



# MILPITAS PLANNING COMMISSION AGENDA REPORT

PUBLIC HEARING

Meeting Date: July 23, 2008

**APPLICATION:** Conditional Use Permit No. UP08-0021; West Coast Wings

**APPLICATION SUMMARY:** A request to locate a new 1,486 square foot take-out restaurant with the indoor service of beer and wine.

**LOCATION:** 80 North Milpitas Boulevard (APN: 028-12-021)  
**APPLICANT:** Robert Lavigne, 29928 Red Maple Court, Hayward, CA 94544  
**OWNER:** Shapell Industries, 100 North Milpitas Boulevard, Milpitas, CA 95035

**RECOMMENDATION:** Staff recommends that the Planning Commission:  
**1. Close the public hearing; and**  
**2. Adopt Resolution No. 08-036 approving the project subject to the conditions of approval.**

**PROJECT DATA:**  
General Plan/  
**Zoning Designation:** Town Center / Town Center West (TC –W)  
**Overlay District:** “S” Zone Overlay for Site and Architectural Review

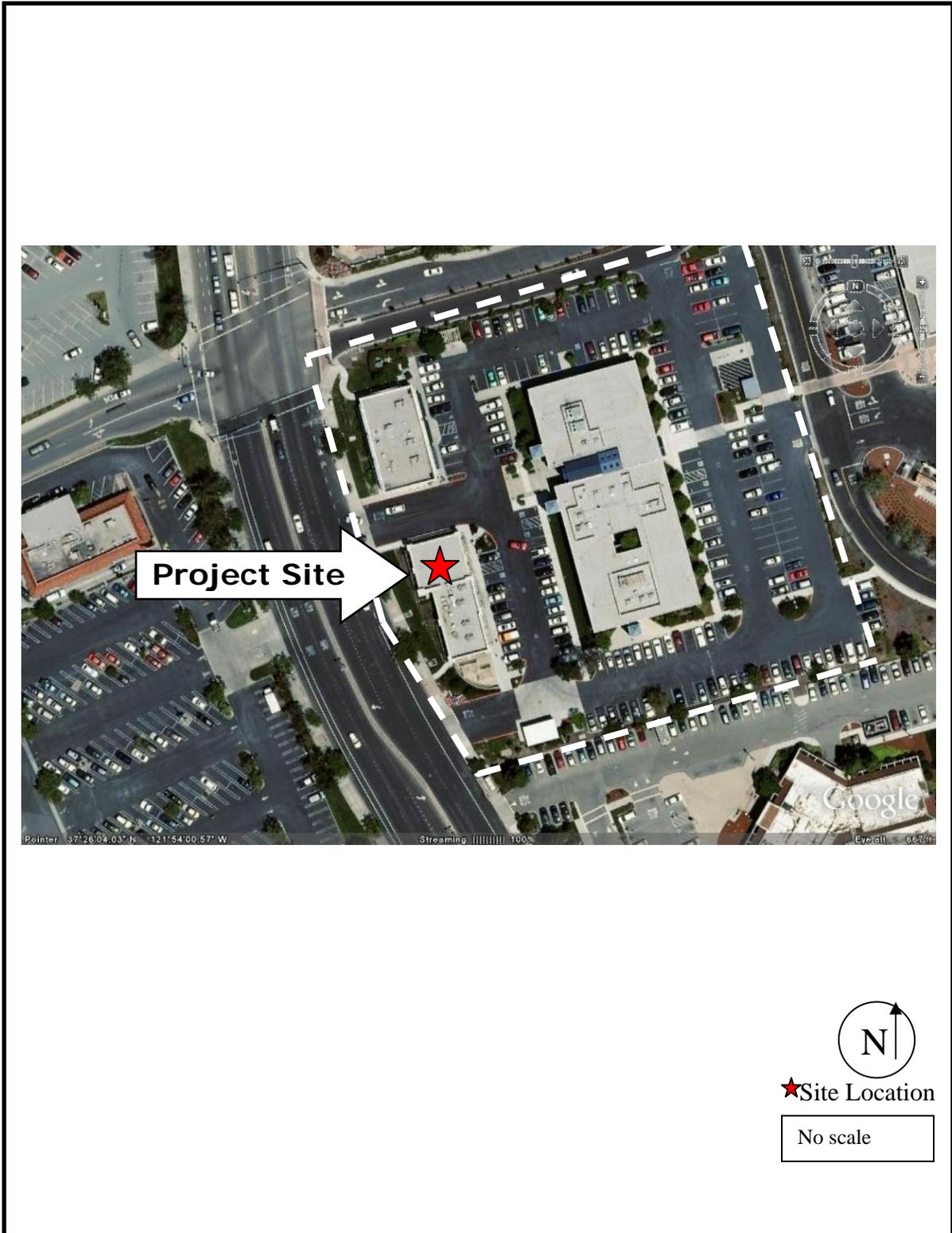
**CEQA Determination:** Categorically exempt pursuant to Section 15301 (Existing Facilities)

**PLANNER:** Tiffany Kunsman, Junior Planner

**PJ:** 2533

**ATTACHMENTS:** A. Resolution/Conditions of Approval  
B. Site Plans

# LOCATION MAP



**BACKGROUND**

In 2003 a 4,000 square foot retail building was approved and constructed. In 2004 an approximately 2,000 square foot restaurant (Panda Express) with a total of 72 seats and 32 parking spaces was approved at 70 North Milpitas Boulevard. On May 8, 2008, Robert Lavigne of West Coast Wings submitted an application to locate a new restaurant with the serious of beer and wine next to Panda Express and Noah’s Bagel at 80 North Milpitas Boulevard.

**PROJECT DESCRIPTION**

The project site is located at the northwest corner of the Town Center Zoning District and is surrounded by Town Center zones with Beresford Court to the north, N. Milpitas Boulevard to the west, City Hall to the south and the Town Shopping Center to the east. A vicinity map of the subject site location is included on the previous page.

The project proposal consists of a 1,486 square foot take-out restaurant with a 13’ X 14’ take out area and a total of 22 indoor seats. The restaurant will serve beer and wine and the hours of operation will be Monday through Sunday from 10:00 A.M. to 12:00 A.M.

***Parking***

The project suite is allocated seven parking spaces. Per Section 53.23(7) of the Milpitas Zoning Ordinance, a take-out restaurant of this size that is proposing 22 seats will require a total of 10 parking spaces. One parking space is required per every 2.5 seats, and one parking space is required per every 50 square feet of ordering/takeout area. In reviewing the existing parking for the shopping center, three parking spaces were found to be in access. See Table 1 below.

**Table 1**  
**Parking Analysis**

<b>Tenant</b>	<b>Allocated parking based on use and square footage</b>
Star Bucks	10 spaces
Noah’s Bagels	24 spaces
Panda Express	32 spaces
Office Building	110 spaces
<i>Proposed West Coast Wings restaurant</i>	<i>10 spaces</i>
<b>Total Parking Spaces Required</b>	<b>186</b>
<b>Total Parking Spaces Available</b>	<b>186</b>

This shopping center has enough parking for the proposed West Coast Wings restaurant to be allocated 10 parking spaces. Therefore, the proposed project meets the parking requirements.

**ADOPTED PLANS AND ORDINANCES CONSISTENCY**

***General Plan***

The table below outlines the project’s consistency with applicable General Plan Guiding Principles and Implementing Policies:

**Table 2**  
**General Plan Consistency**

Principles/Policies	Consistency Finding
<p><i>2.a-G-4:</i>  <i>The Town Center will be the “heart” of Milpitas’ Civic, cultural, business, and professional life.</i></p>	<p>Consistent.</p>
<p><i>2.a-I-5:</i>  <i>Maintain policies that promote a strong economy which provides economic opportunities for all Milpitas Residents within existing environmental, social fiscal and land use constraints.</i></p>	<p>Consistent.</p>

The project is consistent with the Milpitas General Plan in that the new restaurant serves the civic, cultural, business and professional life as well as provides economic opportunities for all Milpitas residents.

***Zoning Ordinance***

The project site is located within the Town Center West Zoning District and the proposed restaurant is a Conditionally Permitted Use (*Section 22.04-1 and 22.04-11*) with the approval by the Planning Commission. The proposed use will not be detrimental or injurious to the property or improvements in the vicinity in that the use including the services of beer and wine is conducted entirely within the building and proposes no exterior modifications to the existing building, and will not be detrimental or injurious to the public health safety or general welfare because the project will be consistent with the health department and Milpitas Building and Safety codes.

**ENVIRONMENTAL REVIEW**

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt from further environmental review pursuant to Section 15301 for “Existing Facilities.”

**PUBLIC COMMENT/OUTREACH**

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public.

**CONCLUSION**

The project is consistent with the General Plan and the Zoning Ordinance and meets the parking requirements. The proposal will serve the neighboring uses and will provide alternate types of food in the area for residents and visitors to choose from.

**RECOMMENDATION**

**STAFF RECOMMENDS THAT** the Planning Commission adopt Resolution No. 08-036 approving Conditional Use Permit No. UP08-0021, subject to the attached Conditions of Approval.

