



MILPITAS PLANNING COMMISSION
AGENDA REPORT

PUBLIC HEARING

Meeting Date: August 27, 2008

APPLICATION: **SITE DEVELOPMENT PERMIT AMENDMENT NO. SA08-0004, HUI RESIDENCE.**

APPLICATION SUMMARY:

A request for site and building modifications to allow the conversion of an existing 199 square covered porch into living space, a 1,175 square new basement addition, renovation of an existing rear yard deck and installation of accessory structures.

LOCATION: 1628 Pebble Beach Court (APN 029-55-020)
APPLICANT: Tom Hui, 1628 Pebble Beach Court, Milpitas, CA 95035
OWNER: Same as above.

RECOMMENDATION: **Staff recommends that the Planning Commission:**
1. Close the public hearing; and
2. Adopt Resolution No. 08-042 approving the project subject to conditions of approval.

PROJECT DATA:

General Plan/

Zoning Designation: Single Family Residential Hillside Medium Density (HLD)/Single Family Residential with Hillside Combining District (R1-H).

Site Area: 19,997 sq. ft. (.46 acres)
Proposed Total Living Area: 5,834 sq. ft.
New Basement Addition: 1,175 sq. ft.
Proposed Impervious Coverage: 7,962 sq. ft

CEQA Determination: The proposed project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

PLANNER: Cindy Hom, Assistant Planner

ATTACHMENTS: A. Resolution No. 08-042
B. Project Plans
C. Project Letter
D. Photos
E. HOA approval

HUI RESIDENCE

LOCATION MAP



No scale

BACKGROUND

The City Council approved Planned Unit Development (PUD) 21, Summitpointe, on May 17, 1984, for the subdivision of 88 lots in the hillside area. On November 17, 1988, the Planning Commission granted Site and Architectural approval for the project site and allowed for the construction of a two-story single family home and rear yard deck.

On January 25, 2008, Tommy Hui submitted an application to request for site and building modifications to an existing residence located 1628 Pebble Beach Court. The application is submitted pursuant to Milpitas Municipal Code XI-10-45.09-2 (Hillside Site and Architectural Approval), XI-10-45.18-4 (b) (Grading in excess of 500 cubic yards) and XI-54.09 (Accessory Structures) for Planning Commission and City Council review and approval.

PROJECT DESCRIPTION

The project is located within the Summitpointe Subdivision and is situated on a 0.46-acre parcel that is developed with an existing 5,635 square foot, two-story residence with an attached porte-cochere cover that is constructed over the front driveway; two 5-foot rock veneer retaining, and an approximately 700 square foot slate tile rear yard deck. The project is zoned Single Family Residential with the Hillside Combining District (R1-H) and is surrounded by other hillside homes. A vicinity map of the subject site location is included on the previous page.

The applicant is proposing site and building modifications that consist of converting 199 square feet of an existing covered porch area to living space, a rebuild and remodel of the existing rear deck that includes a new 1,175 square foot basement addition below, grading of approximately 521 cubic yards of soil, removal of approximately 1,785 of impervious surface that will be replaced with new landscaping, and installation of a new wooden trellis, landscape planter box, and a new wooden gate on the side yard.

Room Addition

The proposed room addition is located on the main floor and allows for an enlarged parlor and foyer area. The proposed addition would replace two existing double glass doors and bay window with a new stucco wall with a ribbon window and new slider glass door that matches and compliments the existing building in terms of materials and styles.

Remodeled Deck

The remodeled patio deck shall consist of new deck tiles, glass block skylights, replacement of iron guardrails with new decorative balustrades, and reconfiguration of the deck stairs and steps between the upper and lower deck areas. The deck is approximately 5 ½ feet tall measured from the nearest grade. The overall height, including the balustrades, is 8-feet. The deck spans approximately 39-feet wide and 25-feet long. The outline of the deck remains relatively the same except the corners are proposed to be tapered back compare to being squared as it is currently. The tapered corners would be in keeping with the building form.

Basement

The 1,175 square foot new basement addition will be located below the remodeled deck and will be partially above ground (approximately 5 ½-feet or half of the total wall height will appear above grade). As proposed, the design and location of the basement allows them utilize the under story area of the

deck which minimizes grading and the need for new retaining walls. The proposed floor plan consists of a new game room, media storage area, and bathroom. The basement addition proposes minor exterior elevations changes that include new openings for awnings and the removal of raised landscape planters along the base of the deck and basement.

Grading

Based on the grading plans prepared by SMP Engineers, approximately 521 cubic yards of soil will need to be excavated to accommodate the proposed basement. Grading activities will be limited to the footprint of the basement addition. The project adheres to the grading regulation in that the existing grade is to be maintained as demonstrated on the grading plans (Sheet C-3). **Staff recommends a condition of approval** that all earthwork and site drainage, including basement excavation, preparation of subgrade beneath basement mat slab and slab-on-grade, installation of backdrains and backfill behind basement and site retaining walls, and the installation of subsurface and surface drainage control devices should be performed in accordance with the recommendation of the Geotechnical Report prepared by Murray Engineers Inc. dated October 31, 2007. Murray Engineers, Inc. shall be contacted 48 hours prior to any earthwork operations and should be present to observe and/or text as necessary the earthwork and foundation installation phases of the project.

Trellis and Landscape Planter

The project proposes a new 9-foot tall and 15-foot wide wooden trellis structure over a 2 ½-foot tall concrete planter box that will have a decorative trim cap and stucco finish to match the building. Proposed structure maintains the required 5-foot side yard setback and is located in the side yard near towards the rear of the house. The project complies with the 17' maximum height limit for accessory structures in the Hillside District.

Wood Gate

The project proposes a new 5-foot tall wood gate adjacent to the new trellis and planter box structure. The proposed gate is in keeping with MMC XI-10-54.11 (D) (Fences in the Hillside District) by utilizing wood post and wrought iron material that proposes an openwork type fence design.

Landscaping

The project proposes to remove approximately 1,785 square of existing hardscape to bring the site into conformance with the impervious coverage 8,000 square foot limitation. The impervious surfaces areas to be removed include a portion of the existing driveway and sections of hardscape that flank the front entryway. Staff can approve additional landscape administratively. **Staff recommends as a condition** that the applicant shall submit a landscape and irrigation plan to demonstrate conformance with City Council Resolution 6066 for Hillside Landscaping Water Conservation and Fire Hazard Mitigation.

Development Standards

Table 1
PUD Development Standards

	<i>PUD Standard</i>	<i>Existing</i>
<u>Setbacks</u> (Minimum)		
Front	20'	32'
Side	5'	12 ½' and 28'
Rear	10'	37'
<u>Building Height</u> (Maximum)	2 Story with max. of 30' at eave line	29'
<u>Parking</u>	3-car garage	4-car
<u>Landscaping</u> (Minimum)	1 mature olive tree/lot	1

Table 2
Hillside Development Standards

	Hillside Development Standard	Proposed
Size of Dwelling	6,000 sq. ft. maximum	5, 834 sq. ft.
Impervious Surface Coverage	10% of total lot area or 8,000 SQ. FT.	8,000 sq. ft.
Accessory Structure Height	17'	11 ½'
<u>Fence</u>		
▪ Height	▪ 54-inches or taller with PC Approval	5'
▪ Material	▪ Natural or other material with PC Approval	Wood post/ wrought iron
▪ Visual Transparency	▪ 75% visual transparency	Yes

ADOPTED PLANS AND ORDINANCES CONSISTENCY

General Plan

The table below outlines the project's consistency with applicable General Plan Guiding Principles and Implementing Policies:

Table 3
General Plan Consistency

Policy	Consistency Finding
<p><i>Implementing Policy 2.a-I-18</i></p> <p><i>To ensure that development in the foothills is in keeping with the natural character of the hillside, and that views are protected, require city review and approval of all proposed development or major alterations to existing development in the hillside. As part of the review, ensure that:</i></p> <ul style="list-style-type: none"> ▪ <i>Landscaping is of a type indigenous to the area;</i> ▪ <i>Building designs, materials and colors blend with the environment;</i> ▪ <i>Grading is minimized and contoured to preserve the natural terrain quality.</i> 	<p>Consistent. The proposed project is consistent the policy, in which the project received site and architectural review for conformance with the Hillside Ordinance. The project as proposed is keeping with the existing architectural design of the home by utilizing materials and styles that match the existing home. The proposed modification maintains the natural character of the hillside by not expanding beyond the existing footprint of the building and maintaining the existing grade. As conditioned, the materials, design of the accessory structures and landscaping will be in keeping with the natural setting and view of the hillside.</p>

Zoning Ordinance

The project is aesthetic and harmonious with the surrounding development and will not impact views considering the building height remains unchanged. The bulk and massing of the home also remains the same because the basement will not enlarge the footprint of the home or add additional height. The proposed grading is keeping with the natural topography of site, which slopes down, in the northwest direction. Grading activities are limited to the rear deck area only. The proposed building modifications utilize colors, material, and styles that complement the existing home. The project complies with the PUD development standards and Hillside Zoning Ordinance as demonstrated in Table 2 above and is consistent with the Milpitas General Plan.

ENVIRONMENTAL REVIEW

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. The proposed project entails site and building modifications to existing single-family residence.

PUBLIC COMMENT/OUTREACH

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public. The applicant has obtained architectural design review approval from the Summitpointe Home Owner Association.

CONCLUSION

In conclusion, the project will be aesthetic and harmonious with the surrounding development and will not impact views. The bulk and massing of the home remains unchanged from the original condition and maintains the same footprint and building form of the existing home. The proposed grading will not be significant and limited to the rear deck area only. The proposed building modifications utilize colors, material, and styles that complement the existing home. The project complies with the PUD development standards and Hillside Zoning Ordinance and is consistent with the Milpitas General Plan.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission adopt Resolution No. 08-042 approving Site Development Permit Amendment No. SA08-0004, Hui Residence, subject to the attached Conditions of Approval.

Attachments:

- A. Resolution/Conditions of Approval
- Plans
- Photos
- Project letter
- HOA Letter

RESOLUTION NO. 08-042

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT AMENDMENT NO. SA08-0004, HUI RESIDENCE, TO ALLOW SITE AND BUILDING MODIFICATIONS THAT INCLUDE A 199 SQUARE FOOT ROOM ADDITION, 1,175 SQUARE FOOT BASEMENT ADDITION, RENOVATIONS TO AN EXISTING REAR YARD DECK, AND INSTALLATION OF ACCESSORY STRUCTURES LOCATED AT 1628 PEBBLE BEACH COURT.

WHEREAS, on January 25, 2008, an application was submitted by Tommy Hui, 1628 Pebble Beach Court, to allow for various site and building modifications to allow the conversion of an existing 199 square covered porch into living space, a 1,175 square new basement addition, renovation of an existing rear yard deck and installation of accessory structures on an existing single family residence located at 1628 Pebble Beach Court (APN 029-55-020) located within the Summitpointe Planned Unit Development (PUD 21), zone Single Family Residential with the Hillside Combining District (R1-H)

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

WHEREAS, on August 27, 2008 the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

NOW THEREFORE, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The recitals set forth above are true and correct and incorporated herein by reference.

Section 2: The project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. The proposed project entails site and building modifications to existing single-family residence.

Section 3: The project is consistent with the Milpitas Zoning Ordinance in that the project will be aesthetic and harmonious with the surrounding development. The project conforms to the Hillside Ordinance regulations to ensure minimal interference with view and privacy, preserving natural setting of the hillside, minimizes the perception of excessive bulk, and limit grading. As proposed, the bulk and massing of the home remains unchanged from the original condition. The project will utilize the same building footprint and building form of the existing home. The proposed grading will not be significant and limited to the rear deck area only. The proposed building modifications utilize colors, material, and styles that complement the existing home.

Section 4: The proposed project is consistent the General Plan Implementing Policy No. 2.a-I-18, in which the project reviewed for conformance with the Hillside Ordinance.

Section 5: The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development in that the project as proposed is keeping with the existing architectural design of the home by utilizing materials and styles that match the existing home and preserves the natural topography of the hillside by not expanding beyond the existing footprint of the building. As conditioned, the materials, design of the accessory structures and landscaping will be in keeping with the natural setting and view of the hillside.

Section 6: The Planning Commission of the City of Milpitas hereby approves Site Development Permit Amendment No. SA08-0004, Hui Residence, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Milpitas on August 27, 2008.

Chair

TO WIT:

I HEREBY CERTIFY that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on August 27, 2008, and carried by the following roll call vote:

COMMISSIONER	AYES	NOES	OTHER
Cliff Williams			
Gunawan Ali-Santosa			
Lawrence Ciardella			
Alexander Galang			
Sudhir Mandal			
Gurdev Sandhu			
Noella Tabladillo			
Aslam Ali			

EXHIBIT 1

**CONDITIONS OF APPROVAL
SITE DEVELOPMENT PERMIT AMENDMENT NO. SA08-0004**

Planning Division

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on August 27, 2008, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. (P)

2. Site Development Permit Amendment No. SA08-0004 shall become null and void if the project is not commenced within 18 months from the date of approval. Pursuant to Section 64.04-2 of the Zoning Ordinance of the City of Milpitas, since the project requires the issuance of a building permit, the project shall not be deemed to have commenced until the date of the building permit is issued and a foundation is completed.

