
- Corona (909)734-3970
- Sacramento (916)835-0234
- Las Vegas (702)253-6470
- Fresno (559)431-2502
- Livermore (925)449-1900



ELECTRICAL SCHEDULE

⊕	DUPLEX OUTLETS	⊗SD	110V SMOKE DETECTOR W/ BATTERY BACK-UP
▲	DATA/PHONE OUTLET CLIENT TO CONSULT W/ CONTRACTOR AS TONETWORKINGREQUIREMENTS	⊕	EXTERIOR WALL MOUNTED FIXTURE SPECIFIED AND SUPPLIED BY CLIENT DUSK TO DAWN TIMER.
AP	ALARM PANEL		
T	THERMOSTAT		

LIGHTING SCHEDULE

Ⓐ	HORIZONTAL LAMP OPEN REFLECTOR FLUORESCENT DOWNLIGHT SEMI-SPECULAR CLEAR ALZAK REFLECTOR TWO 18-WATT 30K QUAD TUBE FLUORESCENT SUPPLY DIMMER SWITCH	⊙	SUPPLY J-BOX FOR CHANDELIER LIGHTING TO BE SUPPLIED BY CLIENT. CLIENT TO INSTALL. SPEC TO FOLLOW
●	SPREAD LENS COMPACT FLUORESCENT WALLWASH SEMI-SPECULAR CLEAR ALZAK CONE TWO 26-WATT 30K QUAD TUBE FLUORESCENT	⊙	RADIAL DUAL LAMP ADJUSTABLE TRACK HEADS, PRIMA LIGHTING, RADIUM, CATALOG #: 59007, HARDWARE CODE: PC, FINISH: CHROME
FL	BUILDING STANDARD CEILING MOUNTED FLUORESCENT FIXTURE	—○—	MONORAIL TRACK: PRIMA LIGHTING, #10-4096-SV, 96" SILVER MONORAIL LENGTH W/ TWO ENDCAPS USE (3) STEM CEILING SUPPORT #30-4060-PC FINISH: CHROME & (3) 12" STEM CEILING SUPPORT #30-4063-PC FINISH: CHROME
⊕ ₊₆₆	SUPPLY J-BOX @ 66" A.F.F. FOR WALL SCONCE TO BE SUPPLIED BY MSI. CLIENT TO INSTALL.	—○—	MONORAIL BENDING TOOL, PRIMA LIGHTING, #30-400W
⊕ ₊₆₀	SUPPLY J-BOX @ 60" A.F.F. FOR WALL SCONCE TO BE SUPPLIED BY MSI. CLIENT TO INSTALL.		NOTE: USE 2 DIFFERENT STEM EXTENSIONS DUE TO CEILING HEIGHT VARIATION

REFLECTED CEILING AND ELECTRICAL PLAN

LIGHTING PLAN AND SCHEDULE

THE PARAGON
D. R. HORTON

JOB# 598-01041-061

CLIENT D. R. HORTON

AE TERRI EVERHART

DRAWN BY MS / ST

ORIGINAL DATE: 09-19-07

SCALE: 1/4" = 1'-0"

