



# MILPITAS PLANNING COMMISSION AGENDA REPORT

NEW BUSINESS

Meeting Date: November 12, 2008

**APPLICATION:** **TIME EXTENSION NO. TE08-0003, PANCHAL RESIDENCE**

APPLICATION  
SUMMARY:

A request for a one time 18-month time extension for a previously approved 5,706 square foot hillside residence and related site improvements.

LOCATION:

898 Calaveras Ridge Drive (APN 29-06-038)

APPLICANT/OWNER:

Haresh Panchal, 134 Sweetberry Court, San Jose, CA 95136

**RECOMMENDATION:**

**Staff recommends that the Planning Commission:**

- 1. Adopt Resolution No. 08-060 approving the 18-month time extension subject to the previously approved conditions of approval.**

PROJECT DATA:

General Plan/

Zoning Designation:

Hillside Medium Density (HMD)/Single Family Residential with Hillside Combining District (R1-H)

Overlay District:

Site and Architectural Overlay (-S)

Specific Plan:

N/A

Site Area:

1.26 acres

CEQA Determination:

Categorically exempt pursuant to Section 15303 (Class 3 Section (a)) of the California Environmental Quality Act (CEQA).

PLANNER:

Cindy Hom, Assistant Planner

ATTACHMENTS:

- A Resolution No. 08-060
- B. Planning Commission Staff Report dated April 25, 2007
- C. Planning Commission Meeting Minutes
- D. Project Plans

# LOCATION MAP



No scale

**BACKGROUND**

On April 25, 2007, the Planning Commission approved a new 5,706 square hillside residence on an undeveloped lot within the Calaveras Country Estates Planned Unit Development (PUD 23.5). The approval granted construction of a one-story single-family residence with a 1,502 square foot basement, an attached 780 square foot 3-car garage, and various site improvements including grading of approximately 2,393 cubic yards and installation of an in-ground spa, retaining walls, wrought iron fencing, and landscaping. The 2007 Planning Commission staff report and meeting minutes are included as an attachment for further background information on the project.

On October 20, 2008, Haresh Panchal submitted an application for an eighteen-month time extension pursuant to Milpitas Municipal Code (MMC) XI-10-64.06 of the Zoning Ordinance. According to the applicant, the process to bid contractors and prepare the construction drawings took longer than anticipated. The applicant has been out of the country for several months, which also impacted project scheduling.

The applicant is also considering site modifications as result of contractor bids and plan check comments. Staff is working with the applicant on an application for a Site Development Permit amendment that will be brought forward to the Planning Commission at a later date.

**PROJECT DESCRIPTION**

The project proposal is a time extension request for a previously approved hillside home that entails a one-story, 5,706 square foot residence with an attached 3-car garage and various site improvements. The project site is located on a 1.26-acre parcel that is located within the Calaveras Ridge Planned Unit Development. The project site is zoned Single Family Residential with the Hillside Combining District (R1-H) and is surrounded by hillside homes to the south, undeveloped lots to the west and north, and an open space easement to the east. The site is currently undeveloped and has an average slope of 15%. The project site is also located within the Alquist Priolo Study Zone. A vicinity map of the subject site location is included on the previous page.

**PROJECT CONFORMANCE**

The project conformance and detailed analysis of the previously approved project is provided in the April 25, 2007 Planning Commission staff report. No changes by the applicant are requested with this application. Staff proposes no new conditions of approval with this request.

**CONCLUSION**

With the approval of the time extension, it will allow the applicant an additional eighteen months to obtain building permits to enable construction of the project. It will also allow the applicant to work on an amendment application to be submitted to the city regarding desired changes to the project.

**RECOMMENDATION**

**STAFF RECOMMENDS THAT** the Planning Commission adopt Resolution No. 08-060 approving Time Extension No. TE08-0003, providing an eighteen-month time extension of Site Development Permit No. SZ2005-2 subject to the previously approved special conditions.