Pursuant to Section 64.04-1, the owner or designee shall have the right to request an extension of Site Development Permit Amendment No. SA08-0004 if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. (P)

3. All earthwork and site drainage, including basement excavation, preparation of subgrade beneath basement mat slab and slab-on-grade, installation of backdrains and backfill behind basement and site retaining walls, and the installation of subsurface and surface drainage control devices should be performed in accordance with the recommendation of the Geotechnical Report prepared by Murray Engineers Inc. dated October 31, 2007. Murray Engineers, Inc. shall be contacted 48 hours prior to any earthwork operations and should be present to observe and/or text as necessary the earthwork and foundation installation phases of the project. (P)
4. Prior to building permit issuance, the applicant shall submit a landscape and irrigation plan. Proposed landscaping and irrigation shall conform to the City Council Resolution 6066 for Hillside Landscaping Water Conservation and Fire Hazard Mitigation. (P)
5. This project shall be conducted in compliance with all appropriate local, state, and federal laws and regulations. (P)

Engineering Division

6. It is the responsibility of the developer to obtain any necessary permits or approvals from affected agencies or private parties. Copies of these approvals and permits must be submitted to the City of Milpitas Engineering Division. (E)
7. If the existing services (water, sewer and storm) are not adequately sized to serve this additional development, plans showing new services must be submitted and approved prior to building permit issuance. (E)
8. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to plan check and inspection fee, and 2.5% building permit automation fee. (E)
9. All existing on-site public utilities shall be protected in place. No permanent structure is permitted within City easements. (E)
10. The developer shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hrs prior to construction for location of utilities. (E)
11. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers including construction activities to eliminate as much as possible pollutants entering our receiving waters. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)



Print - Close Window

From: "Tommy Hui" <tom@whitways.com>
To: "francis kun" <ftkun101@sbcglobal.net>
Subject: FW: Summitpointe Architectural Committee - Request for Home Owners Support
Date: Tue, 17 Jul 2007 14:29:20 -0700

FYI

Best Regards,
Tommy Hui
Whitways
Tel. 510 979-0001
Fax 510 979-0002
www.whitways.com
tom@whitways.com

From: BY Quek [mailto:by_quek@gtwc.com]
Sent: Friday, July 13, 2007 10:37 PM
To: 'Tommy Hui'
Cc: 'Lynne Beard'; BY Quek; Kailash Joshi; Roger Schaaf
Subject: RE: Summitpointe Architectural Committee - Request for Home Owners Support

Dear Tommy,

Thank you for submitting your remodeling plans for your home at 1628 Pebble Beach Ct , (Lot 59). The AC has met and discussed your proposed remodeling plans; we do not see any issues in approving them. However, please ensure that you have all the necessary permits from the City of Milpitas before you start this project. Having said that, please consider yours plans approved by the AC. Please advise your start date and expected completion date. Please do invite us over to home when your remodeling is complete, as we would be very interested to see how beautiful your remodeled home will turned out to be. Thank you for your patience and good luck on your project.

Sincerely,
BY Quek for the AC

From: Tommy Hui (tom@whitways.com)
To: 'francis kun'
Date: Tuesday, July 17, 2007 2:29:20 PM
Subject: FW: Summitpointe Architectural Committee - Request for Home Owners Support

FYI

Best Regards,
Tommy Hui
Whitways
Tel. 510 979-0001
Fax 510 979-0002
www.whitways.com
tom@whitways.com

From: BY Quek [mailto:by_quek@gtwc.com]
Sent: Friday, July 13, 2007 10:37 PM
To: 'Tommy Hui'
Cc: 'Lynne Beard'; BY Quek; Kailash Joshi; Roger Schaaf
Subject: RE: Summitpointe Architectural Committee - Request for Home Owners Support

Dear Tommy,

Thank you for submitting your remodeling plans for your home at 1628 Pebble Beach Ct , (Lot 59). The AC has met and discussed your proposed remodeling plans; we do not see any issues in approving them. However, please ensure that you have all the necessary permits from the City of Milpitas before you start this project. Having said that, please consider yours plans approved by the AC. Please advise your start date and expected completion date. Please do invite us over to home when your remodeling is complete, as we would be very interested to see how beautiful your remodeled home will turned out to be. Thank you for your patience and good luck on your project.

Sincerely,
BY Quek for the AC

January 21, 2008

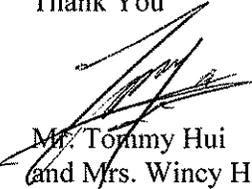
To: City of Milpitas
Planning Department
455 E. Calaveras Boulevard
Milpitas, CA 95035

To Whom this may concern,

We are proposing to remodel the existing exterior tiled patio/ deck located behind our home and expand our existing basement into the area below the remodelled exterior tiled patio/ deck. A small portion of our existing exterior tiled patio/ deck (approximately 100 sf) will be converted into living space and added into our existing living area located at the first floor. A portion of our existing living room will also be remodeled. A portion of our existing basement will also be remodelled.

Your office's kind consideration to our application for this home remodeling project shall be greatly appreciated. If you have any questions please feel free to contact us at 408-945-1968, or our designer, Mr. Francis T. Kun with Atelier Designs at (408) 806-8188 and we will do our best to answer your questions or concerns.

Thank You



Mr. Tommy Hui
and Mrs. Wincy Hui

Photo of existing lower deck.



View of deck from northwest corner of parcel



View of driveway and garage elevation



View of front elevation from Pebble Beach Court.



View of residence from Country Club Drive within the Summitpointe Residential Development



GENERAL NOTES:

1. The following architectural specifications shall conform with 2001 CBC and local amendments, The California Building Code as amended through 2005 CBC and 2006 CBC.

2. All civil, soil and structural engineering specifications shall be in accordance with the following architectural specifications.

3. The contractor and/or subcontractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.

4. All work shall be in accordance with the applicable codes and specifications.

5. The contractor shall be responsible for the satisfactory completion of all work in accordance with the project plans and specifications.

6. All work shall be in accordance with the applicable codes and specifications.

7. The contractor shall be responsible for the satisfactory completion of all work in accordance with the project plans and specifications.

8. All work shall be in accordance with the applicable codes and specifications.

9. The contractor shall be responsible for the satisfactory completion of all work in accordance with the project plans and specifications.

LOCATION MAP:



ATTIC VENTILATION CALCULATION:

1 UNIT ATTIC VENT = 274 (24 SQ IN)
1 UNIT EAVE BROW VENT = 12 SQ IN (IF REQUIRED)

REQUIRED ATTIC VENTILATION OF ATTIC SPACE:
54 SQ IN (24 SQ IN) (2001 CBC)

PROVIDE (2) 3" DIA VENT HOLES W/ INSET HIGH AT PRIZE BLOCK AT EVERY BAY, AND CONTINUOUS RIDGE VENT (INSTALL PER MANUFACTURER SPECIFICATIONS) AT NEW RIDGE LINE.

UNDERFLOOR VENTILATION CALCULATION:
1 UNIT FLOOR VENT = 604 VENT SIZE

REQUIRED UNDERFLOOR VENTILATION OF GRAVEL SPACE:
GRAVEL SPACE AT NEW ADDITION: 514 SQ IN

GRAVEL SPACE AT NEW LAUNDRY: 112 SQ IN
TOTAL: 626 SQ IN (2001 CBC)

*CURRENTLY, THIS PLAN AT NEW ADDITION SHOWS VENT UNITS, PROPORTIONATELY DISTRIBUTED TO THE NEW ADDITION AREA, WHICH IS MORE THAN WHAT IS REQUIRED. EXISTING UNDERFLOOR VENTS SHALL REMAIN, DO NOT BLOCK EXISTING UNDERFLOOR VENT UNITS.

EXCAVATION AND GRADING NOTES:

1. APPROXIMATE AMOUNT OF SOIL TO BE EXCAVATED IN PREPARATION FOR THE NEW BASEMENT AREA IS 521 CU. YARDS. NO NEW GRADING IS BEING PROPOSED ON THE SITE. SEE 'GRADING AND DRAINAGE PLAN' PREPARED BY S.M.P. ENGINEERS FOR MORE INFORMATION.

CODE COMPLIANCE:

THE FOLLOWING PLANS AND SPECIFICATIONS SHALL CONFORM WITH THE 2001 CBC, 2007 CBC, 2007 GFC AND ANY LOCAL CITY AND/OR MUNICIPAL ORDINANCES.

SHEET INDEX:

A-1 SHEET INDEX, RECEIVED DATA, LOCATION MAP, PARCEL MAP, GENERAL NOTES JUL 02 2008

A-2 FIRST AS-BUILD/DEMOLITION PLAN

A-3 SECOND AS-BUILD/DEMOLITION PLAN

A-4 BASEMENT AS-BUILD/DEMOLITION PLAN

A-5 NEW FIRST FLOOR PLAN

A-6 NEW BASEMENT FLOOR PLAN

A-7 EXTERIOR ELEVATION

A-8 ROOF PLAN

A-9 BUILDING SECTION

A-10 FLOOR AREA CALCULATION DIAGRAM (F.A.R.)

C-1 GRADING AND DRAINAGE PLANS

C-2 PLANS

C-3 (BY S.M.P. ENGINEERS)

PROJECT DATA:

OWNER: TOMMY KARPO and YING-CHI CHENG

ADDRESS: 1628 PEBBLE BEACH CT MILPITAS, CA 95035

OCCUPANCY TYPE: R-3

A.P.N.: 24-35-020

CONSTRUCTION TYPE: V-N

ZONING DISTRICT: R-1H

LOT AREA: 14,941 SF

EXISTING FIRST FLR LIVING AREA: 8,880 SF

EXISTING 2ND FLOOR LIVING AREA: 1,566 SF

EXISTING BASEMENT LIVING AREA: 924 SF

EXISTING TOTAL LIVING AREA: 5,685 SF

NEW LIVING ADDITION AT FIRST FLOOR: 194 SF

NEW LIVING ADDITION AT 2ND FLOOR: 0 SF

TOTAL NEW LIVING AREA: 5,879 SF

EXISTING 4-CAR GARAGE AREA: 143 SF

TOTAL NEW BUILDING FLOOR AREA: 6,771 SF

NEW BASEMENT ADDITION FLOOR AREA: 1,175 SF

IMPERVIOUS LOT COVERAGE CALCULATION (REFER TO SHEET A-10):

MAIN FLOOR FIRST LIVING FLOOR AREA DIAGRAM: 9,781 SF

EXISTING COVERED PATIO FLOOR AREA: 90 SF

NEW DECK FLOOR AREA DIAGRAM: 1,819 SF

EXISTING CORTE PORCHE AREA, COVERED ENTRY PORCH AND DRIVEWAY AREA: 4,917 SF

TOTAL LOT COVERAGE: 9,147 SF

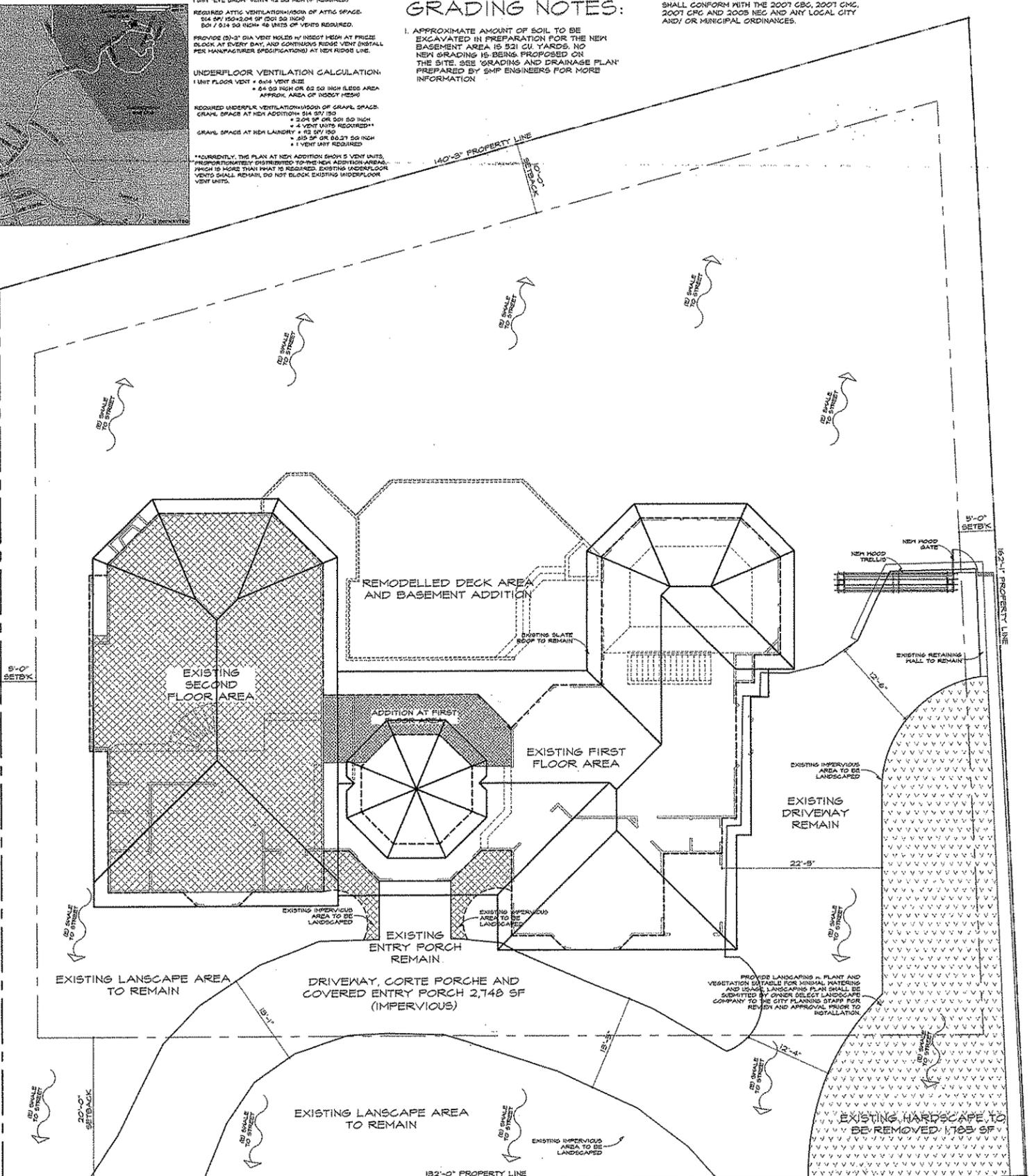
LESS EXISTING IMPERVIOUS TO BE LANDSCAPED: -1,128 SF

TOTAL NEW IMPERVIOUS LOT COVERAGE: 7,962 SF

ALLOWABLE IMPERVIOUS LOT COVERAGE: 8,000 SF

SCOPE OF WORK:

- 1. REMODEL EXISTING ENTRY AREA.
2. CONVERT EXISTING COVERED PORCH AREA LOCATED IN THE REAR DECK INTO NEW LIVING SPACE.
3. REMODEL AND REBUILD EXISTING REAR PORCH/DECK AREA.
4. REBUILD AND REBUILD STAIRS TO EXISTING BASEMENT.
5. ADDITION OF NEW BASEMENT UNDER EXISTING REAR PORCH/DECK AREA.
6. REPLACE EXISTING GUARDRAILS LOCATED IN THE REAR OF RESIDENCE W/ GFRG (OR OWNER SELECT) HANDRAIL AND BALUSTRADES.
7. REPLACE ALL DECK TILE FLOOR WITH NEW DECK FLOOR TILE (OWNER SELECT).
8. BUILD NEW TRELLIS AND PLANT BOX TO BE LOCATED IN THE DRIVEWAY AREA.
9. APPROXIMATE AMOUNT OF SOIL TO BE EXCAVATED IN PREPARATION FOR THE NEW BASEMENT FOUNDATION IS 521 CU. YARDS (14,067 CU FEET) NO NEW GRADING IS BEING PROPOSED ON THE SITE.