REVISIONS

#	DATE	DESCRIPTION

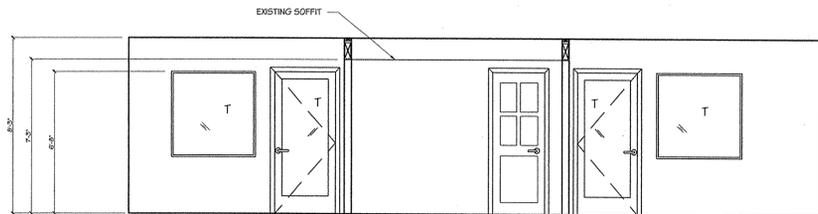
SHEET TITLE

LIGHTING, ELECTRICAL & REFLECTED CEILING PLAN

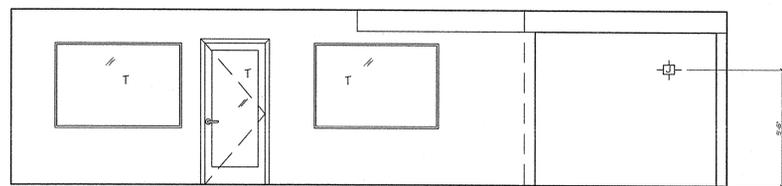
SUBMITTAL SET

SHEET NUMBER

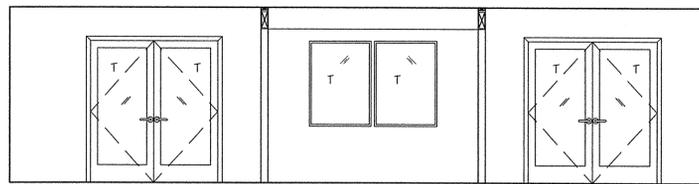
TI-3



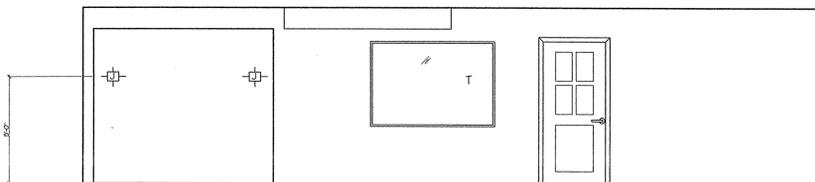
A INTERIOR ELEVATION A
TI-4 SCALE: 1/4" = 1'-0"



B INTERIOR ELEVATION B
TI-4 SCALE: 1/4" = 1'-0"

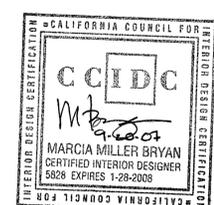
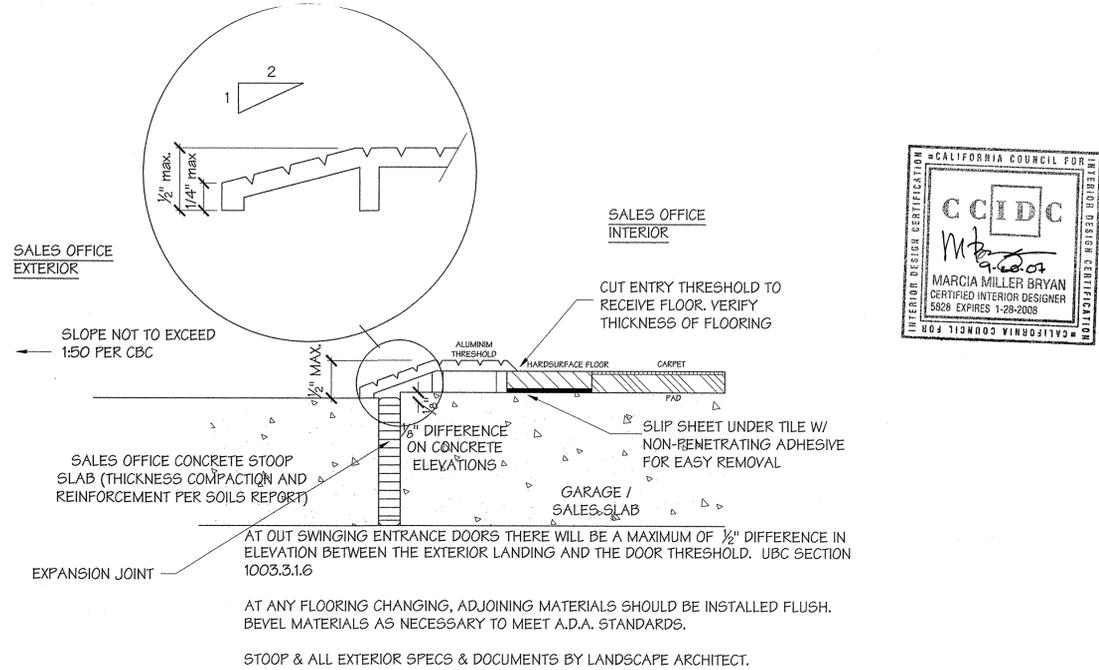