*Attachments:*

- A. Resolution/Conditions of Approval
- B. Site Plans

S:\PLANNING DIVISION1\PLANNING COMMISSION\Staff Reports\StaffReportTemplate07\StaffReportTemplate07.doc

**RESOLUTION NO. 08-036**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. UP08-0021; WEST COAST WINGS TO ALLOW FOR A RESTAURANT SERVING BEER AND WINE TO LOCATE WITHIN THE TOWN CENTER AT 80 N. MILPITAS BOULEVARD**

**WHEREAS**, on May 8, 2008, an application was submitted by Robert Lavigne, 29928 Red Maple Court, Hayward, CA 94544, to allow for a new 1,486 square foot take-out restaurant with the service of beer and wine. The property is located within the Town Center Zoning District (APN 028-12-021); and

**WHEREAS**, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project categorically except pursuant to Section 15301 for "Existing Facilities" of the California Environmental Quality Act Guidelines.

**WHEREAS**, on July 23, 2008, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

**NOW THEREFORE**, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

**Section 1:** The recitals set forth above are true and correct and incorporated herein by reference.

**Section 2:** The project is categorically except pursuant to Section 15301 of the California Environmental Quality Act Guidelines for "Existing Facilities."

**Section 3:** The project is consistent with the Milpitas General Plan Implementation Policies and Guidelines (*2.a-G-4 and 2.a-I-5*) in that the new restaurant serves the civic, cultural, business and professional life as well as provides economic opportunities for all Milpitas residents.

**Section 3:** The proposed use, at the proposed location will not be detrimental or injurious to property or improvements in the vicinity nor to the public health, safety, and general welfare in that the use including the service of beer and wine is conducted entirely within the building, proposes no exterior modifications and will be consistent with the County Health department, Alcoholic Beverage Control department and Milpitas Building and Safety codes.

**Section 4:** The Planning Commission of the City of Milpitas hereby approves Conditional Use Permit No. UP08-0021, West Coast Wings, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

**PASSED AND ADOPTED** at a regular meeting of the Planning Commission of the City of Milpitas on July 23, 2008.

---

Chair

**TO WIT:**

**I HEREBY CERTIFY** that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on July 23, 2008, and carried by the following roll call vote:

<b>COMMISSIONER</b>	<b>AYES</b>	<b>NOES</b>	<b>OTHER</b>
Cliff Williams			
Gunawan Ali-Santosa			
Lawrence Ciardella			
Alexander Galang			
Sudhir Mandal			
Gurdev Sandhu			
Noella Tabladillo			
Aslam Ali			

**EXHIBIT 1**

**CONDITIONS OF APPROVAL  
CONDITIONAL USE PERMIT NO. UP08-0021**

**General Conditions**

1. The owner or designee shall develop the approved project in conformance with the approved plans approved by the Planning Commission on July 23, 2008, in accordance with these Conditions of Approval.
2. Any deviation from the approved site plan, floor plans, elevations, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance.
3. Conditional Use Permit No. UP08-0021 shall become null and void if the project is not commenced within 18 months from the date of approval. Pursuant to Section 64.04-2 of the Zoning Ordinance of the City of Milpitas, since the project requires the issuance of a building permit, the project shall not be deemed to have commenced until the date of the building permit is issued.
4. Pursuant to Section 64.04-1, the owner or designee shall have the right to request an extension of UP08-0021 if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein.
5. This Conditional Use Permit is for a 1,486 square foot restaurant with the indoor service of beer and wine and a maximum of 22 indoor seats.
6. This use shall be conducted in compliance with all appropriate local, state and federal laws and regulations and in conformance with the approved plans. (P)
7. The restaurant shall adhere to the following guidelines in perpetuity:
  - a. Keep garbage dumpsters clean inside and out; replace very dirty dumpsters with new, clean ones.
  - b. Double or triple bag waste to prevent leaking.
  - c. Place, do not drop or throw, waste-filled bags, to prevent leaking.
  - d. Keep the ground under and around the garbage dumpsters swept.
  - e. Sprinkle the ground lightly after sweeping with a mixture of water and a little bleach.

(P)

8. The business owner shall hold training sessions to instruct their employees on the proper procedures in the handling and disposal of food items; the general maintenance and use of the compactor and any other procedures that would assist the business in complying with all State and local health and sanitation standards (refer to the County of Santa Clara Department of Environmental Health at (408) 729-5155 for their guidelines). (P)
9. Washing of containers and equipment shall be conducted in the kitchen area such that wash water may drain into the sanitary sewer. (P)
10. Prior to building permit issuance, the applicant shall submit tenant improvement plans that incorporate the following requirement: All floor drains, trash compactors, and indoor or covered mat and equipment washing areas shall drain to the sanitary sewer. (P)
11. If at the time of application for building permit there is a project job account balance due to the City for recovery of fees, review of permits will not be initiated until the balance is paid in full. (P)
12. If at the time of application for a certificate of occupancy there is a project job account balance due to the City for recovery of review fees, a certificate of occupancy shall not be issued until the balance is paid in full. (P)
13. No sign(s) are approved with this use permit. All signs shall comply with the Approved Sign Program for the Calaveras Center. (P)