PEBBLE BEACH COURT SITE PLAN SCALE 1/8" = 1'-0"

CONCRETE AND FOUNDATION:

1. Slabs on grade shall be 4" min. thickness. See drawings for sand, rock base and reinforcement. Slab on grade shall be placed in concrete panels. No panel shall exceed 26 feet in width or 600 sq. ft. in area, unless separated by joints.

2. All exterior concrete slabs (patios, driveways, and walkways) shall have a minimum slope of 1/4" per foot to prevent ponding of water.

3. Construction joints shall be through air and weather cleaned and prepared to expose aggregate. Surface to receive concrete shall be maintained continuously wet at least three hours in advance of pouring.

4. For footings ultimate compressive strength 5000 psi shall be used. For slabs, aggregate shall be 1/2" max. and min. content of 4-1/2" shall be 2800 PSI. Max. aggregate size shall be 1/2" max. max. content of 4-1/2" shall be 2800 PSI. Max. aggregate size shall be 1/2" max. max. content of 4-1/2" shall be 2800 PSI.

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9. Slabs on grade shall be 4" min. thickness. See drawings for sand, rock base and reinforcement. Slab on grade shall be placed in concrete panels. No panel shall exceed 26 feet in width or 600 sq. ft. in area, unless separated by joints.

10. All exterior concrete slabs (patios, driveways, and walkways) shall have a minimum slope of 1/4" per foot to prevent ponding of water.

11. Construction joints shall be through air and weather cleaned and prepared to expose aggregate. Surface to receive concrete shall be maintained continuously wet at least three hours in advance of pouring.

12. For footings ultimate compressive strength 5000 psi shall be used. For slabs, aggregate shall be 1/2" max. and min. content of 4-1/2" shall be 2800 PSI. Max. aggregate size shall be 1/2" max. max. content of 4-1/2" shall be 2800 PSI.

13. Slabs on grade shall be 4" min. thickness. See drawings for sand, rock base and reinforcement. Slab on grade shall be placed in concrete panels. No panel shall exceed 26 feet in width or 600 sq. ft. in area, unless separated by joints.

14. All exterior concrete slabs (patios, driveways, and walkways) shall have a minimum slope of 1/4" per foot to prevent ponding of water.

15. Construction joints shall be through air and weather cleaned and prepared to expose aggregate. Surface to receive concrete shall be maintained continuously wet at least three hours in advance of pouring.

16. For footings ultimate compressive strength 5000 psi shall be used. For slabs, aggregate shall be 1/2" max. and min. content of 4-1/2" shall be 2800 PSI. Max. aggregate size shall be 1/2" max. max. content of 4-1/2" shall be 2800 PSI.

17. Slabs on grade shall be 4" min. thickness. See drawings for sand, rock base and reinforcement. Slab on grade shall be placed in concrete panels. No panel shall exceed 26 feet in width or 600 sq. ft. in area, unless separated by joints.

MECHANICAL:

1. All mechanical shall be installed per Uniform Mechanical Code and City ordinances currently in use.

2. All exterior mechanical units shall be protected from weather and vandalism.

3. All exterior mechanical units shall be protected from weather and vandalism.

4. All exterior mechanical units shall be protected from weather and vandalism.

5. All exterior mechanical units shall be protected from weather and vandalism.

6. All exterior mechanical units shall be protected from weather and vandalism.

7. All exterior mechanical units shall be protected from weather and vandalism.

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15. All exterior mechanical units shall be protected from weather and vandalism.

16. All exterior mechanical units shall be protected from weather and vandalism.

17. All exterior mechanical units shall be protected from weather and vandalism.

ELECTRICAL:

1. All electrical shall be installed per Electrical Code and City ordinances currently in use.

2. All exterior electrical units shall be protected from weather and vandalism.

3. All exterior electrical units shall be protected from weather and vandalism.

4. All exterior electrical units shall be protected from weather and vandalism.

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14. All exterior electrical units shall be protected from weather and vandalism.

15. All exterior electrical units shall be protected from weather and vandalism.

16. All exterior electrical units shall be protected from weather and vandalism.

17. All exterior electrical units shall be protected from weather and vandalism.

ARCHITECTURAL SITE PLAN NOTES:

1. This architectural site plan is not intended as a boundary survey. The boundary and easements shown on this drawing are solely based on information contained in the reference survey and are not intended to be used as a boundary survey.

2. The architectural site plan does not guarantee accurate location of all or any legal boundaries, property lines, setbacks, easements, utilities, buildings and other items on the project site. The designer or author of this architectural site plan shall not be held liable for any inaccuracies, discrepancies and/or omissions in comparison to any other legal documentation or survey generated by a professional architect or engineer or licensed land surveyor or any other official recorded maps or plans with any government recognized recording or mapping agency.

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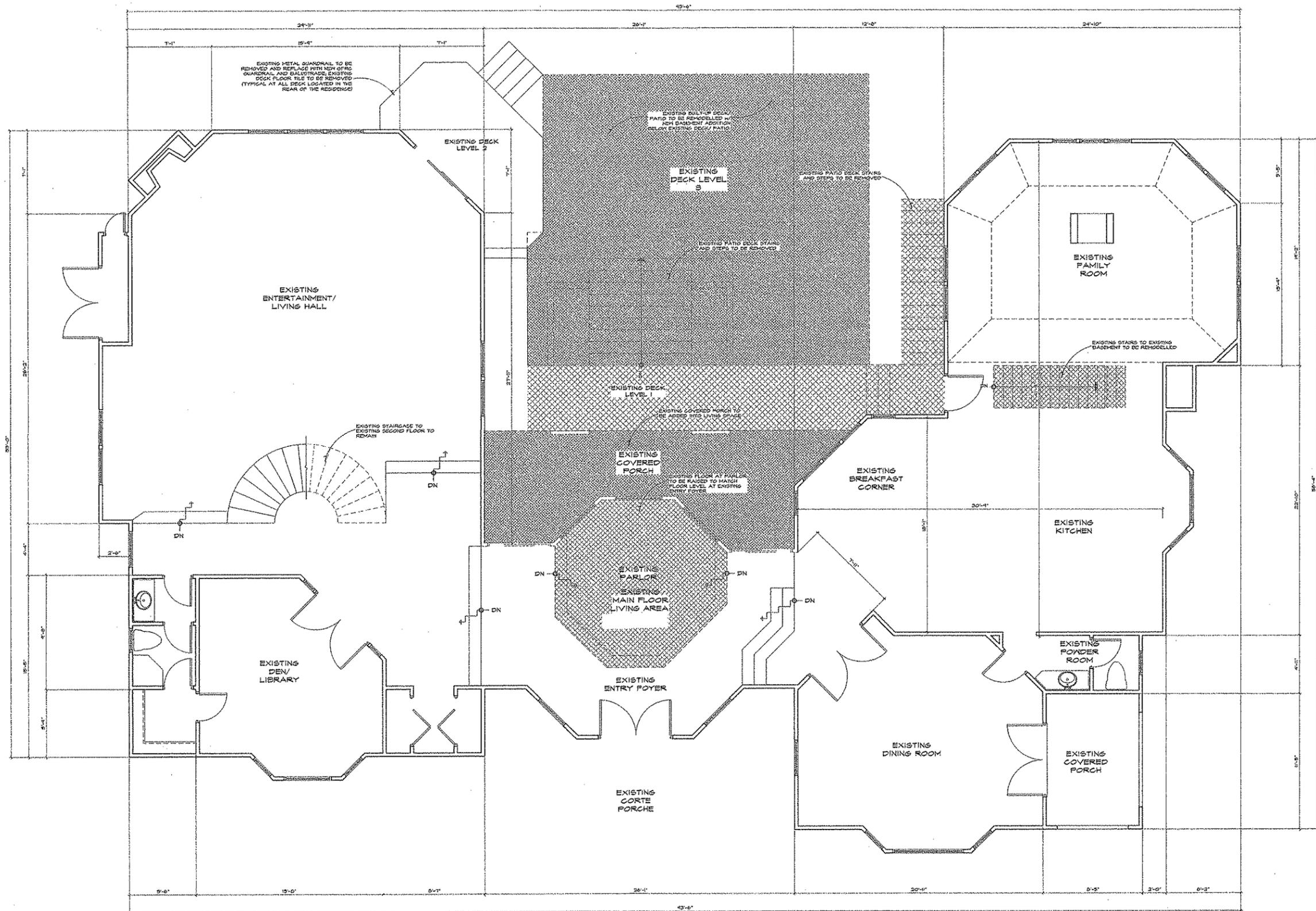
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ATELIER DESIGNS Drafting and Design Service Firm 482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008 Phone nos: (408) 266-8382



NOTES and LEGEND:

INDICATES EXISTING WOOD STIP WALLS AND STRUCTURES TO REMAIN

INDICATES EXISTING HALLS AND STRUCTURES TO BE DEMOLISHED OR REPLACED (AS NOTED ON THE PLANS)

AS-BUILD/ DEMOLITION PLAN AT FIRST FLOOR
 SCALE 1/4" = 1'-0"

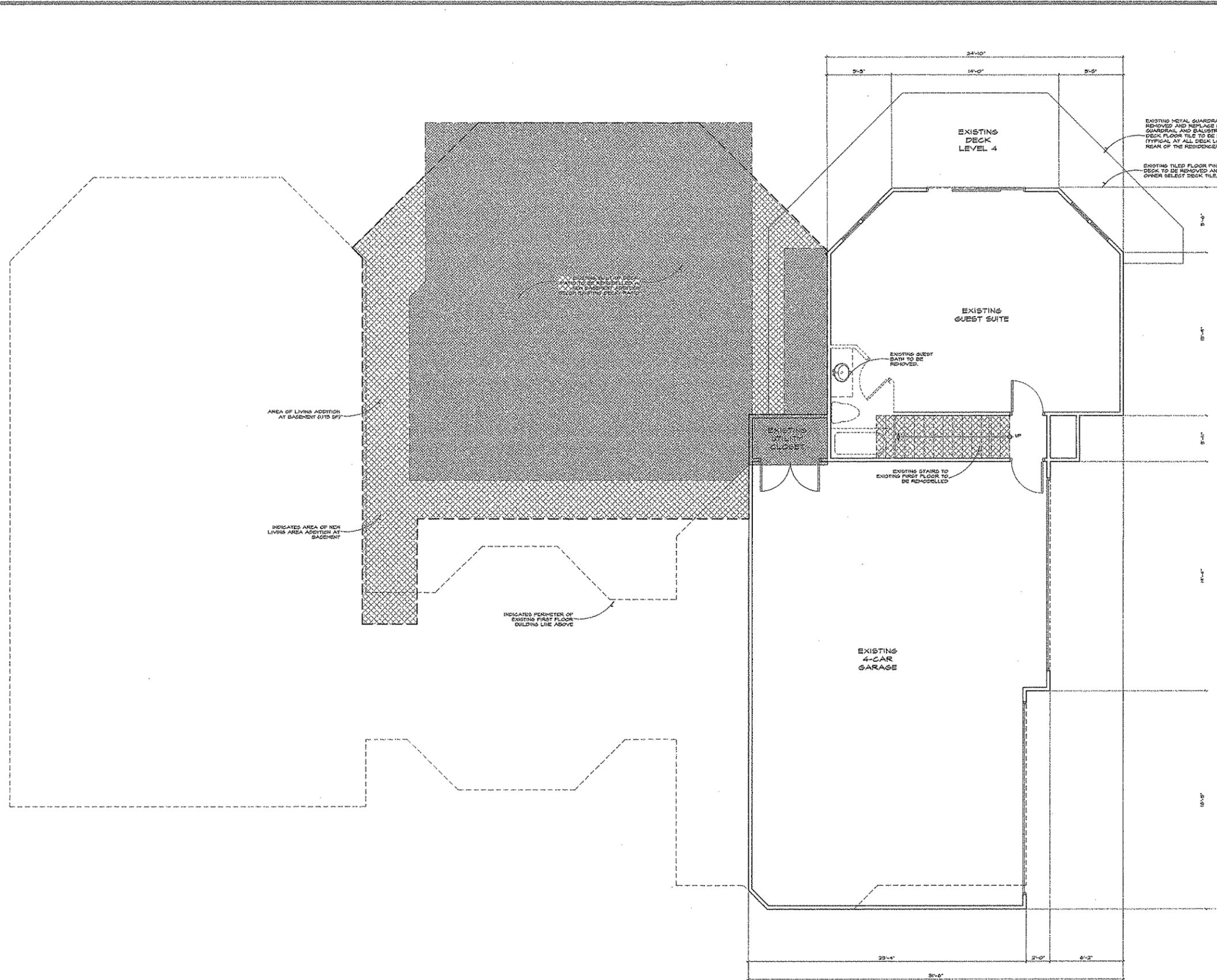
N.D.T.L.C.E.
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 482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
 Phone nos. (408) 266-8382 (408) 806-8188

RESIDENTIAL ADDITION AND REMODEL FOR:
MR. AND MRS. TOMMY AND WINCY HUI
 1626 PEBBLE BEACH COURT
 MILPITAS, CA 95035

DATE: 1/2/2008
 DRAWN BY: FT Kun
 SCALE: AS NOTED

A-2



NOTES and LEGEND:

INDICATES EXISTING HOOD GRIP WALLS AND STRUCTURES TO REMAIN.