C INTERIOR ELEVATION C
TI-4 SCALE: 1/4" = 1'-0"

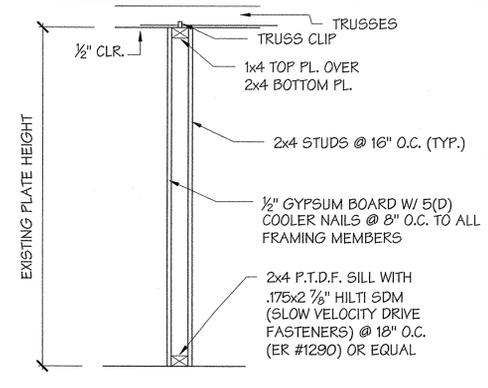


D INTERIOR ELEVATION D
TI-4 SCALE: 1/4" = 1'-0"

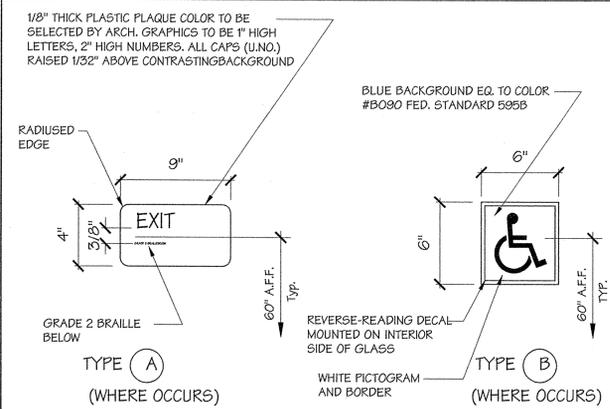
INTERIOR SECTIONS AND ELEVATIONS



1 THRESHOLD SECTION
TI-4 SCALE: 1/2" ACTUAL



2 TYPICAL NON-LOAD BEARING PARTITION
TI-4 SCALE: 1/2" = 1'-0"



3 TYPICAL SIGN @ EXIT & ENTRANCE
TI-4 SCALE: 1/2" = 1'-0"

NON-LOAD BEARING CONSTRUCTION DETAILS

- San Diego (619)474-8246
- Phoenix (602)484-8844
- Denver (303)790-0780
- Seattle (206)575-4895
- Corona (909)734-3970
- Sacramento (916)835-0234
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THE PARAGON
D. R. HORTON