*Attachments:*

A Resolution No. 8-060

- B. Planning Commission Staff Report dated April 25, 2007
- C. Planning Commission Meeting Minutes
- D. Project Plans

**RESOLUTION NO. 08-060**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING TIME EXTENSION NO. TE08-0003, PANCHAL RESIDENCE, TO ALLOW A ONE-TIME EIGHTEEN MONTH TIME EXTENSION FOR A PREVIOUSLY APPROVED HILLSIDE HOME AND RELATED SITE IMPROVEMENTS LOCATED AT 898 CALAVERAS RIDGE DRIVE.**

**WHEREAS**, on October 20, 2008 an application was submitted by Haresh Panchal, 134 Sweetberry Court, San Jose, CA 95136, to request for an eighteen month time extension of a Site Development Permit approval (SZ2005-2) that allowed for the construction of a 5,706 square foot home, grading of approximately 2,393 cubic yards of soil, and installation of various site improvement. The property is located at 898 Calaveras Ridge Drive (APN 29-06-038) that is zoned Single Family Residential Zoning District with the Hillside Combining District (R1-H); and

**WHEREAS**, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and that the Planning Commission determined this project is categorically exempt pursuant to Section 15303 (Class 3 Section (a)) of the California Environmental Quality Act (CEQA). The project entails granting of a time extension for a previously approved single-family residence; and

**WHEREAS**, on April 25, 2007, the Planning Commission held a duly noticed public hearing and considered evidence presented by City staff, the applicant, and other interested parties and approved Site Development Permit No. SZ2005-2; and

**WHEREAS**, on November 12, 2008, the Planning Commission considered evidence presented by City staff.

**NOW THEREFORE**, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

**Section 1:** The recitals set forth above are true and correct and incorporated herein by reference.

**Section 2:** The project as previously approved is consistent with General Plan in that it provides a variety of housing types and contributes to the regional housing goals.

**Section 3:** The project conforms to the Zoning Ordinance in terms of land use and hillside development standards.

**Section 4:** The site layout, design of the proposed building, and landscaping would be compatible and aesthetically harmonious with adjacent and surrounding development.

**Section 5:** The project also conforms to the PUD development standards in terms of setbacks, height, and garage size.

**Section 6:** The project is Categorical Exempt from the requirements of the California Environmental Quality Act (CEQA) in that it meets the standards for new construction and



## EXHIBIT 1

**CONDITIONS OF APPROVAL  
TIME EXTENSION NO. TE08-0003**

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on November 12, 2008, in accordance with these Conditions of Approval.  
  
Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance.
2. Time Extension No. TE08-0003 shall become null and void if the project is not commenced within 18 months from the date of approval. Pursuant to Section 64.04-2 of the Zoning Ordinance of the City of Milpitas, since the project requires the issuance of a building permit, the project shall not be deemed to have commenced until the date of the building permit is issued and a foundation is completed.
3. Any addition to the residence shall comply with the findings and the recommendations of the Fault Investigation Report dated February 3, 2006.
4. The applicant shall comply with the findings and recommendations prepared Fault Investigation for Proposed Residential Development, John Coyle and Associates, February 3, 2006. To ensure compliance, the applicant shall submit a letter from a licensed geotechnical engineer certifying that all the recommendations have been incorporated into the submitted building and that a detailed site-specific soil investigation be performed to address the seismic slope stability issues as well as provide a recommendation for foundation design and other geotechnically related parameters prior to issuance of any building or grading permits. (P)
5. Prior to grading permit issuance, the applicant shall provide to City staff a biologic site assessment by a Biologist or Ecologist to determine the presence of burrowing owls on site. If the biologic assessment determines burrowing owls exist on-site, the site assessment recommendations shall be adhered to prior to onset of any grading activities. (P)
6. A letter by the Homeowner's Association approving the proposed wrought iron fence and gate along the front property line shall be included as part of the building permit submittal for the fence. (P)

7. The proposed project shall be conducted in compliance with all applicable federal, state, and local regulations. (P)
8. If, at the time of submittal for any building permits, there is a project job account balance due to the City for recovery of review fees, review of permits will not be initiated until the balance is paid in full. (P)
9. Prior to issuance of the grading permit, the applicant shall submit an erosion control plan to the approval of the Planning Division. Erosion control measures shall be in place prior to the start of any work and maintained until the completion of construction. (P)
10. During all construction activities on-site, the project applicant/developer shall adhere to the following Best Management Practices as suggested by BAAQMD: (P)
  - Watering all active construction areas twice daily and more often during windy periods. Active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
  - Cover all trucks hauling soil, sand, and other loose material or require all truck to maintain at least 2 feet freeboard level within their truck beds.
  - Pave, apply water three times daily or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction site.
  - Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
  - Sweep streets daily with water sweeper if visible soil material is carried onto adjacent public streets.
  - Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - Suspend excavation and grading (all earthmoving or other dust-producing activities during periods of high winds when watering cannot eliminate visible dust plumes or when winds exceed 25 mph (instantaneous gusts).
11. Prior to certificate of occupancy all landscaping shall be installed. (P)
12. Prior to grading permit, the applicant shall record with the Santa Clara County Recorders office a hold harmless agreement with the deed for the property disclosing that the site is located within a landslide area, which may have higher than normal potential landslides. This agreement would hold harmless the City from future landslides resulting from development of a site within a landslide area. The City Attorney shall draft said agreement. (P)
13. The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land