DINE-IN OR CARRY-OUT

MILPITAS OFFICE PROJECT  
80 NORTH MILPITAS BOULEVARD  
MILPITAS, CALIFORNIA 95035-4403

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, APPROVALS AND PAY ALL PERMIT FEES WITH THE AGENCY HAVING JURISDICTION PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INSPECTIONS AND APPROVALS REQUIRED DURING THE COURSE OF THE WORK.
- ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE LANDLORD AND OWNER.
- THE GENERAL CONTRACTOR SHALL PROVIDE SCHEDULING AND/OR COORDINATION WITH THE LANDLORD'S FIELD REPRESENTATIVE FOR THE FOLLOWING INSTALLATIONS OR PROCEDURES:
  - INSTALLATIONS OF CONDUIT AND PIPING IN OR BELOW THE FLOOR SLAB
  - CONNECTIONS TO DOMESTIC WATER, SANITARY AND GREASE WASTE, SANITARY VENT, AND SMOKE/EXHAUST
  - INSTALLATION OF PRIMARY DUCTWORK, VAV BOX AND CONTROLS
  - PROGRAMMING OF THE VAV BOX CONTROL AND SENSORS
  - ANY WORK REQUIRED AT THE LANDLORD'S SERVICE AREA
  - HARDWARE AND SOFTWARE MODIFICATIONS TO COMPLETE THE INTERFACE WITH LANDLORD'S BASE BUILDING LIFE SAFETY SYSTEM
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERVISING AND DIRECTING THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES, SEQUENCING AND PROGRESS. THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTORS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUBCONTRACTORS INCLUDING THOSE DIRECTLY CONTRACTED WITH THE OWNER. THE CONTRACTOR SHALL PROVIDE NECESSARY FIELD DIRECTIONS AND INFORMATION TO EQUIPMENT RENTERS AND FABRICATORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION SCHEDULING AND SUPERVISION OF ALL EQUIPMENT AND INSTALLED ITEMS AS INDICATED ON SHEET EGI EQUIPMENT & FOOD SERVICE PLAN.
- UPON SUBSTANTIAL COMPLETION OF TENANT'S WORK IN THE PREMISES, TENANT AND HIS CONTRACTOR MUST SCHEDULE WITH LANDLORD'S FIELD REPRESENTATIVE TO CONDUCT A FINAL INSPECTION AND PROVIDE A FINAL SIGN WHICH ENCOMPASSES ANY AREAS OF CONSTRUCTION, FURNISHING, LIGHTING OR LAMPING, MERCHANDISING, ETC. THAT ARE NOT IN ACCORDANCE WITH THE LANDLORD-APPROVED PLANS OR LEASE. THE SIGNIFICANT DEFICIENCIES MAY NOT BE RESOLVED UNTIL THE INSPECTION AND ANY REQUIRED CORRECTIONS HAVE BEEN COMPLETED.
- LANDLORD'S CONDITIONS IN THE MILPITAS OFFICE PROJECT TENANT DESIGN GUIDE HANDBOOK SHALL BE PART OF ANY CONTRACT AND/OR AGREEMENT ENTERED INTO BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION WITH ABOVE NOTED LANDLORD CONTACT PRIOR TO ANY CONSTRUCTION.
- FIRE SPRINKLERS:
  - IF FIRE SPRINKLERS ARE FOUND TO BE EXISTING AT THE PROPOSED TENANT SITE THE GENERAL CONTRACTOR SHALL PERFORM FINAL VERIFICATION PRIOR TO CONSTRUCTION AND PROVIDE THE FOLLOWING PROCEDURES:
    - FIRE SPRINKLER SYSTEM DESIGN SHALL BE PER ALL LOCAL AND NATIONAL FIRE CODES. FIRE SYSTEM SHALL BE INCLUSIVE OF ALL EXPOSED AND CONCEALED SPACES & ABOVE CEILING SPACES AS REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
    - SUBMIT SHOP DRAWINGS TO APPLICABLE STATE & LOCAL AUTHORITY HAVING JURISDICTION.
    - SECURE ALL PERMITS.
    - GIVE 72HR. NOTICE PRIOR TO FIRE SPRINKLER MODIFICATION (VERIFY BY PROPERTY MANAGER).
- GENERAL CONTRACTOR TO COORDINATE LOCATION OF TRASH DUMPSTER BY WALL PROPERTY MANAGER.
- PROVIDE PROPERTY MANAGER REQUIRED PROOF OF BUILDER RISK INSURANCE & DAMAGE DEPOSIT PRIOR TO BEGINNING ANY DEMOLITION OR CONSTRUCTION PROCEDURES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.
- CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONTRADICTIONS, OR OMISSIONS HE HAS DISCOVERED PRIOR TO COMMENCING WORK.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE.
- ALL PLAN DIMENSIONS ARE FROM FACE OF GYPSUM BOARD, TO THE FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING TIA & ACCESSIBILITY STANDARDS.
- PROVIDE ALL NEW CUTTINGS FOR NEW PLUMBING AS REQUIRED FOR NEW PLUMBING. REPLACE BY 2" THICK 3000 PSI CONCRETE W/ #4 REBAR AT 2' OC. DO NOT FILL INTO EXISTING SLAB W/ #4 REBAR AT 2' OC. PROVIDE PROPER BACK FILLING OF EXISTING SLAB UNDER ALL NEW CONCRETE. THIS PROCEDURE IS RELATED TO A TYP. 3" THICK 3000 PSI SLAB ON GRADE. CONTRACTOR SHALL CONTACT LANDLORD / LANDLORD'S STRUCTURAL ENGINEER FOR COORDINATION AND FINAL VERIFICATION OF CONCRETE & SLAB / FOUNDATION DESIGN FOR THICKNESS, REINFORCEMENT, VAPOR BARRIER AND SUBSTRATE CONDITIONS.
- ALL NEW CUTS SHALL BE LOCATED INSIDE THE PROPOSED COOKING AND SERVICE AREAS SCHEDULED FOR FLOOR TILE AND SHALL NOT OCCUR IN PROPOSED SEATING AREAS OR PASSAGEWAYS (AREAS SCHEDULED FOR CONCRETE SCORING).
- PARTIAL PLANS: THE CONSTRUCTION DOCUMENTS AS DENIED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE FRANCHISEE OR THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION.
- CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS. UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST, RESIDUE AND DEBRIS. DELIVER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.
- ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
- THE OWNER MAY PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS. THE CONTRACTOR SHALL COOPERATE WITH THE OWNER, LANDLORD AND OTHER CONTRACTORS AND COORDINATE HIS WORK WITH THE OWNER SO THAT WORK BY OTHERS MAY BE ACCOMPLISHED IN A TIMELY MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO SECURE SAFETY OF WORKERS AND OCCUPANTS AT ALL TIMES.
- CONTRACTOR SHALL LOCATE ALL MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WHETHER SHOWN OR NOT AND SHALL PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF OTHER UTILITIES ON OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR REPLACE ANY FACILITY, PROPERTY OR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN 1 YEAR FROM C.O.
- THE CONTRACTOR SHALL PROVIDE WOOD BLOCKING AS REQUIRED FOR MOUNTING TABLES, SHELVING, CABINETS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED. ALL WOOD SHALL BE NON-COMBUSTIBLE AS PER LOCAL AUTHORITY HAVING JURISDICTION.
- ALL FINISHES SHALL MEET ALL CODES AND REQUIREMENTS AS PER THE AUTHORITY HAVING JURISDICTION.
- EXISTING UTILITY SERVICES SHOWN TO REMAIN ROUTE AS REQUIRED TO CONCEAL THE SERVICES IN WALLS AND ABOVE CEILING.
- TEMPORARY ENCLOSURES SHALL BE PROVIDED BY THE CONTRACTOR OVER AND/OR AROUND ANY EXISTING OPENINGS AS NECESSARY FOR THE PROPER INSTALLATION OF ANY PORTION OF WORK IN CONNECTION WITH THE LANDLORD'S STANDARD GUIDELINES.
- NO MATERIAL SUBSTITUTIONS SHALL BE PERMITTED AFTER CONTRACTOR HAS BEEN AWARDED JOB. SUBSTITUTIONS SHALL BE EQUAL OR BETTER IN THE OPINION OF THE OWNER.
- GENERAL CONTRACTOR SHALL FINISH AND INSTALL REQUIRED FIRE EXTINGUISHERS AS REQUIRED BY FIRE MARSHAL IN ADDITION TO THOSE INDICATED IN THE DRAWINGS.
- GENERAL CONTRACTOR SHALL FINISH AND INSTALL REQUIRED ROOF OPENING FRAMING FOR SCHEDULED HVAC & EXHAUST UNITS FOR STRUCTURAL SUPPORT OF EQUIPMENT & SUPPORT OF ROOF OPENINGS.
- GENERAL CONTRACTOR SHALL FINISH AND INSTALL REQUIRED ROOF DOCUMENTATION FOR THE MODIFICATION EXISTING ROOF. THE LANDLORD SHALL BE CONTACTED TO OBTAIN ALL REQUIREMENTS FOR LISTED SUB CONTRACTORS W/ WARRANTY WORK FOR THE SPECIFIED ROOFING SYSTEM.
- ALL EXISTING TRIM AS NOTED SHALL BE OF A CLEAR PAINT GRADE PINE.
- ALL EXISTING WALL FRAMING & CEILING FRAMING SHALL BE NON-COMBUSTIBLE FIRE RETARDANT TREATED AS REQUIRED BY LOCAL CODES & THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT THE LANDLORD DURING THE BIDDING PHASE OF THE PROJECT FOR ANY REQUIREMENTS FOR FIRE ALARM SYSTEMS. THESE SYSTEMS IF REQUIRED SHALL BE INCLUDED IN THE CONTRACT FOR THIS PROJECT.
- CONTRACT FORM: THE CONTRACT FORM SHALL BE STANDARD FORM OF AGREEMENT BETWEEN CONTRACTOR AND OWNER FOR THE CONSTRUCTION OF BUILDINGS, AIA DOCUMENT FORM A-191.
- GENERAL CONDITIONS OF THE CONTRACT: AIA DOCUMENT: A-201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (BUT EDITION IS HEREBY MADE A REQUIREMENT OF THE CONTRACT DOCUMENTS. A COPY IS ON FILE W/ THE ARCHITECT FOR THE CONTRACTOR REVIEW).
- SUBSTITUTIONS: SPECIFIED PRODUCTS HAVE BEEN USED IN PREPARING THESE DOCUMENTS TO ESTABLISH MINIMUM QUALITIES WHICH SUBSTITUTIONS MUST MEET TO BE CONSIDERED ACCEPTABLE. THE BURDEN OF PROOF OF EQUALITY RESTS WITH THE CONTRACTOR. ADEQUATE SUPPORTING INFORMATION MUST ACCOMPANY ALL SUBSTITUTION SUBMITTALS, WHICH MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- MECHANICAL, ELECTRICAL & PLUMBING: THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXISTING UTILITIES FOR COORDINATION WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS PRIOR TO THE START OF THE WORK. THE CONTRACTOR SHALL SUBMIT AN ALTERNATE BID TO REUSE EXISTING AIR HANDLERS & COMPRESSORS OR ROOF TOP PACK-AGE UNITS. THE TOTAL HVAC LOAD SHALL EXCEED THE SPECIFIED TOTAL LOAD ON THE MECHANICAL DRAWINGS. THE CONTRACTOR SHALL CONTACT THE MECHANICAL ENGINEER WITH THE EXISTING FOR APPROVAL.
- WINGSTOP STANDARDS: THE WINGSTOP STANDARD DESIGN, INCLUDING BUT NOT LIMITED TO: LIGHTING, SEATING, PAINT SELECTION, KITCHEN EQUIPMENT, FLOORING, WALL FINISHES, COUNTER HEIGHTS, SIGNAGE, AND ALL OTHER ELEMENTS AS NOTED AND INCLUDED IN THESE CONTRACT DOCUMENTS ARE AS PER THE WINGSTOP RESTAURANTS INC. FRANCHISE AGREEMENT. ANY REVISIONS OR TO THESE DOCUMENTS OR FIELD CHANGES TO THIS DESIGN SHALL ONLY OCCUR UPON WRITTEN APPROVAL OF WINGSTOP RESTAURANTS INC.
- IF 40% WERE AVAILABLE FROM THE LANDLORD FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT, THE AS-BUILT SHELL DOCUMENTS WERE CREATED BY THE FOLLOWING: HABITEC ARCHITECTURE AND PLANNING 258 NORTH MARKET STREET, SUITE 220 SAN JOSE, CALIFORNIA 95110
- COOKING AREA PROTECTION SYSTEM & BUILDING SPRINKLER SYSTEM SHALL BE SUBMITTED FOR PLAN REVIEW UNDER SEPARATE PLAN AND PERMIT.