INDICATES EXISTING WALLS AND STRUCTURES TO BE DEMOLISHED OR REPLACED (AS NOTED ON THE PLANS)

AREA OF LIVING ADDITION AT BASEMENT (D1/D2 OFF)

INDICATES AREA OF NEW LIVING AREA ADDITION AT BASEMENT

INDICATES PERIMETER OF EXISTING FIRST FLOOR BUILDING LINE ABOVE

EXISTING METAL GUARDRAIL TO BE REMOVED AND REPLACED WITH NEW SPINE GUARDRAIL AND BALUSTRADE; EXISTING DECK FLOOR TILE TO BE REMOVED (TYPICAL AT ALL DECK LOCATED IN THE REAR OF THE RESIDENCE)

EXISTING TILED FLOOR FINISH AT EXISTING DECK TO BE REMOVED AND REPLACE WITH OWNER SELECT DECK TILE.

EXISTING GUEST BATH TO BE REMOVED.

EXISTING STAIR TO EXISTING FIRST FLOOR TO BE DEMOLISHED

AS-BUILD/ DEMOLITION PLAN AT BASEMENT FLOOR
 SCALE 1/4" = 1'-0"

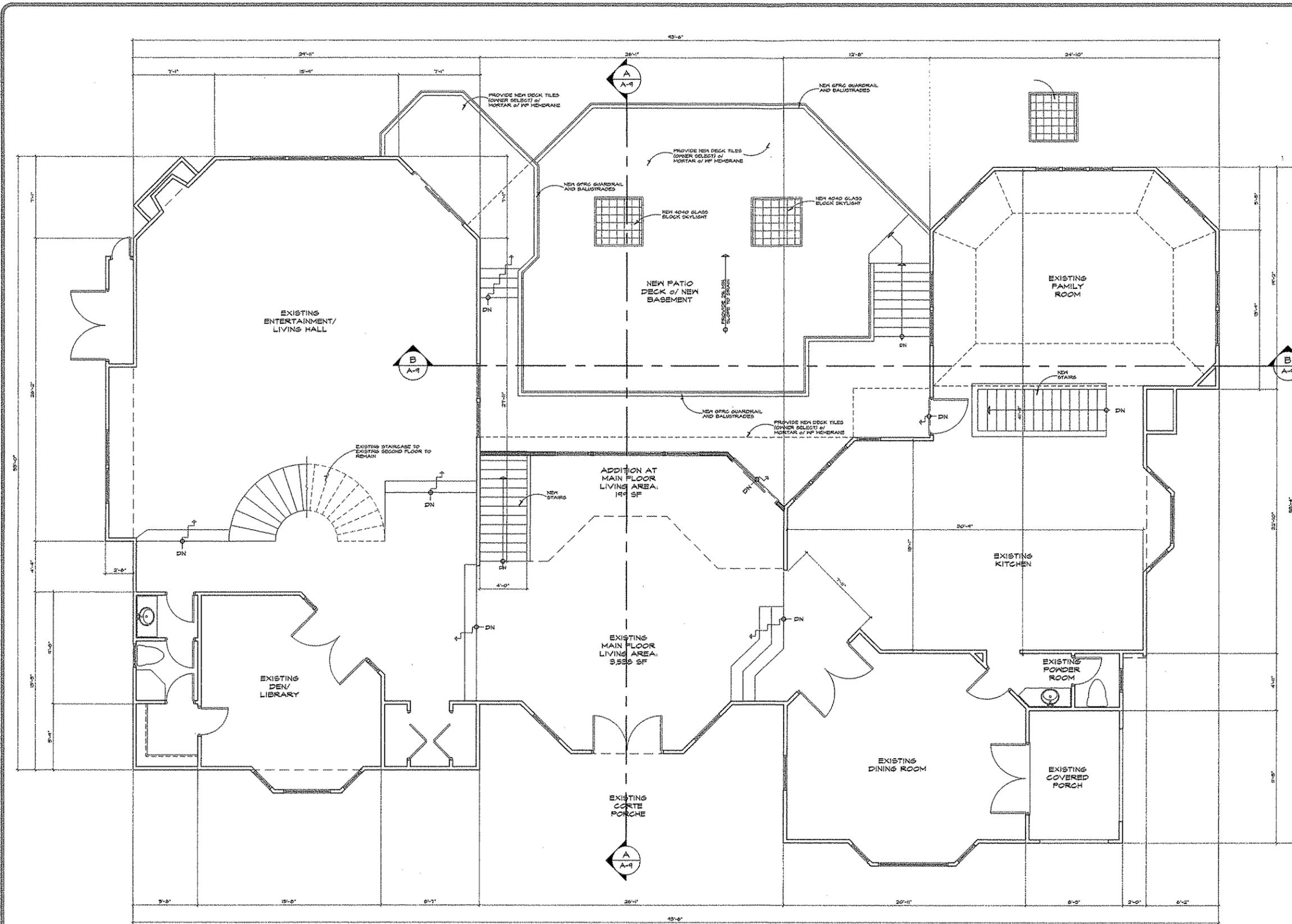
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Drafting and Design Service Firm
 482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
 Phone nos. (408) 266-5382 (408) 806-8188

RESIDENTIAL ADDITION and REMODEL for:
MR. and MRS. TOMMY and WINCY HUI
 1628 PEBBLE BEACH COURT
 MILPITAS, CA 95035

DATE: 7/2/2008
 DRAWN BY: FT KH
 AS NOTED

A-4



NEW FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

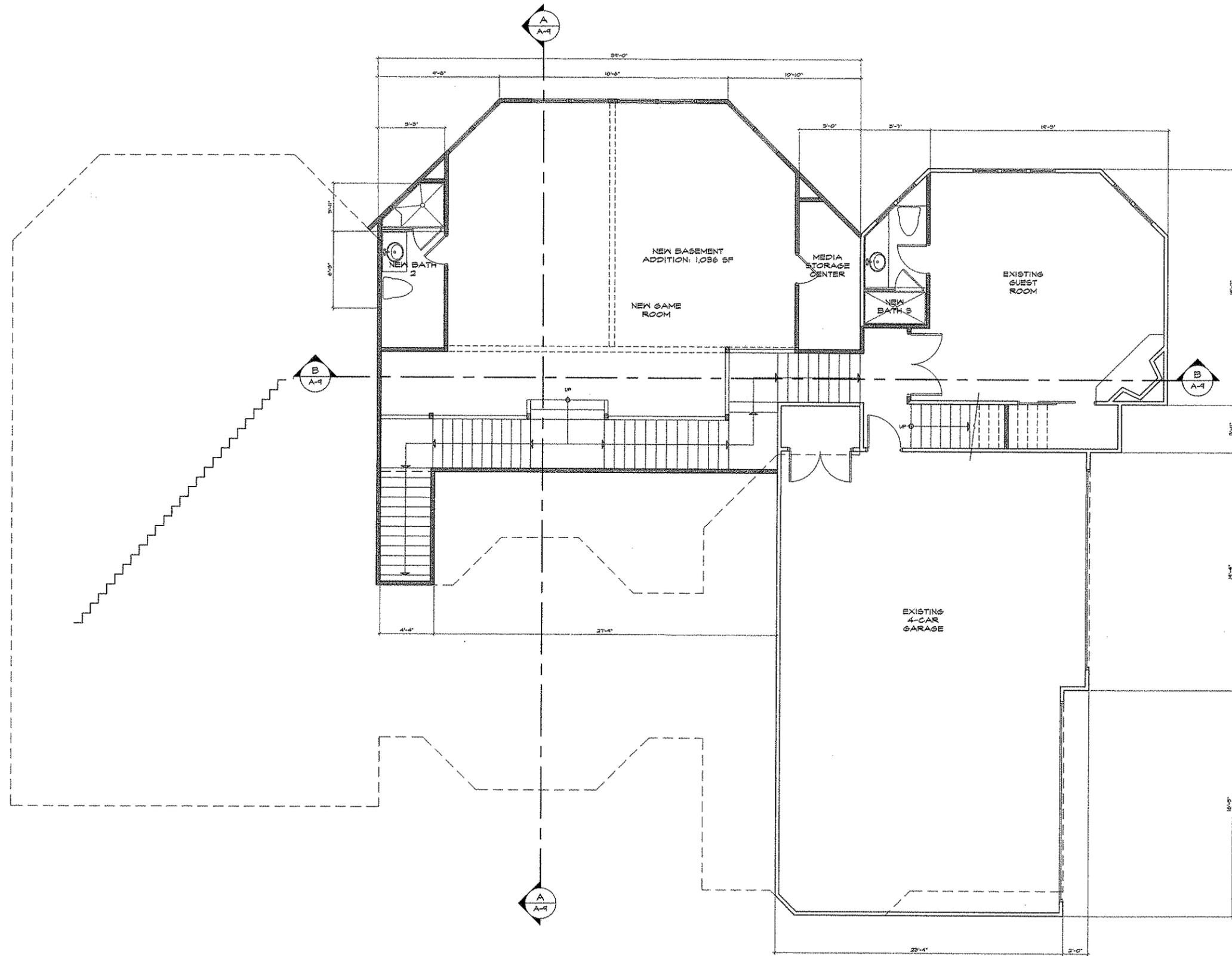
- NOTES and LEGEND:**
- INDICATES NEW 2x4 HOOD STUDS AT 24" O.C. WALLS (TYPICAL UO.N.)
 - INDICATES EXISTING HOOD STUD WALLS AND STRUCTURES TO REMAIN.
 - INDICATES EXISTING WALLS AND STRUCTURES TO BE DEMOLISHED, REMOVED OR REPLACED (AS NOTED ON THE PLANS)
- ELECTRICAL/MECHANICAL SYMBOLS:**
- EXTERIOR SECURITY LIGHT WITH MOTION SENSOR SWITCH
 - 150 AFCI DUPLEX OUTLET W/ ARC FAULT INTERRUPTER CIRCUIT
 - 110V DUPLEX OUTLET
 - 110V DUPLEX OUTLET W/ HALF-HOT
 - 110V DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER CIRCUIT
 - 110V DUPLEX FLOOR OUTLET
 - 220V OUTLET
 - SMOKE DETECTOR
 - SURFACE MOUNT CEILING FIXTURE
 - WALL MOUNT LIGHT FIXTURE
 - RECESSED LIGHT FIXTURE
 - RECESSED LOW VOLT LIGHT FIXTURE
 - RECESSED 'DIRECTIONAL' LIGHT FIXTURE
 - CHANDELIER LIGHT FIXTURE
 - RECESSED FLUORESCENT LIGHT FIXTURE
 - CEILING FAN
 - SURFACE MOUNT FLUORESCENT LIGHT FIXTURE
 - EXHAUST FAN W/ DAMPER AND FAN
 - PHONE JACK
 - TELEVISION JACK
 - TOGGLE LIGHT SWITCH
 - THREE-WAY SWITCH
 - FOUR-WAY SWITCH
 - PUSH BUTTON SWITCH (GHE, GARAGE DOOR, ETC.)
 - THERMOSTAT
 - HALL MOUNT AIR REGISTER
 - TOE KICK MOUNT AIR REGISTER
 - FLOOR MOUNT REGISTERS
 - CEILING MOUNT AIR REGISTER
 - CEILING MOUNT AIR RETURN REGISTER
 - HOSE BIB
 - GAS COCK
 - FIRE PLACE GAS TURN KEY
 - MAIN POWER PANEL (150V-110V WITH 200 AMP5 MIN)
 - MAIN GAS METER VALVE

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RESIDENTIAL ADDITION and REMODEL FOR:
MR. and MRS. TOMMY and WINCY HUI
1628 PEBBLE BEACH COURT
MILPITAS, CA 95035

DATE: 1/2/2006
DRAWN BY: FTY KUN
CHECKED BY: AS NOTED

A-5



NEW BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTES and LEGEND:

- INDICATES NEW 2x4 WOOD STUDS AT 16" O.C. WALLS (TYPICAL WOOD)
- INDICATES EXISTING WOOD STUD WALLS AND STRUCTURES TO REMAIN
- INDICATES EXISTING WALLS AND STRUCTURES TO BE DEMOLISHED, REMOVED OR REPLACED (AS NOTED ON THE PLANS)

ELECTRICAL/MECHANICAL SYMBOLS:

- EXTERIOR SECURITY LIGHT WITH MOTION SENSOR SWITCH
- 10 AMP DUPLEX OUTLET w/ ARC FAULT INTERRUPTER CIRCUIT
- 10V DUPLEX OUTLET
- 10V DUPLEX OUTLET w/ HALF-HOT
- 10V DUPLEX OUTLET w/ GROUND FAULT INTERRUPTER CIRCUIT
- 10V DUPLEX FLOOR OUTLET
- 220V OUTLET
- SMOKE DETECTOR
- SURFACE MOUNT CEILING FIXTURE
- WALL MOUNT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED LOW VOLT LIGHT FIXTURE
- RECESSED "DIRECTIONAL" LIGHT FIXTURE
- CHANDELIER LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- CEILING FAN
- SURFACE MOUNT FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN w/ DAMPER AND FAN
- PHONE JACK
- TELEVISION JACK
- TOGGLE LIGHT SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- PUSH BUTTON SWITCH (CHIME, GARAGE DOOR, ETC.)
- THERMOSTAT
- WALL MOUNT AIR REGISTER
- TOE KICK MOUNT AIR REGISTER
- FLOOR MOUNT REGISTERS
- CEILING MOUNT AIR REGISTER
- CEILING MOUNT AIR RETURN REGISTER
- HOSE BIB
- GAS COCK
- FIRE PLACE GAS TURN KEY
- MAIN POWER PANEL (100-150 AMP WITH 200 AMP NBU)
- MAIN GAS METER VALVE