- development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)
14. At the time of building permit plan check submittal the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall analyze the existing and ultimate conditions and facilities. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to building permit issuance. (E)
  15. Prior to building permit issuance developer shall satisfy the conclusions and recommendations of the *Soils Engineering and Geologic and Seismic Hazards Evaluation Reports* by Earth Systems Consultants dated 1981-1982, *Preliminary Geologic Assessment* by Terrasearch dated 6/8/2005, and *Fault Investigation* by John Coyle & Associates dated 2/3/2006. (E)
  16. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to, connection fees (water, sewer and storm), treatment plant fee, plan check and inspection deposit, and 2.5% building permit automation fee. (E)
  17. All existing on-site public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrub are permitted within City utility easements, where the easement is located within landscape areas. (E)
  18. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing #405. Overall cumulative height of the grading, landscaping & signs as determined by sight distance shall not exceed 2 feet when measured from street elevation. (E)
  19. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers to eliminate as much as possible pollutants entering our receiving waters. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)
  20. The design of this project shall include adequate Best Management Practices (BMPs) to eliminate pollutant from entering the offsite drainage systems. (E)
  21. The developer shall submit the following items with the building permit application and pay the related fees prior to building permit issuance:
    - a. Storm water connection fee of **\$3594**, water connection fee of **\$1910**, sewer connection fee of **\$1908** and wastewater treatment plant fee of **\$880**.

- b. Water Service Agreement(s) for water meter(s) and detector check(s).
  - c. Sewer Needs Questionnaire and/or Industrial Waste Questionnaire.
22. Contact the Land Development Section of the Engineering Division at (408) 586-3329 to obtain the form(s). (E)
  23. If the existing services (water, sewer and storm) are not adequately sized to serve this development, plans showing new services must be submitted and approved prior to building permit issuance. (E)
  24. Prior to any work within public right of way or City easement, the developer shall obtain an encroachment permit from City of Milpitas Engineering Division. (E)
  25. Apply applicable Guidelines for New Developments and Hillside Landscaping Water Conservation Policy (Resolution # 6066). (E)
  26. Per Milpitas Municipal Code Chapter 2, Title X (Ord. No. 201), developer may be required to obtain a permit for removal of any existing tree(s). Contact the Street Landscaping Section at (408) 586-2601 to obtain the requirements and forms. (E)
  27. The developer shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hrs prior to construction for location of utilities. (E)
  28. At the time of building plan check submittal, the developer shall incorporate the changes shown on Engineering Services Exhibit "S"(dated 2/5/2007) in the design plans. (E)
  29. It is the responsibility of the developer to obtain any necessary encroachment permits or approvals from affected agencies and private parties. Copies of these approvals or permits must be submitted to the City of Milpitas Engineering Division. (E)
  30. The Flood Insurance Rate Map (FIRM) issued by the Federal Emergency Management Agency (FEMA) under the National Flood Insurance Program shows this site to be in Flood Zone "D". (E)

Planning = (P)

Engineering = (E)

Date: April 25, 2007

Item No.

## MILPITAS PLANNING COMMISSION AGENDA REPORT

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Category: Public Hearing

Report Prepared by: Kristine Lowe

Public Hearing: Yes  No:

Notices Mailed On: 4/13/07

Published On: 4/12/07

Posted On: 4/13/07

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**TITLE: "S" ZONE APPROVAL NO. SZ 2005-2**

Proposal: A request to construct a 5,706 (approximate) square foot, single-family Hillside residence with grading and landscaping.

Location: 898 Calaveras Ridge Drive-Lot 4

APN: 029-06-038

**RECOMMENDATION: Approve with conditions to City Council**

Owner/Applicant: Haresh Panchal, 134 Sweetberry Court, San Jose, CA 95136.

Previous Action(s): Tentative Map, Planned Unit Development (PUD 23.5), EIA 239.

Environmental Info: The proposed is Categorically exempt pursuant to Section 15303 (Class 3 Section (a)) of the California Environmental Quality Act (CEQA).