CONTACTS:

LANDLORD: SHAPPELL INDUSTRIES OF NORTHERN CALIFORNIA  
P O BOX 36163  
1200 NORTH MILPITAS BOULEVARD  
MILPITAS, CALIFORNIA 95035  
408-346-1900 PHONE  
ATTN: PROPERTY MANAGER

FRANCHISEE/ LESSEE: WEST COAST WINGS MILPITAS, INC.  
29028 RED MAPLE COURT  
HAYWARD, CALIFORNIA 94544  
408-873-6163 MOBILE  
ATTN: ROBERT LAVIGNE

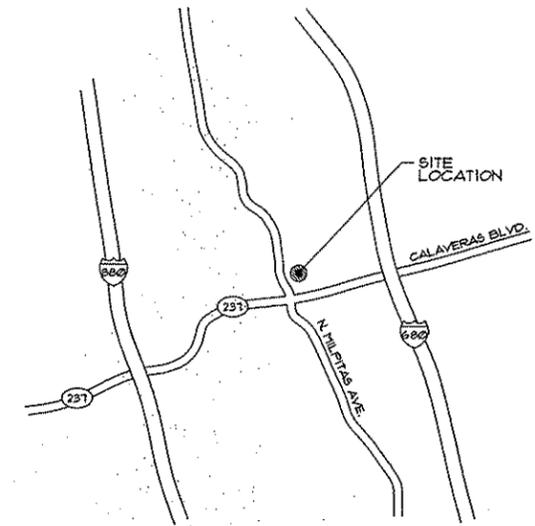
FRANCHISOR: WINGSTOP RESTAURANTS INC.  
1101 EAST ARAPAHO ROAD, SUITE 150  
RICHARDSON, TEXAS 75081  
972-686-6500 PHONE, 972-686-6502 FAX

PROJECT ARCHITECT: ALBERT GREGOR  
2210 SHADY PARK DRIVE  
ARLINGTON, TEXAS 76011  
817-271-3673 PHONE / FAX  
MITCHELLARCHITECTS@GCSGLOBAL.NET

PROJECT COORDINATOR: WINGSTOP RESTAURANTS INC.  
1101 EAST ARAPAHO ROAD, SUITE 150  
RICHARDSON, TEXAS 75081  
972-686-6500 PHONE, 972-686-6502 FAX  
ATTN: MR. JOHN B. McDONALD, AIA

SYMBOL LEGEND

- SECTION KEY (NUMBER / LETTER & SHEET NUMBER)
- ELEVATION KEY (LETTER / NUMBER & SHEET NUMBER)
- DOOR NUMBER / LETTER
- WINDOW NUMBER / LETTER
- EQUIPMENT NUMBER REFER TO SHEET EGI
- WALL TYPE REFER TO SHEET AI
- COLUMN OR WALL CENTER-LINE
- ENLARGED DETAIL
- OFF-HAND
- OPPOSITE HAND
- SIMILAR
- ABOVE FINISH FLOOR
- NOT IN CONTRACT (OF GENERAL CONTRACTOR)
- CENTERLINE



VICINITY PLAN  
NOT TO SCALE

CODES/ OCCUPANT DATA:

CODE YEAR/TYPE: 2001 CALIFORNIA BUILDING CODE  
2001 CALIFORNIA PLUMBING CODE  
2001 CALIFORNIA MECHANICAL CODE  
2001 CALIFORNIA FIRE CODE  
2003 CALIFORNIA ENERGY CODE  
2001 CALIFORNIA ELECTRICAL CODE

BUILDING CODE ANALYSIS ITEMS

\* THE EXISTING SHELL BUILDING INFORMATION WAS PROVIDED AS SPECIFIED ON THE AS BUILT CONSTRUCTION DOCUMENTS, REFER TO SHEET CS, GENERAL NOTES, LINE NUMBER 40 OF THE CONSTRUCTION DOCUMENTS.

- EXISTING SHELL BUILDING:
- OCCUPANCY CLASSIFICATION: B
  - TYPE OF CONSTRUCTION: V-N
  - FIRE SPRINKLERS: YES
  - HEIGHT - ALLOWABLE: 60'-0"
  - STORIES - ACTUAL: 1 ALLOWABLE: 2
  - AREA (SHELL BLDG.) ALLOWABLE: 14,000 SF.
- PROPOSED LEASE SPACE:
- GROUP B (W/ OCCUPANT LOAD OF LESS THAN 50)  
NO RATED SEPARATION REQUIRED BETWEEN M & B OCCUPANCIES
1. OCCUPANT LOAD AS FOLLOWS:
- \* AREA (LEASE SPACE): 1,493 SF.
  - \* WALK-IN COOLERS: 85 SF. (ACCESSORY AREA NOT APPLICABLE)
  - \* MEN, WOMEN & PASSAGE: 225 SF. (ACCESSORY AREAS NOT APPLICABLE)
  - \* SALES, COOKING, PREP AREA, ICE, SODA, JAN. & COOLER (NET USABLE): 581 SF. \* 1/200 PER OCCUPANT = 3 OCCUPANTS
  - \* SEATING, ORDER AREA & ORDER PICK UP AREA (NET USABLE): 523 SF. \* 1/15 PER OCCUPANT = 35 OCCUPANTS
  - \* OFFICE AREA (NET USABLE): 63 SF. \* 1/100 PER OCCUPANT = 1 OCCUPANT
  - \* TOTAL OCCUPANTS: 39
2. EXITS REQUIRED: 01 PROVIDED: 01
- CODE REFERENCES:
- CBC CHAPTER 3, SECTION 304
  - CBC CHAPTER 6, SECTION 606
  - CBC CHAPTER 9
  - CBC CHAPTER 9, TABLE 9-B
  - CBC CHAPTER 9, TABLE 9-B
  - CBC CHAPTER 9, TABLE 9-B
  - CBC CHAPTER 3, SECTION 304
  - CBC CHAPTER 3, TABLE 3-B
  - CBC CHAPTER 3
  - CBC CHAPTER 10

LIST OF DRAWINGS

CS	COVER SHEET & GENERAL NOTES	M1	MECHANICAL PLAN
ACCT-24	ACCESSIBILITY TITLE	M2	MECHANICAL DETAILS
9FJ	SITE PLAN & ACCESSIBILITY DETAILS	M3	MECHANICAL SCHEDULES & DETAILS
AJ	ARCHITECTURAL FLOOR PLAN	M4	MECHANICAL TITLE 24
AIJ	FLOOR FINISH PLAN	M5	DUCT WRAP SPECIFICATIONS
A2	REFLECTED CEILING PLAN	MJ	HOOD & FAN DETAIL & INFORMATION
A3	INTERIOR ELEVATIONS	E1	LIGHTING PLAN
A4	FINISH, DOOR, & HARDWARE SCHEDULES	E2	POWER PLAN
A5	SALES COUNTER PLAN & DETAILS	E3	ELECTRICAL SPECIFICATIONS
A6	WALL SECTIONS & DETAILS	E4	ELECTRICAL TITLE 24
A7	TYPICAL DETAILS	F1	SANITARY PLAN W/ RISER
A8	ENVELOPE TITLE 24	P2	WATER & GAS PLAN W/ RISER
EGI	EQUIPMENT PLAN	P3	RISER DIAGRAM
EG2	EQUIPMENT INTERIOR ELEVATIONS	P4	PLUMBING DETAILS
9J	STRUCTURAL CALCULATIONS	P5	PLUMBING SPECIFICATIONS & SCHEDULES
9K	STRUCTURAL PLAN & DETAILS		
9L	STRUCTURAL CALCULATIONS		
9M	STRUCTURAL CALCULATIONS		



ALBERT GREGOR, ARCHITECT  
NO. 10000  
STATE OF CALIFORNIA  
COMMISSION EXPIRES APR 29 2008

WINGSTOP RESTAURANT  
MILPITAS OFFICE PROJECT  
80 NORTH MILPITAS BOULEVARD  
MILPITAS, CALIFORNIA 95035-4403



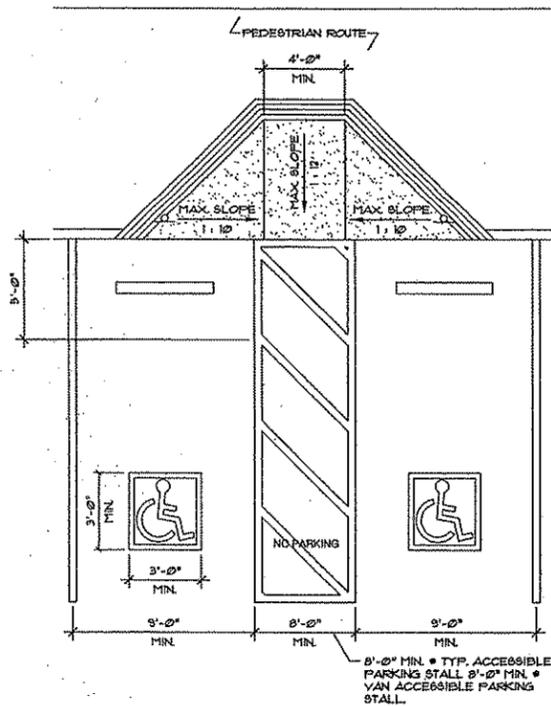
Wingstop Restaurants, Inc.  
1101 E. Arapaho Rd., Ste. 150 • Richardson, Tx. 75081  
972-686-6500 Phone • 972-686-6502 Fax

PROJECT NUMBER: GL#049

ISSUE DATE:  
ISSUED FOR OWNER / AGENCY REVIEW & BIDDING  
APRIL 30, 2008

SHEET NUMBER:

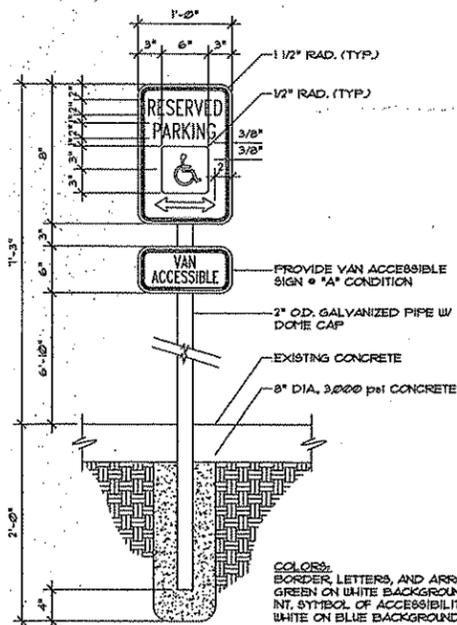
CS



**B** EXISTING ACCESSIBLE RAMP & PARKING

SCALE: N.T.S.