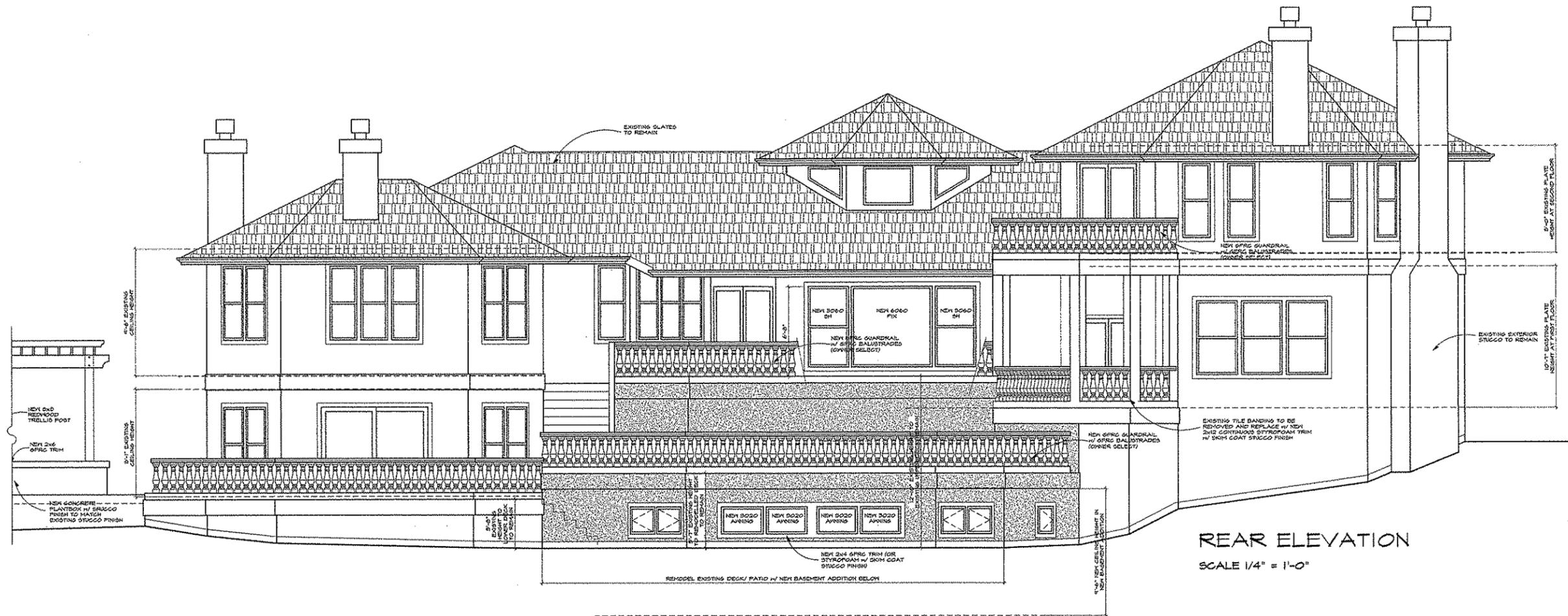
NO.	REVISIONS

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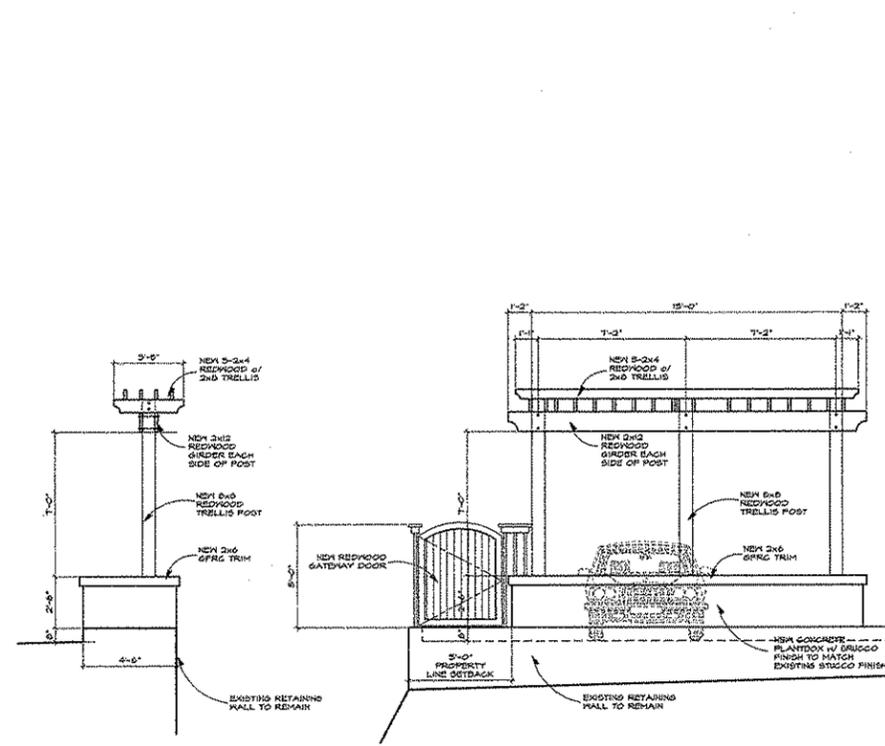
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Drafting and Design Service Firm
482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
Phone nos. (408) 266-8382 (408) 806-8188

RESIDENTIAL ADDITION AND REMODEL FOR:
MR. and MRS. TOMMY and WINCY HUI
1628 PEBBLE BEACH COURT
MILPITAS, CA 95035

JOB NO.	TH HUI
DATE	7/2/2008
DRAWN BY	PT Kun
SCALE	AS NOTED

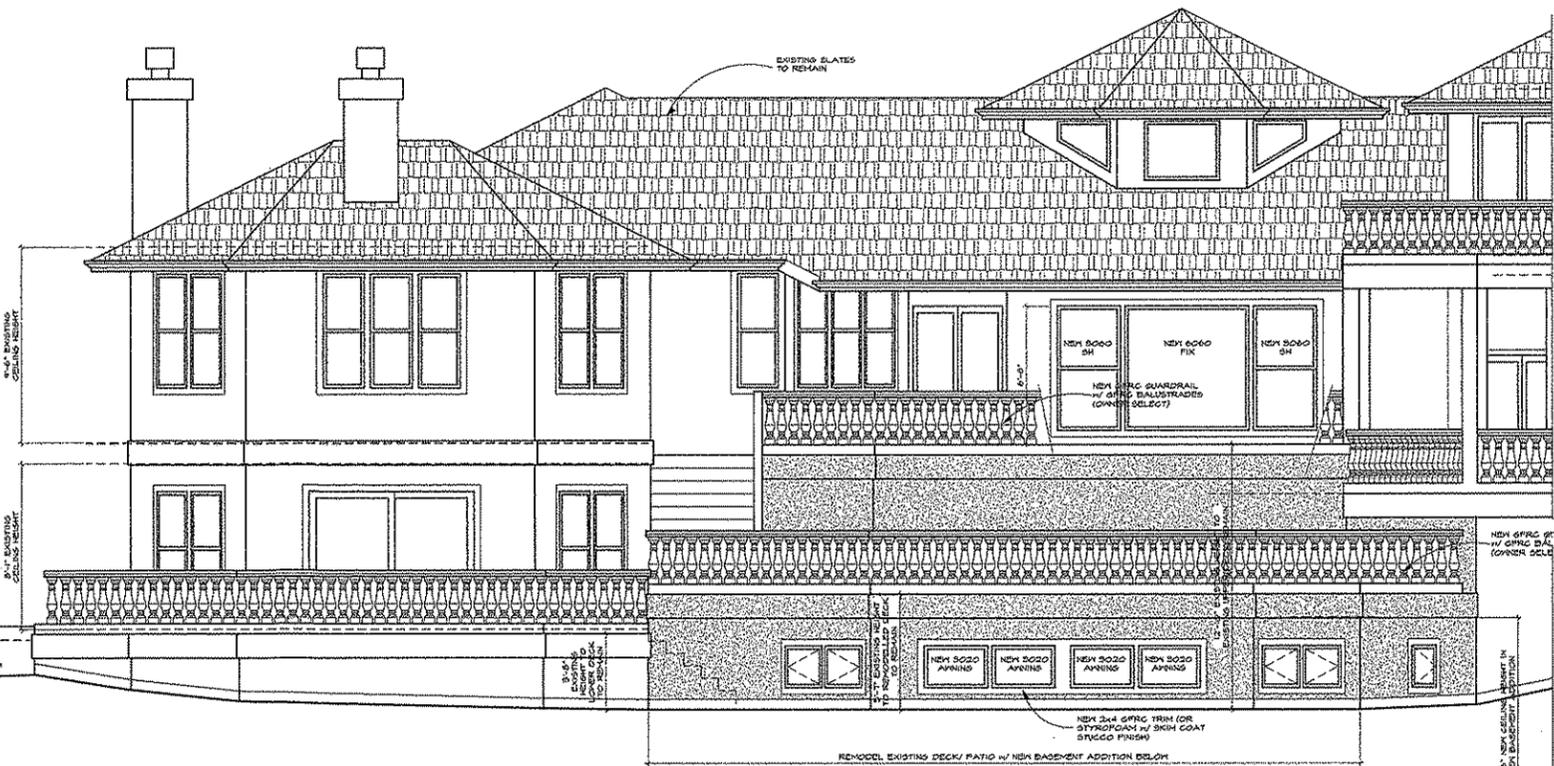


REAR ELEVATION
SCALE 1/4" = 1'-0"



TRELLIS SIDE ELEVATION
SCALE 1/4" = 1'-0"

TRELLIS ELEVATION
SCALE 1/4" = 1'-0"

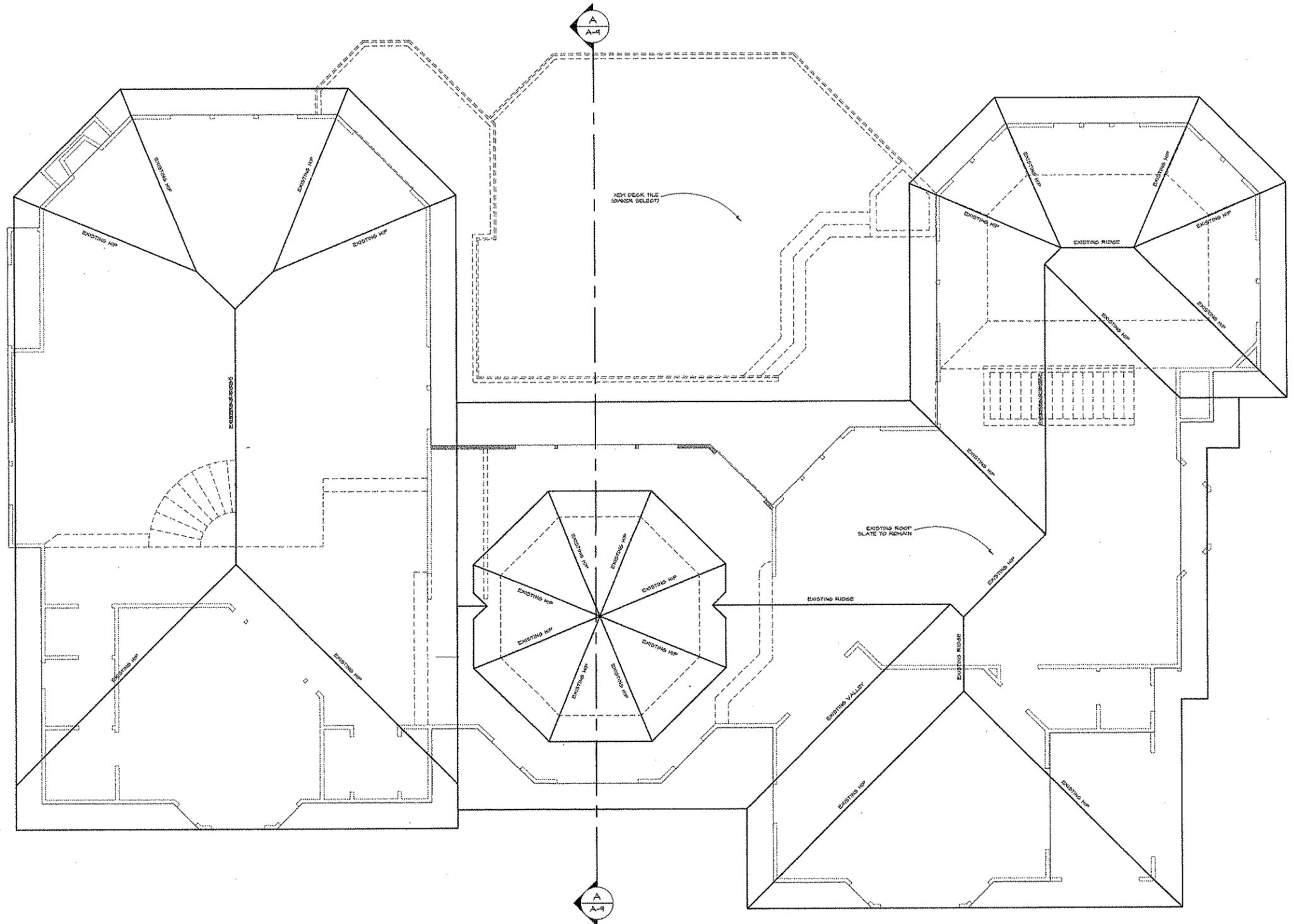


REAR ELEVATION
SCALE 1/4" = 1'-0"

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RESIDENTIAL ADDITION AND REMODEL FOR:
**MR. AND MRS. TOMMY
 AND WINCY HUI**
 1628 PEBBLE BEACH COURT
 MILPITAS, CA 95035

DATE: 7/2/2003
 DRAWN BY: PT Kun
 CHECKED BY: AS NOTED
 SHEET: A-7



ROOF PLAN
SCALE 1/4" = 1'-0"