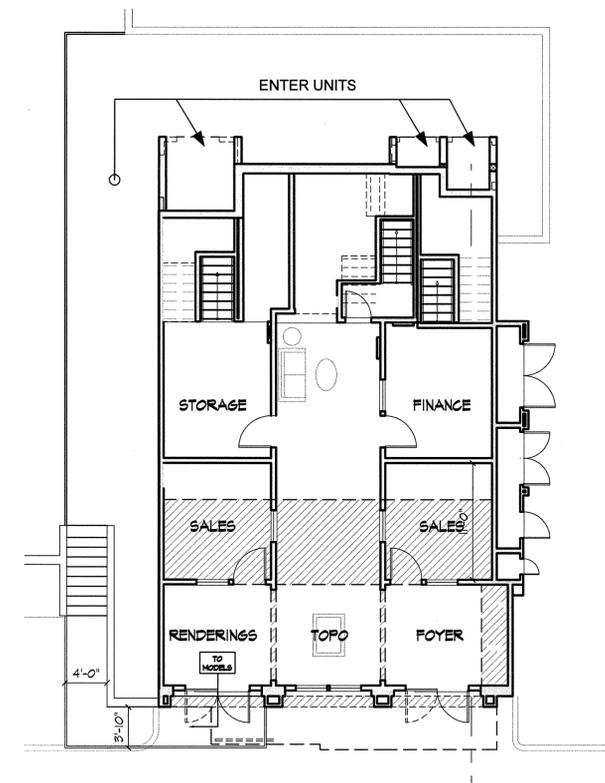
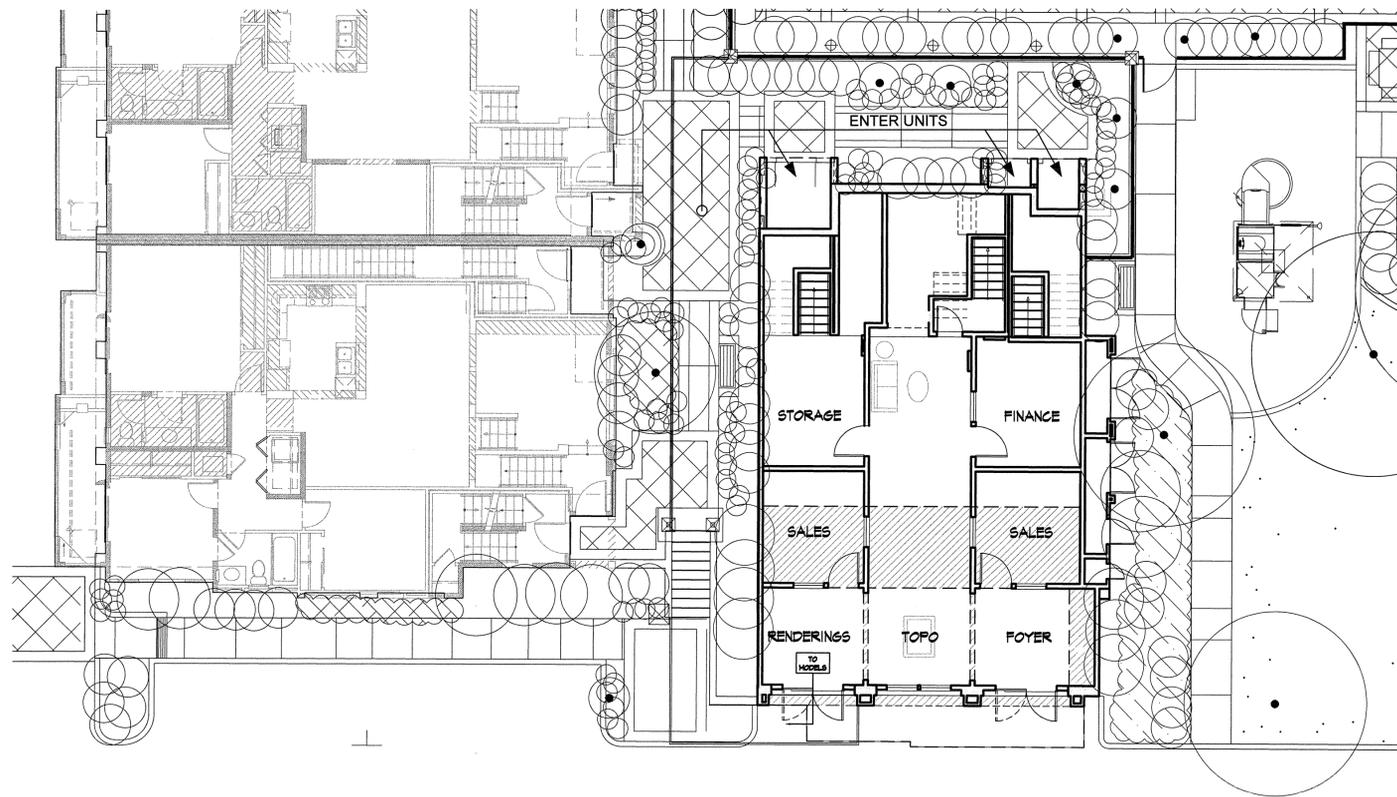
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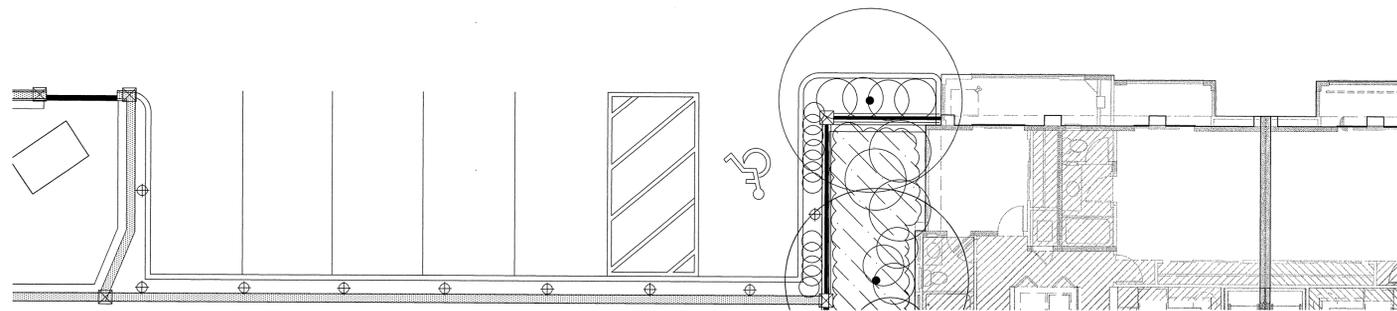
SHEET TITLE
INTERIOR ELEVATIONS
DETAILS