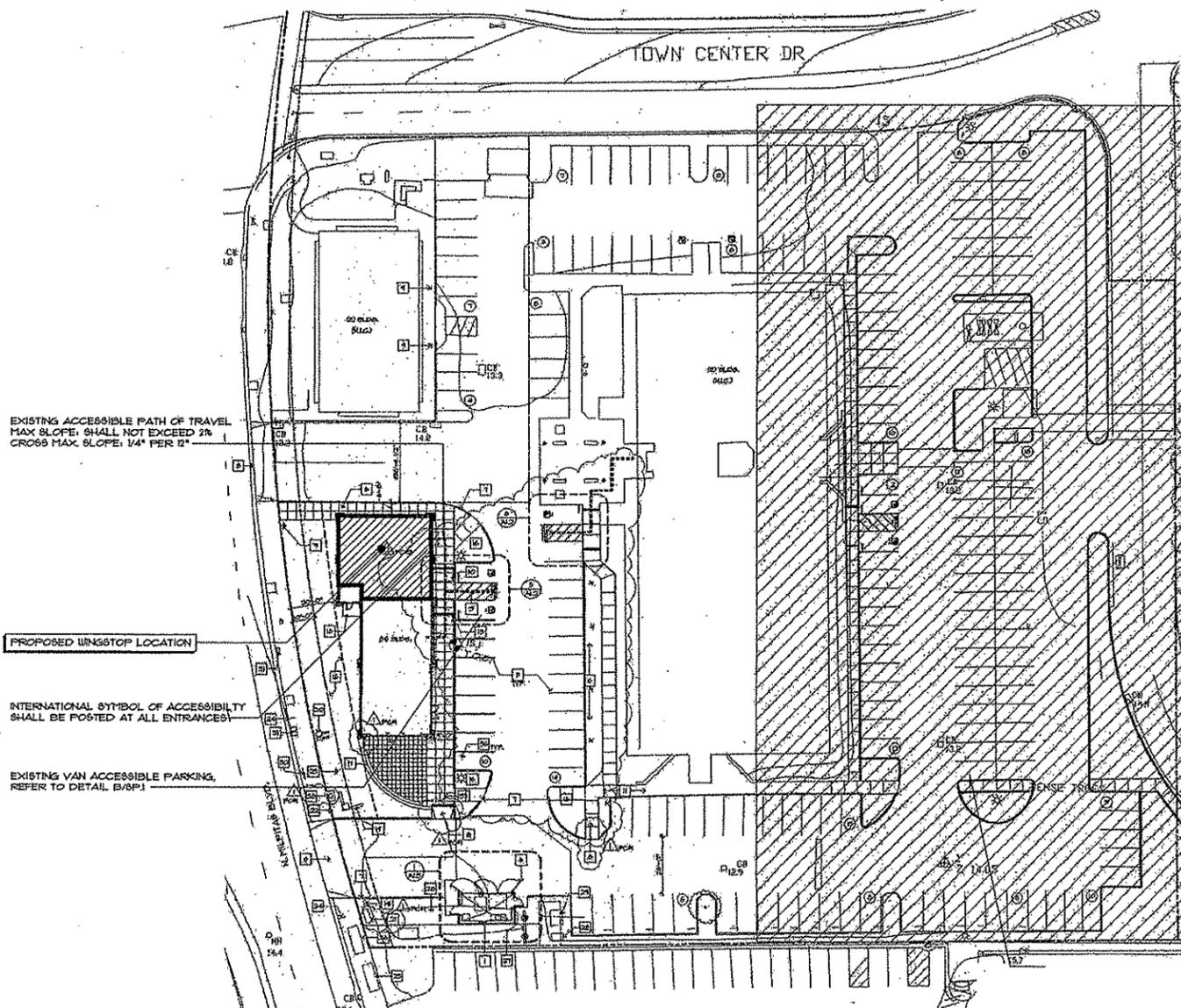
NOTE:  
THE PATH OF TRAVEL BETWEEN THE TOP OF THE RAMP AND THE STOREFRONT SHALL NOT BE LESS THAN 4'-0" LEVEL, WITH NOT MORE THAN 2% CROSS SLOPE.



**C** EXISTING ACCESSIBLE SIGNAGE

SCALE: N.T.S.

COLORS:  
BORDER, LETTERS, AND ARROW - GREEN ON WHITE BACKGROUND  
INT. SYMBOL OF ACCESSIBILITY - WHITE ON BLUE BACKGROUND



**A** EXISTING SITE PLAN

SCALE: N.T.S.

NOTES:

1. THIS SITE PLAN INFORMATION IS PROVIDED AS SPECIFIED ON THE AS BUILT CONSTRUCTION DOCUMENTS, NOTE NUMBER 40 OF THE GENERAL NOTES ON THE COVER SHEET (SHEET CS).
2. INSTALL A 11" x 22" MIN. SIGN AT EACH STREET ENTRANCE THAT STATES "UNAUTHORIZED VEHICLES PARKING IN DESIGNATED HANDICAPPED SPACES MAY BE TOWED AWAY."
3. AN INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE POSTED ON ALL WINGSTOP ENTRANCES.



ALBERY GORDON, ARCHITECT  
1101 E. ARAPAHO RD., STE. 150  
MILPITAS, CA 95035  
PHONE: 972-686-6500  
FAX: 972-686-6502

**WINGSTOP RESTAURANT**  
MILPITAS OFFICE PROJECT  
80 NORTH MILPITAS BOULEVARD  
MILPITAS, CALIFORNIA 95035-4403



**Wingstop Restaurants, Inc.**  
1101 E. Arapaho Rd., Ste. 150 • Richardson, Tx. 75081  
972-686-6500 Phone • 972-686-6502 Fax

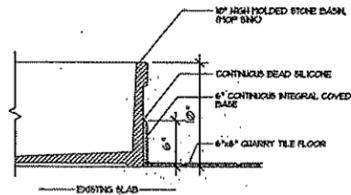
PROJECT NUMBER:  
GL10249

ISSUE DATE:  
ISSUED FOR  
OWNER / AGENCY  
REVIEW / BIDDING  
APRIL 30, 2008

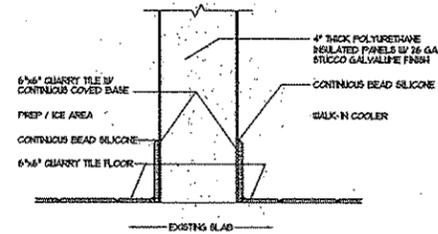
SHEET NUMBER:

SP.1

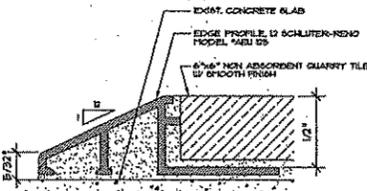




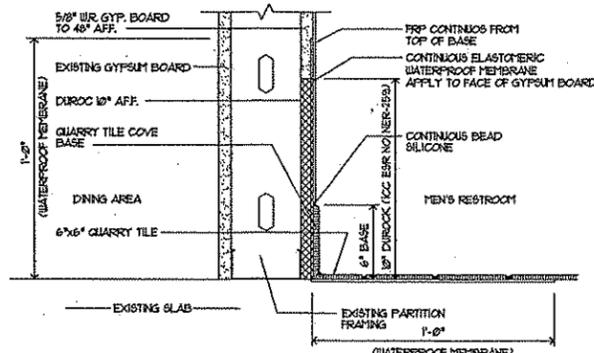
**B MOP SINK BASE DETAIL**  
SCALE: 3/4" = 1'-0"



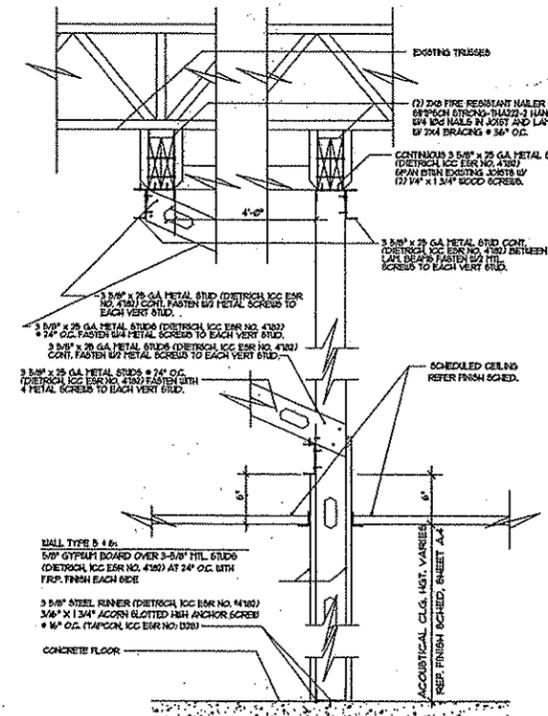
**C COOLER BASE DETAIL**  
SCALE: 3/4" = 1'-0"



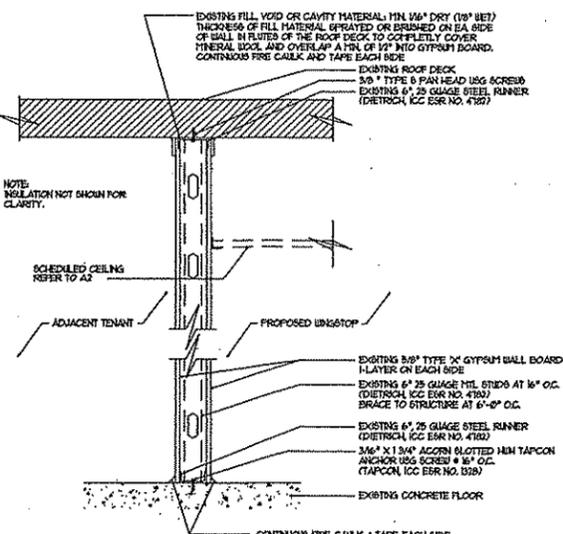
**D EDGE PROFILE DETAIL**  
SCALE: N.T.S.