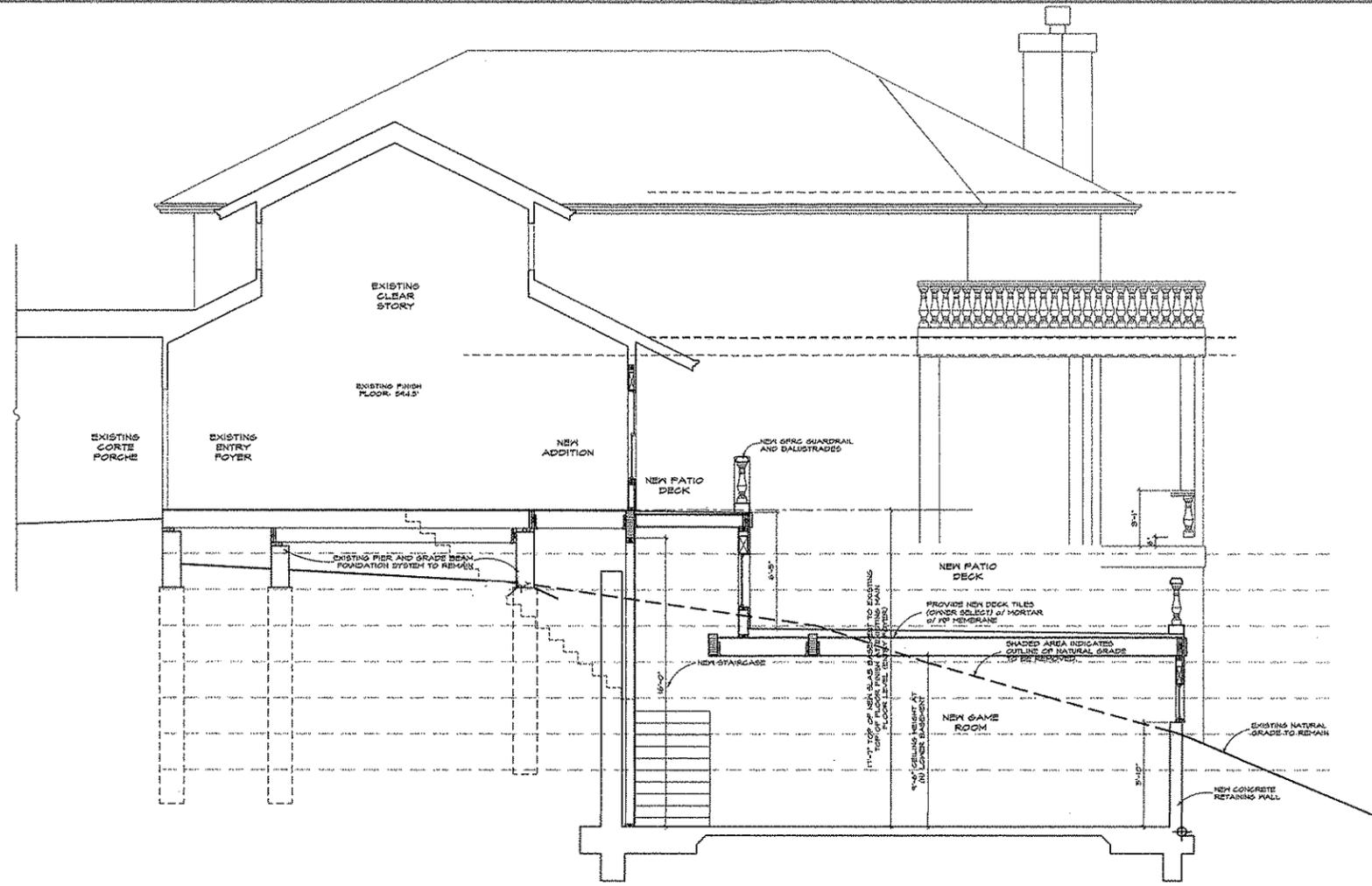
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 482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
 Phone nos. (408) 266-8382 (408) 806-8188

**RESIDENTIAL ADDITION AND REMODEL FOR:
 MR. and MRS. TOMMY
 and WINCY HUI
 1628 PEBBLE BEACH COURT
 MILPITAS, CA 95035**

JOB NO. TH HUI
 DATE 7/2/2008
 DRAWN BY PT Kun
 SCALE AS NOTED

A-B

NO SCALE
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BUILDING SECTION

SCALE 1/4" = 1'-0"

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RESIDENTIAL ADDITION AND REMODEL FOR:
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 and WINCY HUI**
 1628 PEBBLE BEACH COURT
 MILPITAS, CA 95035

DATE: 7/2/2008
 DRAWN BY: PTY Kun
 CHECKED BY: AS NOTED

A-9

MAIN/ FIRST FLOOR AREA CALCULATION (IMPERVIOUS)

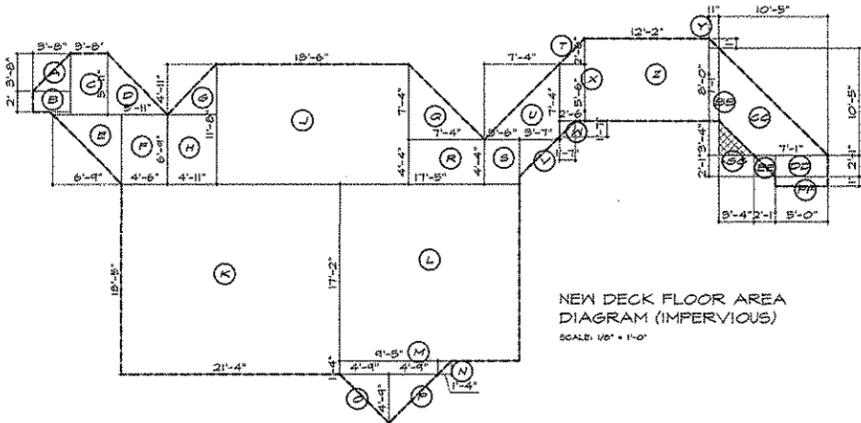
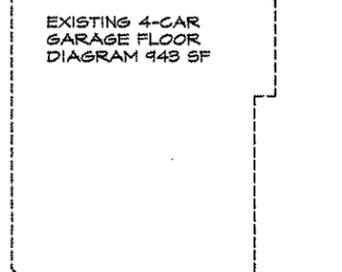
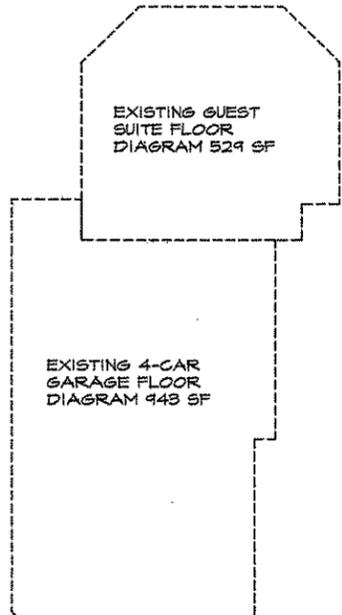
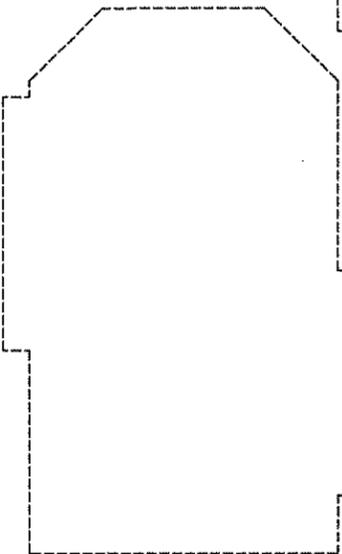
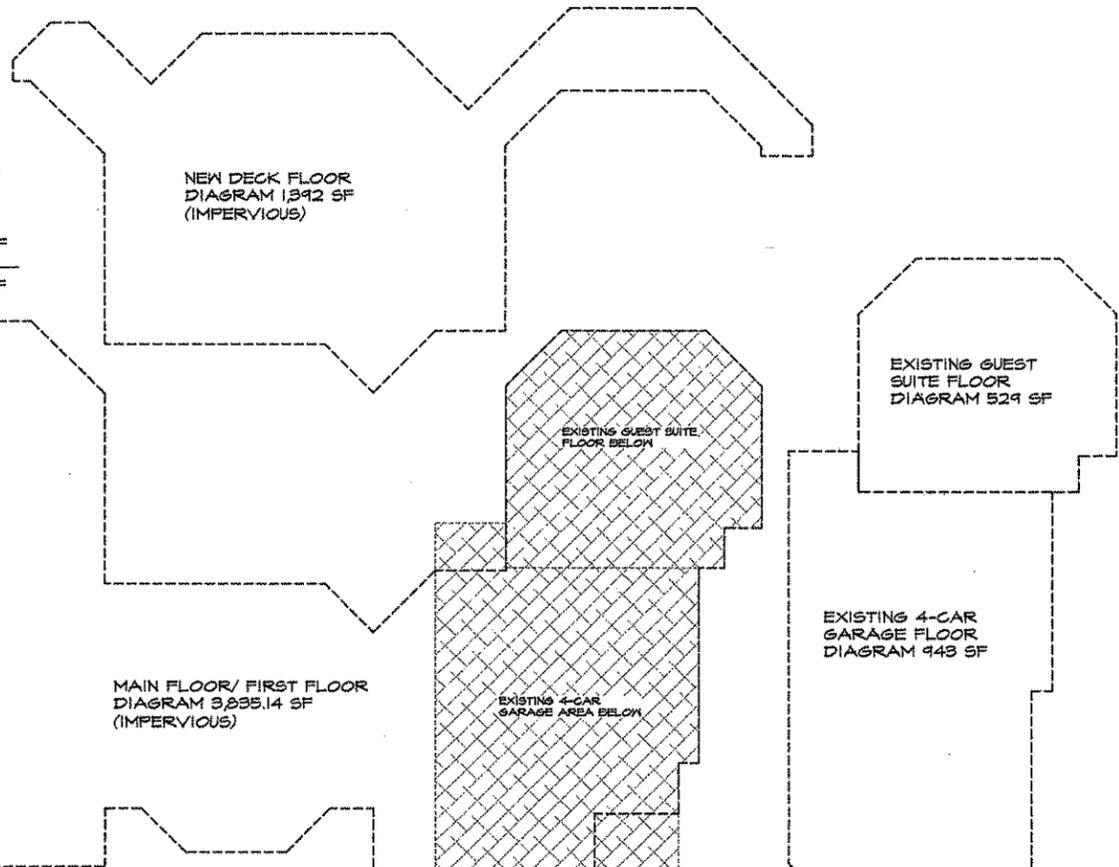
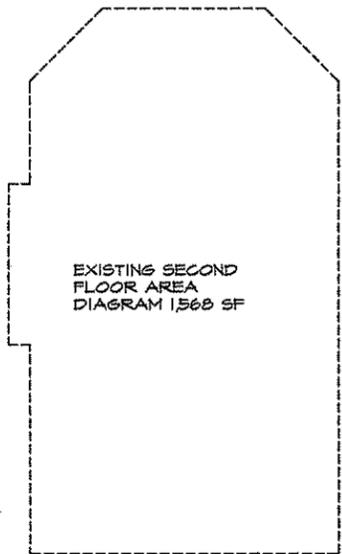
A	22'-10" x 7'-0" = 164.74 SF
B	2'-0" x 24'-0" = 61.67 SF
C	10'-8" x 24'-0" = 197.67 SF
D	14'-4" x 4'-0" = 54.20 SF
E	21'-10" x 21'-4" = 485.70 SF
F	4'-0" x 4'-0" = 16.00 SF
G	6'-0" x 6'-0" = 36.00 SF
H	2'-0" x 2'-0" = 4.00 SF
I	54'-4" x 17'-4" = 562.26 SF
J	7'-1" x 11'-4" = 40.37 SF
K	21'-6" x 10'-4" = 249.84 SF
L	2' x 12'-0" = 24.00 SF
M	6'-4" x 6' = 40.50 SF
N	10'-7" x 2'-4" = 44.60 SF
O	18'-4" x 5'-4" = 105.18 SF
P	6'-2" x 10'-4" = 64.74 SF
Q	2'-0" x 5'-0" = 9.74 SF
TOTAL BUILDING AREA = 3,255.14 SF	

NEW DECK AREA CALCULATION (IMPERVIOUS)

A	5'-0" x 5'-0" = 6.75 SF
B	2' x 5'-0" = 7.50 SF
C	5'-0" x 5'-0" = 26.64 SF
D	5'-0" x 5'-0" = 17.00 SF
E	6'-4" x 6'-4" = 22.70 SF
F	4'-6" x 6'-4" = 50.4 SF
G	4'-0" x 4'-0" = 12 SF
H	4'-0" x 6'-4" = 33.18 SF
I	10'-6" x 11'-0" = 215.00 SF
J	21'-4" x 10'-0" = 242.04 SF
K	17'-0" x 17'-2" = 248 SF
L	4'-5" x 11'-4" = 12.56 SF
M	1'-4" x 1'-4" = 0.84 SF
N	4'-0" x 4'-4" = 11.20 SF
O	4'-0" x 4'-4" = 11.20 SF
P	7'-4" x 7'-4" = 26.64 SF
Q	TOTAL = 1,222.50 SF
R	7'-4" x 4'-4" = 51.70 SF
S	5'-0" x 4'-4" = 19.17 SF
T	2'-0" x 2'-0" = 9.00 SF
U	7'-4" x 7'-4" = 26.64 SF
V	5'-7" x 2'-0" = 6.42 SF
W	1'-7" x 1'-7" = 1.25 SF
X	2'-0" x 5'-0" = 10.70 SF
Y	0'-11" x 0'-11" = 0.42 SF
Z	12'-2" x 5'-0" = 41.50 SF
AA	0'-11" x 7'-1" = 6.44 SF
BB	10'-0" x 10'-0" = 54.20 SF
CC	7'-1" x 2'-1" = 14.76 SF
DD	2'-1" x 2'-1" = 2.17 SF
EE	5'-0" x 0'-11" = 4.50 SF
FF	5'-4" x 5'-4" = 5.56 SF
GG	TOTAL = 273.05 SF
TOTAL NEW DECK AREA = 1,549.11 SF	