SHEET NUMBER
TI-4

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**SALES OFFICE PLAN
@ 3 UNIT BUILDING**



SITE PLAN & LANSCAPE PLAN



VICINITY MAP



**SALES OFFICE ELEVATION
@ 3 UNIT BUILDING**

DAHLIN GROUP
ARCHITECTURE
PLANNING
5865 Owens Dr.
Pleasanton, CA 94588
925.251.7200
925.251.7201 Fax

D-R HORTON NYSE
America's Builder

3-6-9
PARAGON
Milpitas, California for
DR Horton

REVISIONS		
DESCRIPTION	DATE	BY



SALES OFFICE

JOB NO. 233.003 SHEET
DRAWN DJO
CHECK
DATE

A1.1



September 27, 2007

City of Milpitas
455 E. Calaveras Blvd.
Milpitas, CA 95035-5479

Re: Paragon Temporary Sales Office

Dear Momo,

Western Pacific Housing (DR Horton) is submitting the enclosed application and check for \$500.00 for a temporary use permit to conduct sales activity at Paragon from the model building that is currently under construction.

As background, Paragon will consist of 147 "for sale" residential condominiums and a recreation center consisting of recreation building, pool and spa. WPH would temporarily modify the model building garage to serve as a sales office for the Paragon.

Upon completion of sales, WPH will convert the facility back to the building garages.

The sales office would be open daily (except Thanksgiving, Christmas, and New Year's) and with the following hours of operation:

Weekends-10am-6pm Weekdays-10am-5pm

Access to the sales office would be via South Main Street, with a turn onto Bettencourt Way. An ADA accessible parking stall will be provided immediately in front of the sales office. Other parking will also be provided on Bettencourt Way (see plan enclosed). The temporary restroom facilities would be made available for public use.

During weekdays there will be some overlap between sales and construction. Construction areas will be temporarily fenced off to ensure separation between these two activities.

Relative to signage, the enclosed plans identify temporary signage. Details of the signs and flags are included (refer to 11"x17" package).

I appreciate your assistance in having this favorably presented to the Milpitas Planning Commission.

Sincerely,

A handwritten signature in blue ink that reads "Julie Nebozuk".

Julie Nebozuk
DR Horton