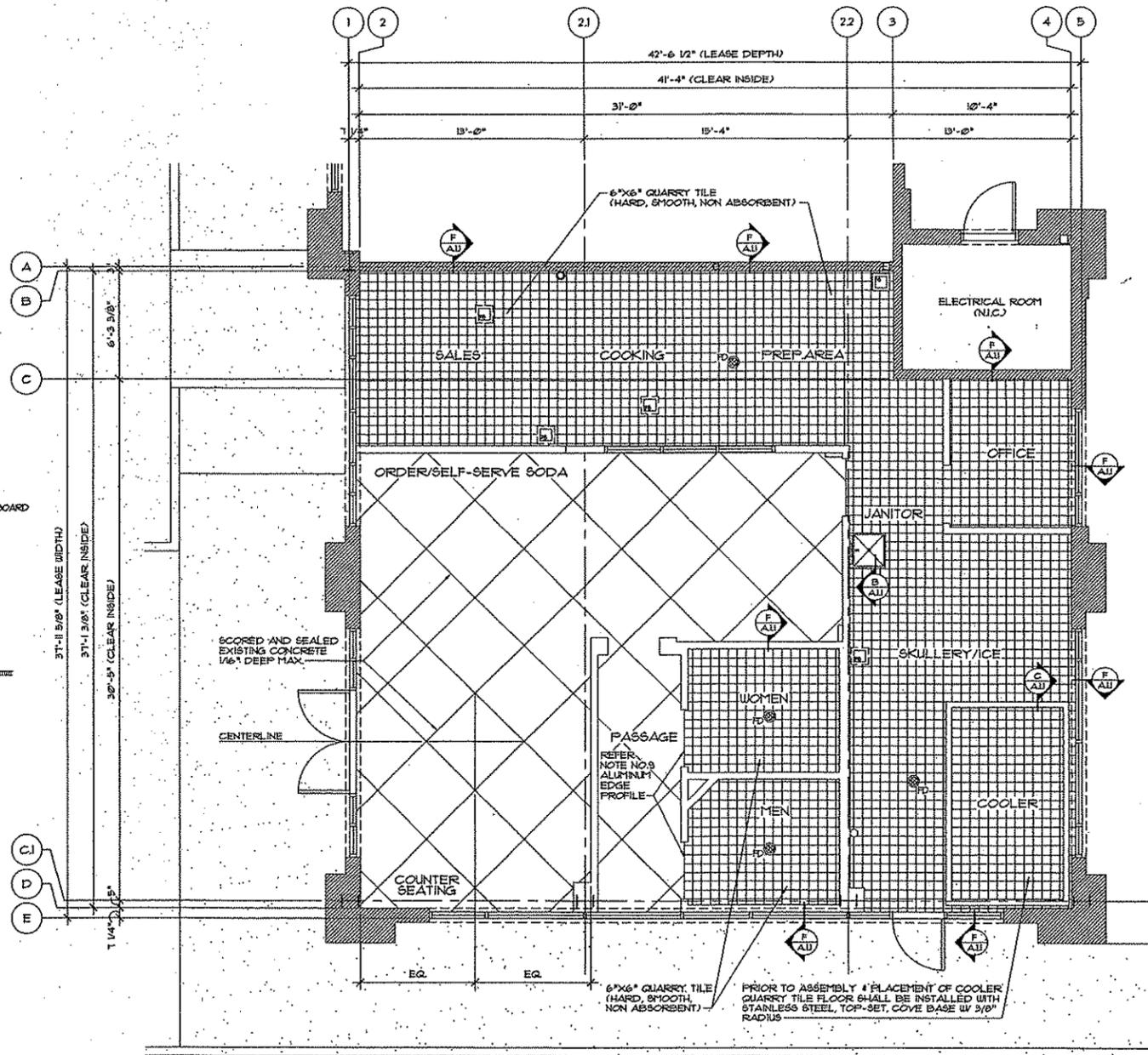
**F TILE HEIGHT DETAIL**  
SCALE: 3/4" = 1'-0"



**E TYPICAL PARTITION SECTION WALL TYPES: 5 & 6**  
SCALE: N.T.S.



**G EXISTING TENANT PARTITION**  
SCALE: N.T.S.



**A FLOOR FINISH PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR FINISH NOTES:
1. SAW CUTS FOR ALL PROPOSED UTILITIES SHALL BE CONFINED TO AREAS SCHEDULED FOR QUARRY TILE OR SEALED CONCRETE WITH OUT SCORING. DO NOT CUT EXISTING QUARRY TILE OR SEALED CONCRETE FOR CONCRETE SCORING.
  2. ALL SCORING OF EXISTING CONCRETE SHALL BE 1/8" DEEP.
  3. REMOVE ALL EXISTING MATERIALS SUCH AS MASTIC FROM PREVIOUS FLOORING PRIOR TO SCORING & SEALING EXISTING CONCRETE.
  4. REFER TO DRAWING A4 FOR CONCRETE SEALER MANUFACTURER.
  5. INSTALL QUARRY TILE PRIOR TO COOLER PLACEMENT. TILE SHOULD EXTEND TO THE DIMENSIONS OF THE COOLER AS INDICATED ON SHEET A4.
  6. QUARRY TILE BASE • SEALED CONCRETE SHALL BE BULL NOSE
  7. PROVIDE QUARRY TILE BULL NOSE THRESHOLDS • ALL INTERSECTIONS OF SEALED CONCRETE & QUARRY TILE.
  8. SODA LINE SHALL BE 6" PVC CONDUIT ABOVE CEILING WITH 6" 90°S AND 3" PVC IN PARTITIONS
  9. EDGE PROFILE AT QUARRY TILE: REFER DETAIL D/A4  
1/2" SCALUTER-RENO-11, 1/2" 1/2" AEU25  
VERIFY FOR 1/2" SLOPE  
SCALUTER SYSTEMS: 1-800-412-4588



AG ARCHITECT  
1101 E. ARAPAHO RD., STE. 150  
MILPITAS, CA 95035-4403  
PHONE: 972-686-6500  
FAX: 972-686-6502

WINGSTOP RESTAURANT  
MILPITAS OFFICE PROJECT  
80 NORTH MILPITAS BOULEVARD  
MILPITAS, CALIFORNIA 95035-4403



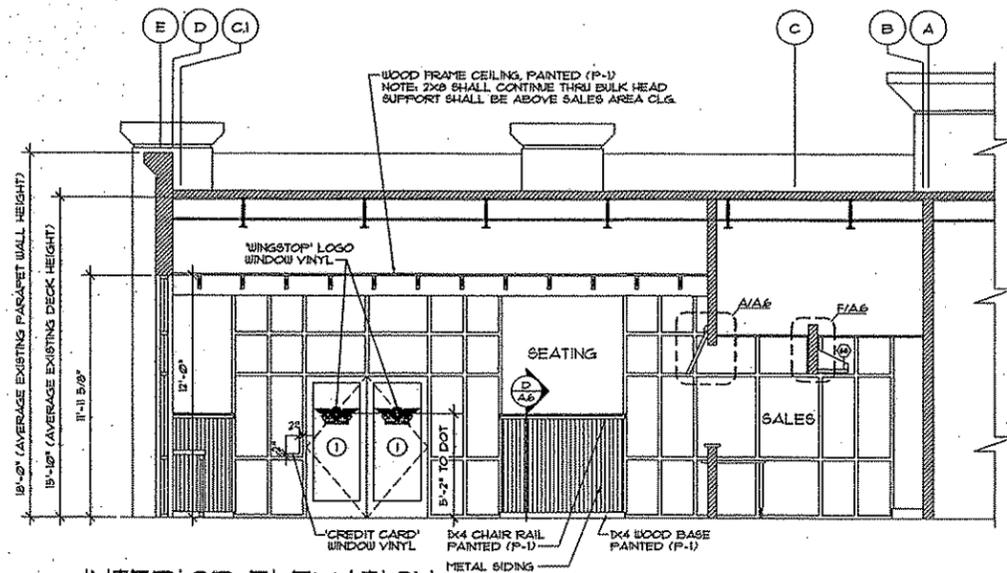
Wingstop Restaurants, Inc.  
1101 E. Arapaho Rd., Ste. 150 • Richardson, TX. 75081  
972-686-6500 Phone • 972-686-6502 Fax

PROJECT NUMBER:  
CL 1049

ISSUE DATE:  
ISSUED FOR  
OWNER / AGENCY  
REVIEW & BIDDING  
APRIL 30, 2008

SHEET NUMBER:

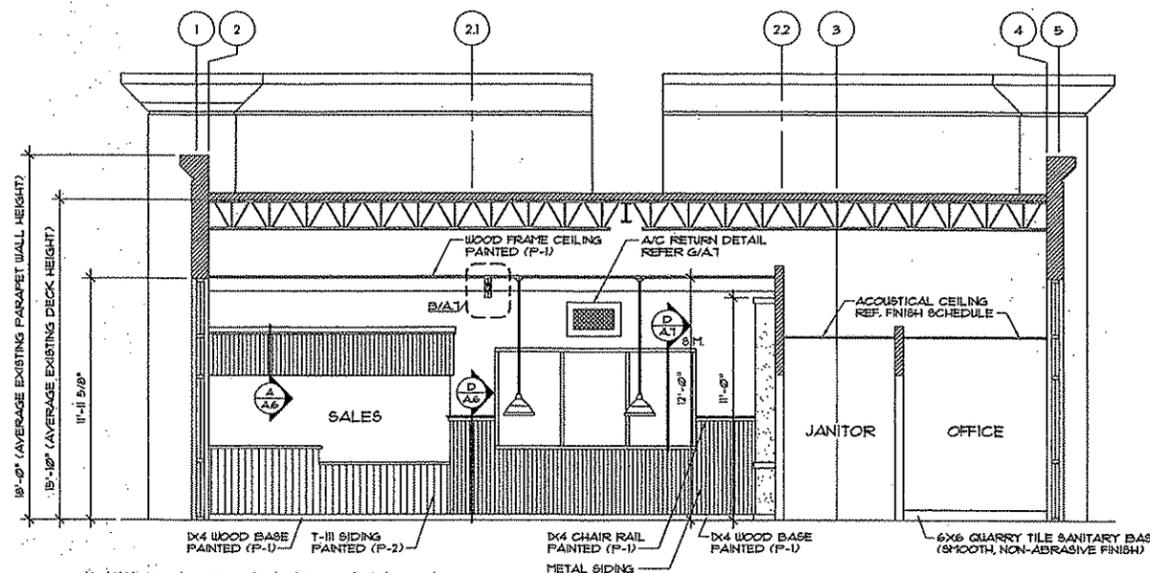
A.11



**A INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

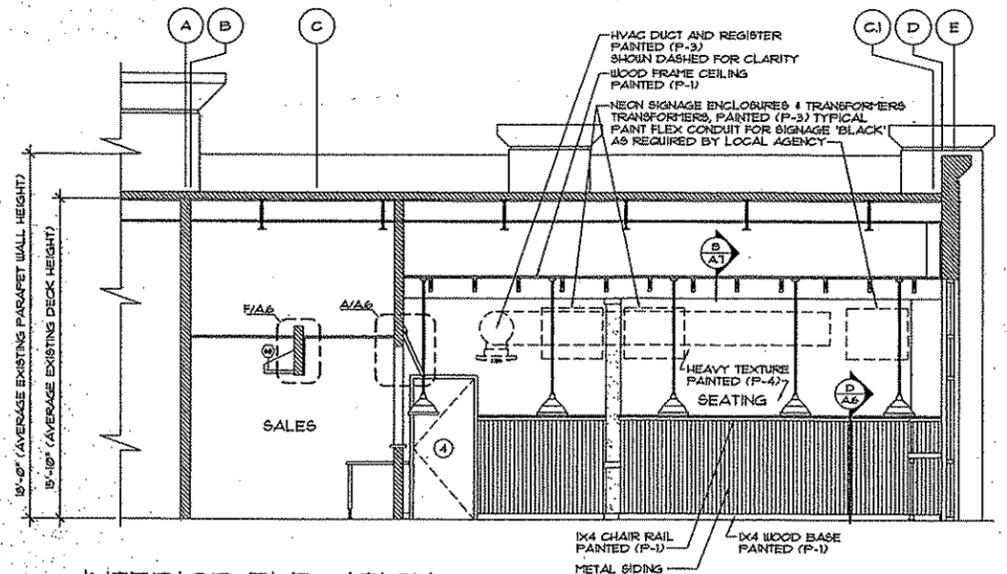
- NOTES:
1. ALL CIRCULATION SPACES SHALL HAVE A MIN. 80" CLEAR HEADROOM. ALL PENDANT FIXTURES SHOWN ARE LOCATED ABOVE TABLE SEATING AREAS AS SPECIFIED ON EQUIPMENT PLAN.
  2. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.
  3. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.
  4. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



**B INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

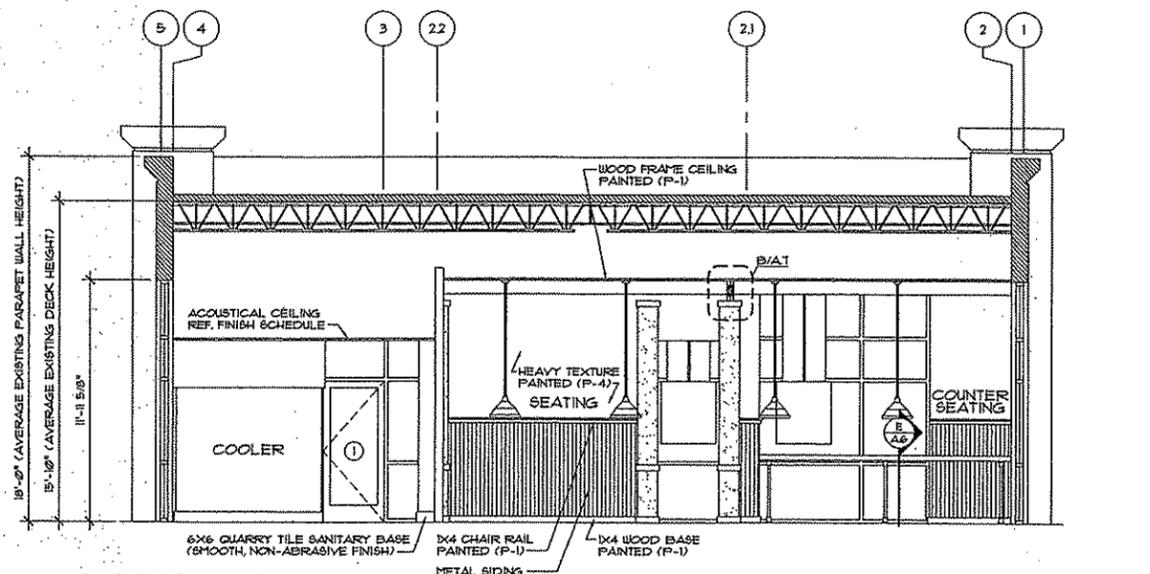
- NOTES:
1. ALL CIRCULATION SPACES SHALL HAVE A MIN. 80" CLEAR HEADROOM. ALL PENDANT FIXTURES SHOWN ARE LOCATED ABOVE TABLE SEATING AREAS AS SPECIFIED ON EQUIPMENT PLAN.
  2. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.
  3. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.
  4. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



**C INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL CIRCULATION SPACES SHALL HAVE A MIN. 80" CLEAR HEADROOM. ALL PENDANT FIXTURES SHOWN ARE LOCATED ABOVE TABLE SEATING AREAS AS SPECIFIED ON EQUIPMENT PLAN.
  2. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.
  3. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.
  4. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



**D INTERIOR ELEVATION**

SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL CIRCULATION SPACES SHALL HAVE A MIN. 80" CLEAR HEADROOM. ALL PENDANT FIXTURES SHOWN ARE LOCATED ABOVE TABLE SEATING AREAS AS SPECIFIED ON EQUIPMENT PLAN.
  2. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.
  3. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.
  4. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



**AG**  
ALBERT GRISSOM, ARCHITECT  
1101 E. ARAPAHO RD., STE. 150  
RICHARDSON, TEXAS 75081  
PHONE: 972-686-6500  
FAX: 972-686-6502

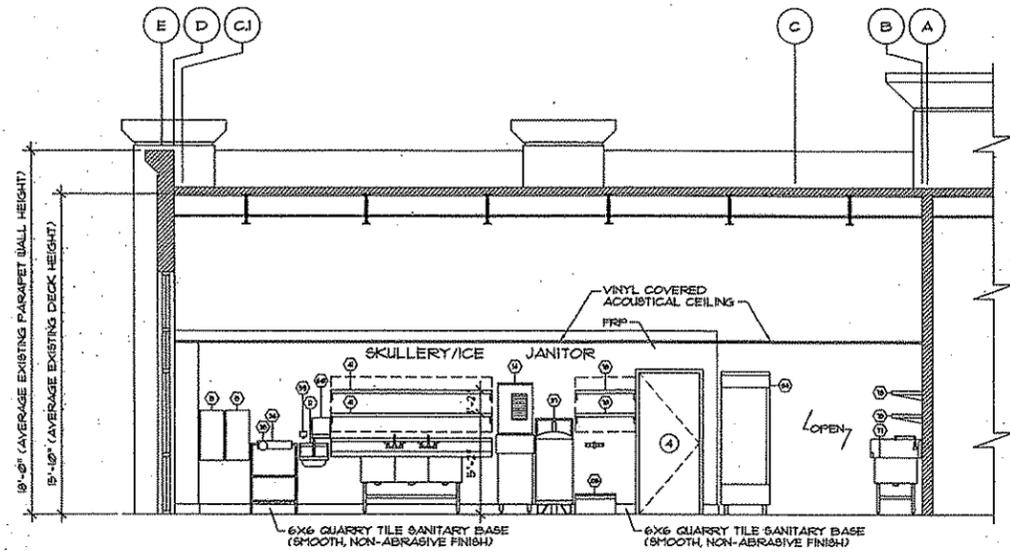
**WINGSTOP RESTAURANT**  
MILPITAS OFFICE PROJECT  
80 NORTH MILPITAS BOULEVARD  
MILPITAS, CALIFORNIA 95035-4403