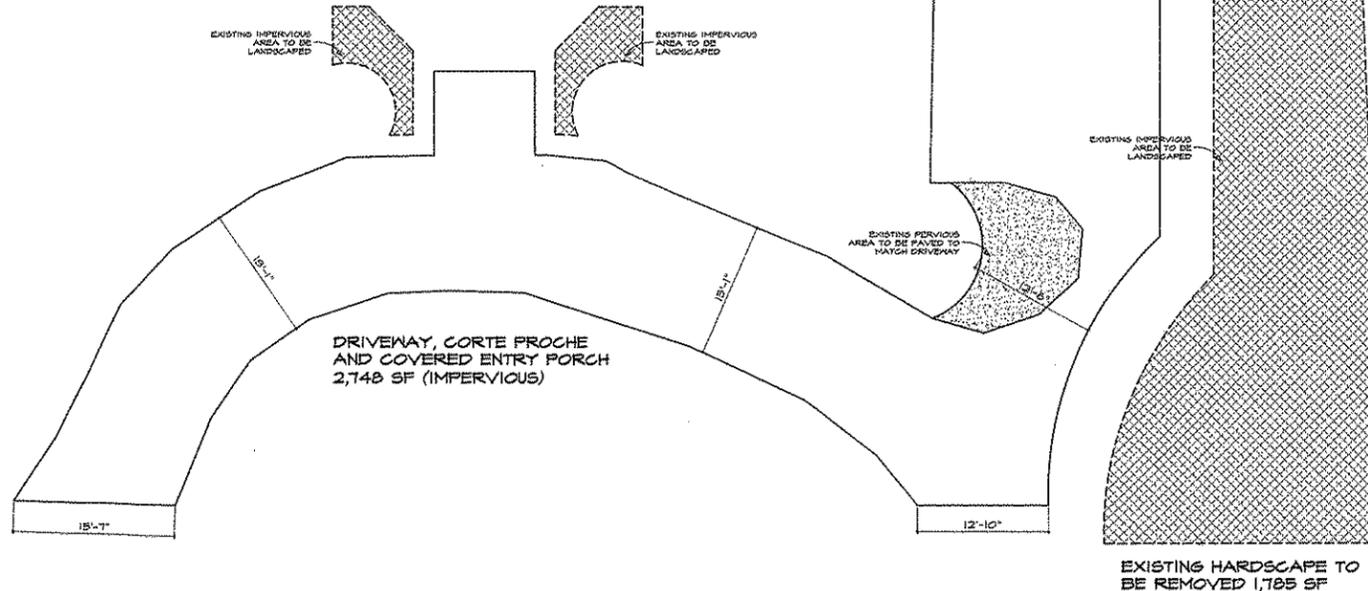
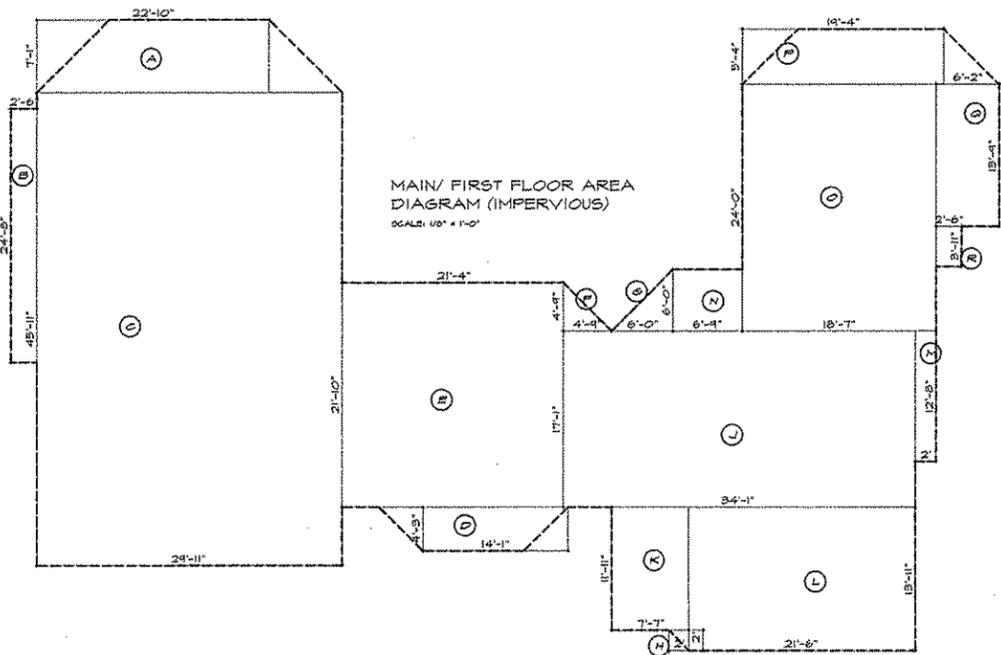
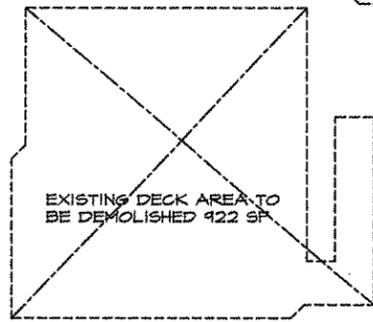
IMPERVIOUS AREA CALCULATION: (SCALE: 1/8" = 1'-0")

NEW DECK FLOOR DIAGRAM:	1,395.11 SF
MAIN FLOOR/ FIRST FLOOR DIAGRAM:	3,835 SF
DRIVEWAY, CORTE PORCHE AND COVERED ENTRY PORCH:	4,517 SF
LESS AREA TO BE LANDSCAPED AT EXISTING DRIVEWAY, CORTE PORCHE AND COVERED ENTRY PORCH:	-1,785 SF
TOTAL NEW IMPERVIOUS AREA:	7,962.11 SF



BUILDING AREA CALCULATION: (SCALE: 1/8" = 1'-0")

EXISTING SECOND FLOOR AREA DIAGRAM:	1,568 SF
MAIN FLOOR/ FIRST FLOOR DIAGRAM (IMPERVIOUS):	3,835 SF
EXISTING GUEST SUITE FLOOR DIAGRAM:	529 SF
TOTAL NEW LIVING AREA:	5,932 SF
EXISTING 4-CAR GARAGE FLOOR DIAGRAM:	943 SF
TOTAL NEW BUILDING AREA:	6,875 SF



EXISTING HARDSCAPE TO BE REMOVED 1,785 SF

RESIDENTIAL ADDITION AND REMODEL FOR:
MR. and MRS. TOMMY and WINGY HUI
1628 PEBBLE BEACH COURT
MILPITAS, CA 95035

ATELIER DESIGNS
Drafting and Design Service Firm
482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
Phone nos. (408) 266-8382 (408) 806-8188

RESIDENTIAL ADDITION AND REMODEL FOR:
MR. and MRS. TOMMY and WINGY HUI
1628 PEBBLE BEACH COURT
MILPITAS, CA 95035

JOB NO: TH HUI
DATE: 08.15.2007
DRAWN BY: FTY KUN
SCALE: AS NOTED

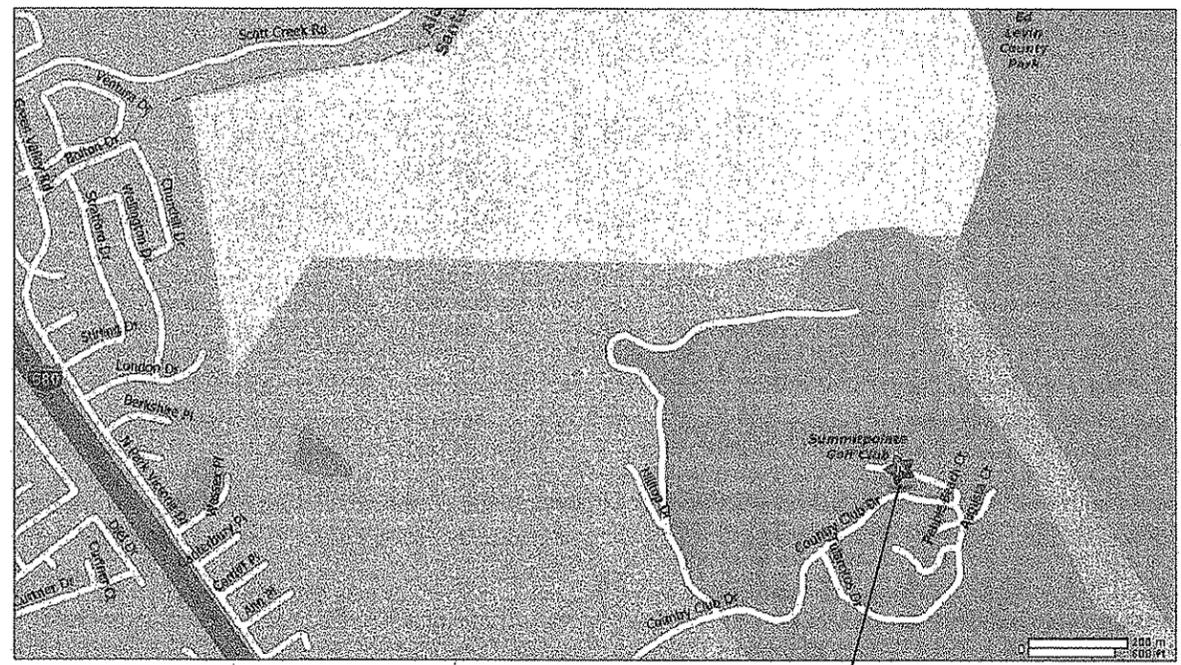
A-10

ABBREVIATIONS			
DESCRIPTION	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE (CLASS AS NOTED)	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	MCN	MONUMENT
BC	BACK OF CURB	(H)	ORIGINAL GROUND
BFL	BACK FLOW WATER PREVENTOR VALVE	PB	PULL BOX
BOW	BOTTOM OF WALL	PGV	PG&E VAULT
BW	BACK OF WALK	R.P.L.	PROPERTY LINE
C&G	CURB AND GUTTER	PP	POWER POLE
CF	GARAGE FINISH FLOOR (BACK)	PPP	PLASTIC PERFORATED PIPE
C.L.	CENTERLINE	PSE	PUBLIC SERVICE EASEMENT
CLSW	CENTERLINE SWALE	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	R/W	RIGHT OF WAY
CP	CONTROL POINT	RCP	REINFORCED CONCRETE PIPE
DRWY	DRIVEWAY	SD	STORM DRAIN
DI	DROP INLET	SDMH	STORM DRAIN MANHOLE
DIL	DETAIL	STD	STANDARD
ELCT	ELECTRIC	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT ELEVATION	SSMH	SANITARY SEWER MANHOLE
EUC	EUCALYPTUS TREE	SW	SIDEWALK
(E).EX	EXISTING	TC	TOP OF CURB
FF	FINISH FLOOR	TF	TOP OF FOUNDATION
FG	FINISH GRADE	TOS	TOP OF SLAB
FH	FIRE HYDRANT	TOW	TOP OF WALL
FL	FLOWLINE	TP	TOP OF PAVEMENT
FNC	FENCE	(TYP)	TYPICAL
FOC	FACE OF CURB	USS	UNDERGROUND-SANITARY SEWER
GB	GRADE BREAK	UE	UTILITY EASEMENT
GFF	GARAGE FINISH FLOOR (FRONT)	UT	UNDERGROUND TELEPHONE
GUY	GUY WIRE	UW	UNDERGROUND WATER
HP	HIGH POINT	VCP	VITRIFIED CLAY PIPE
IP	IRON PIPE	WL	WHITE LINE STRIPE
INV	INVERT	WLK	WALKWAY
JP	JOINT POLE	WMJ	WATER METER
JB	JUNCTION BOX (UTILITY)	WV	WATER VALVE

GRADING AND DRAINAGE PLANS

SINGLE FAMILY HOUSE ADDITION AND REMODELING

1628 PEBBLE BEACH CT., MILPITAS, CA 95035



LOCATION MAP
N.T.S.

PROJECT SITE

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
-F-	-F-	FILL AREA LIMIT
-C-	-C-	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUB	SUB	SUBDRAIN PIPE (PERFORATED)
OH e.T.V	OH e.T.V	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
○	●	SANITARY SEWER MANHOLE
⊙	⊙	STORM DRAIN MANHOLE
⊛	⊛	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
X	X	6' WOODEN FENCE
102.23	102.23	SPOT ELEVATION
○	○	TREE PROTECTION FENCE
○	○	5' TALL CHAIN LINK
→	→	SWALE
→	→	DIRECTION OF FLOW IN PIPE
■	■	AREA DRAIN/ INLET
→	→	OVERLAND RELEASE PATH
~	~	GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
~	~	1% MIN. FROM PROPERTY LINE TO SWALE
○	○	(E) TREE TO BE REMOVE
↓	↓	DOWN-SPOUT
○	○	POP-UP EMITTER

GENERAL PROJECT NOTES

- The Civil Engineer, SMP ENGINEERS, assumes no responsibility beyond the adequacy of their design contained herein.
- Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall apply continuously and not limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance on work of this project, except for liability arising from the sole negligence of the owner or the engineer.
- In the case of conflicts, the requirements of the earthwork specifications prepared for this project by the Soil Engineer shall govern over the requirements of this plan and these notes.
- A reasonable effort has been made to locate and delineate all known underground utilities. The contractor is cautioned that only excavation will reveal the types, extent, sizes, and depth of such underground utilities. SMP ENGINEERS can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities as shown on the plans is approximate only and the contractor shall contact the respective utility companies to obtain information regarding exact depth of burial and horizontal location of utility lines prior to performing grading or underground construction. The contractor shall make the necessary probes to identify areas of possible conflict with proposed construction. The contractor shall contact Underground Service Alert USA, at (800) 227-2600 at least 48 hours before any excavation work.
- All work for storm and sanitary installations shall begin at the downstream connection point. This will allow for any necessary adjustments to be made prior to the installation of the entire line. If the contractor fails to begin at the downstream connection point and work upstream, he shall proceed at his own risk and be responsible for any adjustments necessary.
- All distances and pipe lengths are horizontal and pipe lengths are measured from center line of structure to center line of structure unless otherwise noted on plans.
- Approval of these plans by SMP ENGINEERS is for grading and drainage design only and in no way implies approval of the structural design of the building, foundation, soil compaction, soils stability or other components.
- Refer to Architectural Plans for building details.
- The Contractor shall comply with the City's best management practices for construction, including the action items noted in the Santa Clara Valley Nine Point Source Pollution Control program document entitled "Blue Print for a Clean Bay".