**Wingstop Restaurants, Inc.**  
1101 E. Arapaho Rd., Ste. 150 • Richardson, Tx. 75081  
972-686-6500 Phone • 972-686-6502 Fax

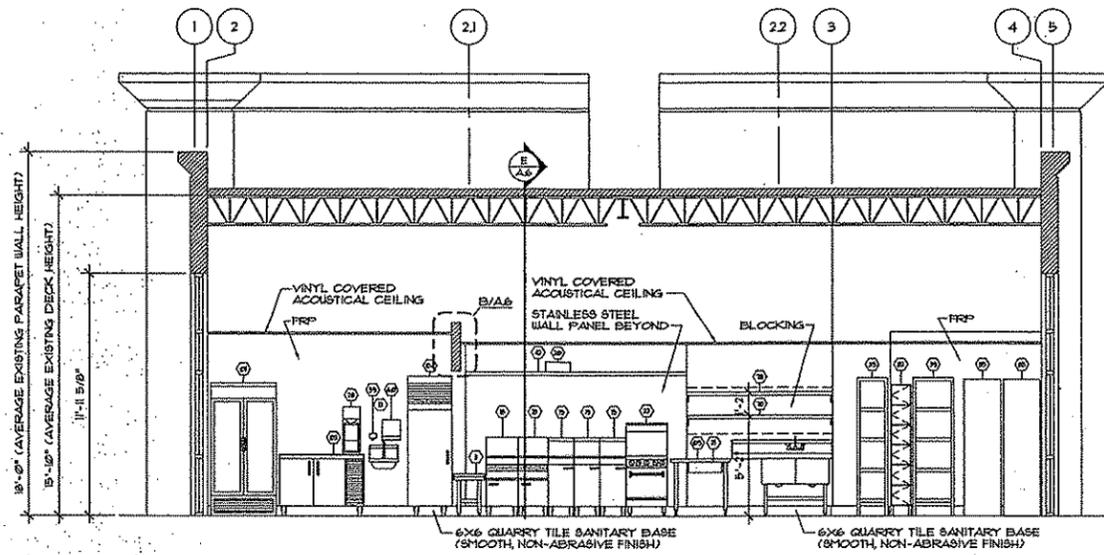
PROJECT NUMBER:  
GL1243  
ISSUE DATE:  
ISSUED FOR  
OWNER / AGENCY  
REVIEW & BIDDING  
APRIL 30, 2008

SHEET NUMBER:  
**A3**



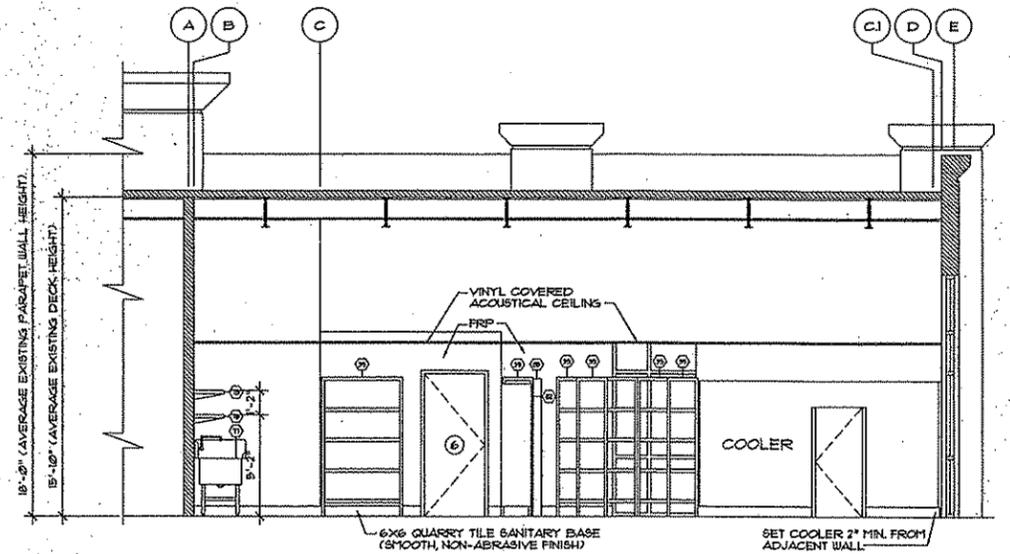
**A** INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"  
 NOTES:  
 1. PROVIDE CLEAR SILICONE CAULKING BETWEEN METAL WALL PANELS & PAINTED SURFACES.  
 2. PROVIDE ADDITIONAL SHEET METAL SCREW ANCHORS • ALL METAL WALL PANEL JOINTS.  
 3. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.  
 4. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.  
 5. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



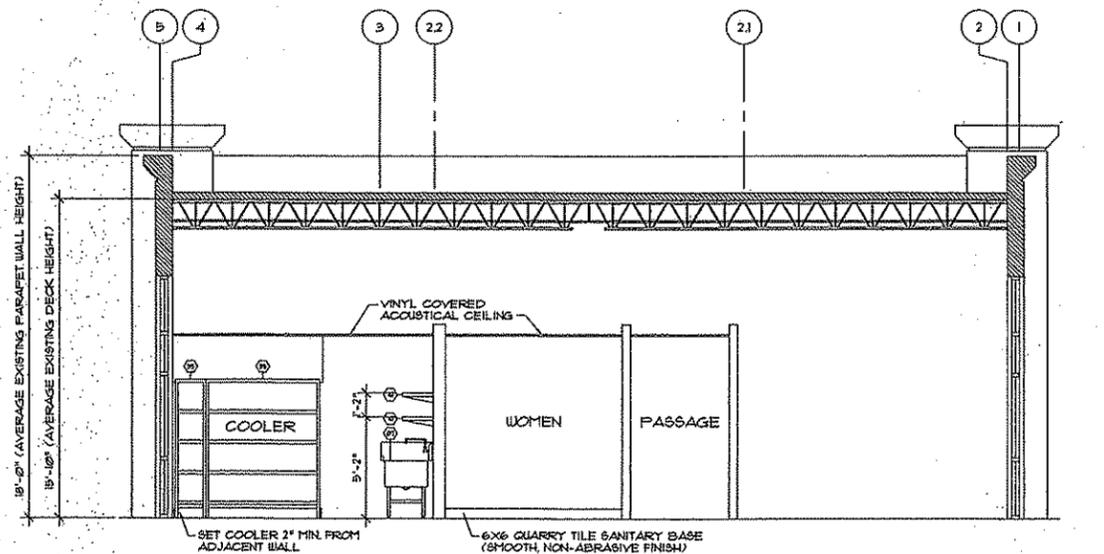
**B** INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"  
 NOTES:  
 1. PROVIDE CLEAR SILICONE CAULKING BETWEEN METAL WALL PANELS & PAINTED SURFACES.  
 2. PROVIDE ADDITIONAL SHEET METAL SCREW ANCHORS • ALL METAL WALL PANEL JOINTS.  
 3. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.  
 4. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.  
 5. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



**C** INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"  
 NOTES:  
 1. PROVIDE CLEAR SILICONE CAULKING BETWEEN METAL WALL PANELS & PAINTED SURFACES.  
 2. PROVIDE ADDITIONAL SHEET METAL SCREW ANCHORS • ALL METAL WALL PANEL JOINTS.  
 3. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.  
 4. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.  
 5. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



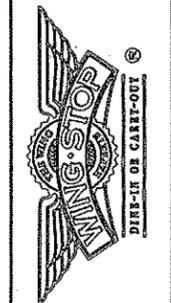
**D** INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"  
 NOTES:  
 1. PROVIDE CLEAR SILICONE CAULKING BETWEEN METAL WALL PANELS & PAINTED SURFACES.  
 2. PROVIDE ADDITIONAL SHEET METAL SCREW ANCHORS • ALL METAL WALL PANEL JOINTS.  
 3. REFER TO MECHANICAL DRAWINGS, SHEET M1, FOR EXACT RTU LOCATIONS.  
 4. REFER TO MECHANICAL PLANS, SHEET M2, FOR RTU HEIGHTS AND SPECIFICATIONS.  
 5. ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



AG ARCHITECTS  
 1101 E. ARAPAHO RD., STE. 150  
 RICHARDSON, TX 75081  
 (972) 686-6500  
 WWW.WINGSTOPRESTAURANTS.COM

WINGSTOP RESTAURANT  
 MILPITAS OFFICE PROJECT  
 80 NORTH MILPITAS BOULEVARD  
 MILPITAS, CALIFORNIA 95035-4403



Wingstop Restaurants, Inc.  
 1101 E. Arapaho Rd., Ste. 150 • Richardson, Tx. 75081  
 972-686-6500 Phone • 972-686-6502 Fax

PROJECT NUMBER:  
 GL1249

ISSUE DATE:  
 ISSUED FOR  
 OWNER / AGENCY  
 REVIEW • BIDDING  
 APRIL 30, 2008

SHEET NUMBER:

EQ.2