SITE CONSTRUCTION MANAGEMENT NOTES:

- Construction site shall be enclosed by 6' opaque fence at all times during construction.
- No construction material, equipment, portable toilets, trash containers, or debris shall be placed in the public right-of-way.
- A trash container shall be maintained on site at all times and debris on site which could otherwise blow away, shall be regularly collected and placed in container.
- All construction debris (wood scraps and other debris, which cannot blow away) shall be piled within the property lines of the project in a neat and safe manner.
- The project shall have a signage viewable from the public street that indicates the hours of construction as: Mon-Fri from 7:30 am to 6 PM, Saturdays from 9am to 5pm.

WORK IN PUBLIC RIGHT-OF-WAY:

- Obtain an encroachment permit from Public Works prior to the start of any driveway approach demolition or construction of the street. Contact Public Works Engineer for information regarding obtaining an encroachment permit.

UNDERGROUND UTILITIES:

- All electric lines, communication lines and appurtenances, including all public utility, CATV and telegraph systems, shall be located and installed underground.

SOILS ENGINEER NOTES:

- Prior to requesting a foundation inspection by the City, the Geotechnical Engineer or Civil Engineer who prepared the soil investigation shall provide a field report (in writing) which shall state the following:
 - The building pad was prepared and compacted in accordance with the soil report and specifications.
 - The foundation and/or pier excavation, depth and backfill materials, and drainage (if applicable) substantially conform to the soil report and approved plans.
- Prior to final inspection for any building or structure, the Geotechnical Engineer or Civil Engineer who prepared the soil investigation shall issue a final report stating the completed pad, foundation, finish grading, and associated site work substantially conform to the approved plans, specifications, and investigation.

SHEET INDEX:

- C-1 COVER SHEET/ NOTES/ DETAILS
- C-2 GRADING AND DRAINAGE PLAN
- C-3 CROSS SECTIONS, DETAILS

DRAINAGE NOTES

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets, and drainage systems.
- Connect roof down spouts to 4" solid pvc @ minimum 1% slope and 6" ground cover. Connect pipe to pop-up emitters per detail. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

SURVEYOR NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
- THE SURVEY WAS BASED ON A GRANT DEED BY COMMONWEALTH LAND TITLE COMPANY OR No: 41116293-283-SSK, DATED JANUARY 5, 2004.
- THE GROSS AREA OF LAND OF RECORD IS 19,996 SQ. FT. ±
- ALL EXISTING BUILDINGS ARE WOOD.
- THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.

DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
THE BEARING BETWEEN MONUMENTS ON PEBBLE BEACH COURT WAS TAKEN AS N 80°51'37" E, TRACT MAP No. 6492, FILED ON JULY 28, 1981, IN BOOK 488 AT PAGE 10, SANTA CLARA COUNTY RECORDS.

BENCHMARK:
FOUND CITY MONUMENT IN PEBBLE BEACH CT. WITH ASSUMED ELEVATION 700.00



NOTICE TO CONTRACTORS
CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



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OWNER:

MR. and MRS. TOMMY and WINCY HUI

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CIVIL ENGINEERS

COVER SHEET
RESIDENTIAL ADDITION and REMODEL for:
1628 PEBBLE BEACH CT.
MILPITAS, CA 95035
GRADING AND DRAINAGE PLANS

Revisions:

Date: JUNE 3, 2008
Scale: NTS
Prepared by: V.G.
Checked by: S.R.
Job #: 28039
Sheet: 1 OF 3
C-1



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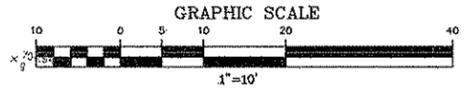
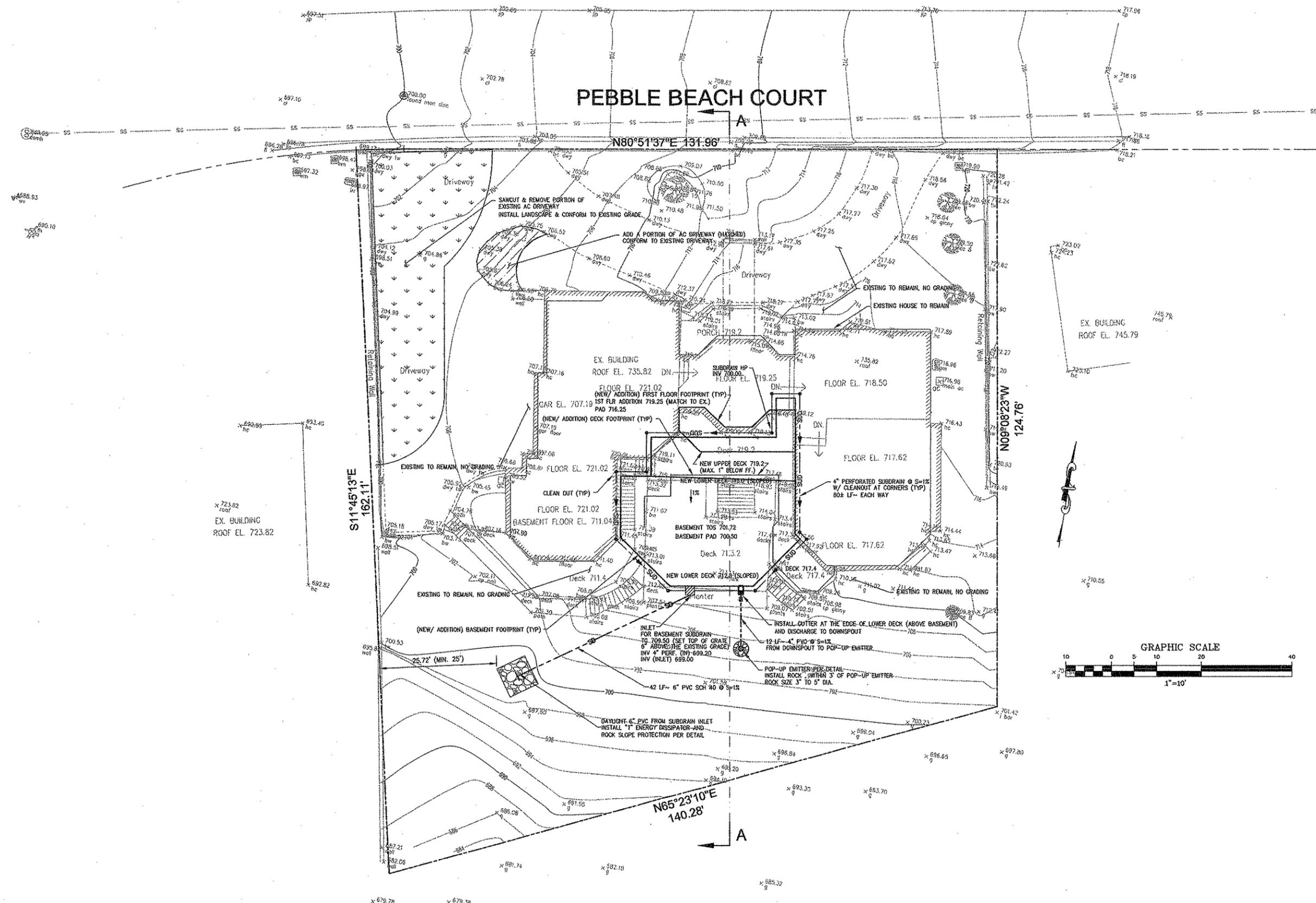
GRADING AND DRAINAGE PLAN
RESIDENTIAL ADDITION and REMODEL for:
1628 PEBBLE BEACH CT.
MILPITAS, CA 95035
GRADING AND DRAINAGE PLANS

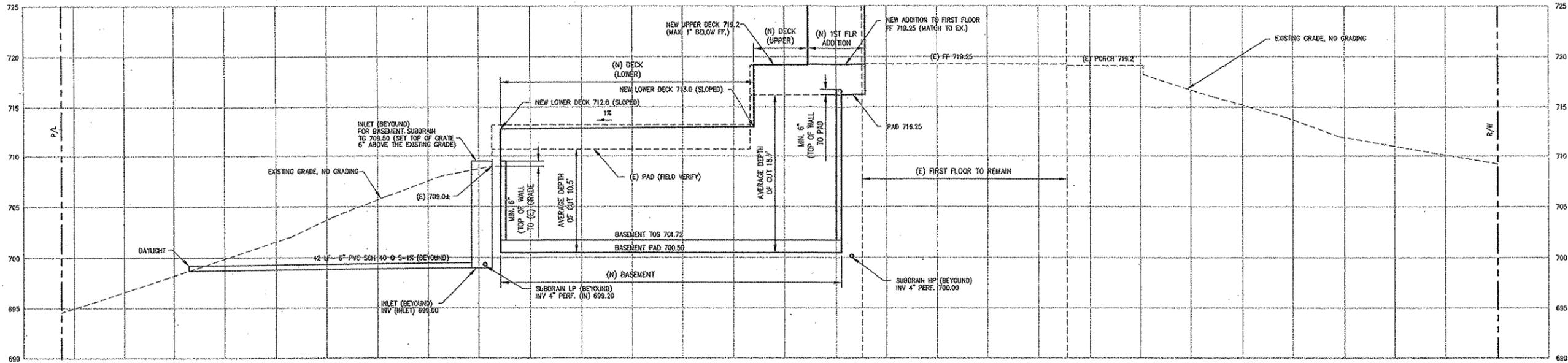
Revisions:



Date: JUNE 3, 2008
Scale: 1"=10'
Prepared by: V.G.
Checked by: S.R.
Job #: 28039

Sheet: 2 OF 3
C-2





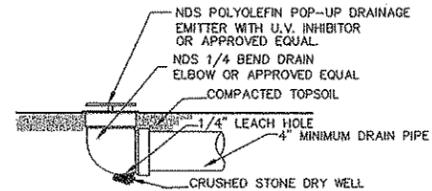
SECTION A-A
SCALE H/A: 1"=5'

EARTHWORK TABLE

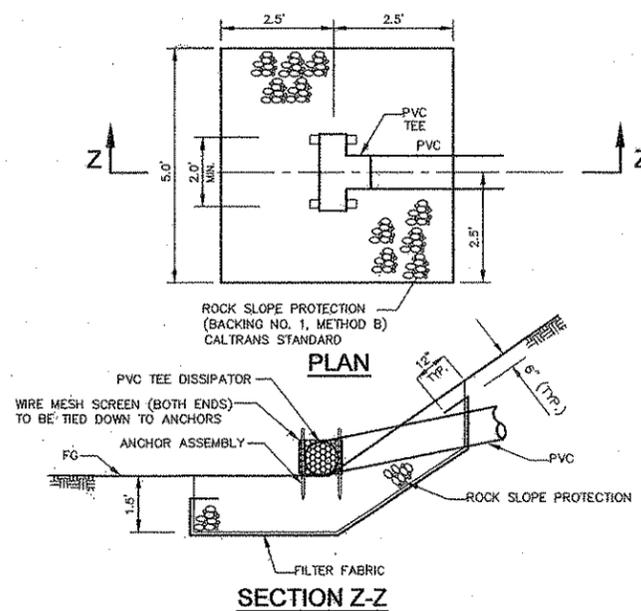
LOCATION	AREA OF GRADING	AVERAGE FINISH GRADE	AVERAGE (E) GRADE	AVERAGE FILL DEPTH (FT.)	FILL QUANTITY (CY) (" FOR CUT)	FILL CUT (CY) (CY)
BASEMENT PAD, BELOW EXISTING LOWER DECK	835	700.50	711.00	-10.50	-325	0 325
BASEMENT PAD, BELOW EXISTING UPPER DECK	337	700.50	716.20	-15.70	-198	0 198
TOTAL BASEMENT						0 521

NOTE:

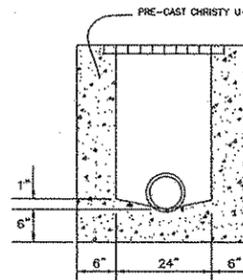
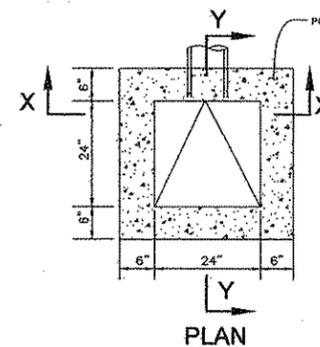
1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.



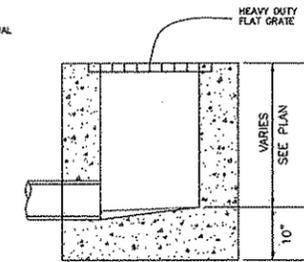
POP-UP DRAINAGE EMITTER
ELEVATION VIEW- NTS



ROCK SLOPE PROTECTION W/ TEE ENERGY DISSIPATOR
NTS



STORM DRAIN INLET
NTS



SECTION Y-Y



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CROSS SECTIONS, DETAILS
RESIDENTIAL ADDITION and REMODEL for:
1628 PEBBLE BEACH CT.
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GRADING AND DRAINAGE PLANS

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Sheet:

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C-3