General Plan Designation: Hillside – Very Low Density

Present Zoning: Single Family Residential-Hillside (R1-H)

Existing Land Use: Vacant

Agenda Sent To: Applicant/property owner as noted above

Alex Lesetar, 441 N. Central Avenue, Campbell, CA 95008

Attachments: Attachment A - Project Plans, Elevations, Landscaping  
Attachment B – Excerpts from Soil Engineering and Geologic and Seismic Hazards Evaluation Reports for Calaveras Ridge Estates dated 1981-1982  
Attachment C – Preliminary Geologic Assessment dated June 8, 2005  
Attachment D – Fault Investigation for Proposed Residential Development at 898 Calaveras Ridge Drive dated February 3, 2006  
Attachment E - Geotechnical Peer Review from Geotechnical Engineering Reporting dated March 24, 2006

PJ #: 3187

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## BACKGROUND

On August 21, 1979, the City Council approved an Environmental Impact Assessment (No. 239) for a hillside subdivision, located on 35 acres east of Evans Road and south of Country Club Drive (Tract 7328). On September 1, 1981, the City Council approved a Tentative Map and Planned Unit Development (No. 23.5) for the 17-lot Calaveras Ridge Estates subdivision. Subsequently, on January 5, 1988, the City Council approved an amended Tentative Map for the removal of the previously approved building footprints.

### Site Description

The project site is a 55,322 square foot vacant parcel (Lot 4) located at the northernmost portion of the Calaveras Country Estates subdivision (PUD 23.5) within the Single-Family Hillside zoning district (R1-H). The rectangular shaped lot is located on the north side of Calaveras Ridge Drive, and is bounded by a one-story, single-family hillside residence to the south, undeveloped lots to the north and west of the project site, and common open space to the east. The site falls within the Alquist-Priolo Special Study Zone for seismic hazards.



*Aerial View of 898 Calaveras Ridge Drive*

## THE APPLICATION

The application is submitted pursuant to Title XI, Section 45 (Hillside Combining District) of the Milpitas Zoning Ordinance, in that the applicant is requesting approval to construct a new single-family residence with an attached garage, landscaping and grading in quantities greater than 1,500 cubic yards, located in the Hillside zoning district.

### Project Description

The applicant is requesting approval to construct a new 5,706 square foot, single-family residence on an undeveloped lot within the Calaveras Country Estates Planned Unit Development (PUD 23.5). The new single-family residence is proposed to be 17-feet in height and consist of a 3,424 square foot ground floor area with a 1,502 square foot basement, an attached 780 square foot 3-car garage. The proposed floor plan includes five (5) bedrooms, six (6) bathrooms, living areas, library, 3-car garage and rear outdoor courtyard. Exterior lighting includes the use of building-mounted low-glare lighting fixtures.

Primary vehicular access to the site would be provided by a circular shaped driveway located at the front of the residence that branches out toward the south side of the lot to the garage. Proposed driveway materials consist of turf block located on the upper circular portion of the driveway (adjacent to the front entrance of the residence) and Eco-stone, which is a pervious surface material. Site improvements include landscaping and grading in excess of 1,500 cubic yards.

An 8' wrought iron fence and 9' high wrought iron gate fencing along the front property line is proposed. No accessory structures/buildings are proposed with this application.

### **Site Layout & Building Architecture**

#### *Site Layout*

The new single-family residence footprint is rectangular in shape and located on the western portion of the parcel, approximately 590 feet away from the perceived Crestline. The building footprint will be set back 40' from the side property lines and 138' from the rear property line. Because the street bulbs out along a 70-foot portion of the front property line, the building footprint is set back between 86' (on the bulb) to 117'.

#### *Architecture*

The proposed single-family residence architecture is characterized as Mediterranean Contemporary style and is compatible with the surrounding residential architectural styles. Building elements consists of stucco exterior with masonry veneers, recessed windows, a rounded window for the library located at the rear of the residence, and an elevated entry foyer. The exterior finish schedule consists of an earth tone color palate, including light tan (Light Spice) for the stucco exterior, a darker tan color for the trim and forest green decorative tiles along the front elevation. The proposed structure maintains a low roof pitch consisting of a terra cotta (Villa Casa Grande) color concrete tile roof.

### **Landscaping**

According to the Landscape Plan, the applicant is proposing ground covers (including Lily-of-the-Nile, Rosemary, Aaron's Beard), shrubs (including Rosemary, Japanese Boxwood, Heavenly Bamboo), vines (Blood Red Trumpet Vine) and trees (including Valley Oak, California Buckeye, Crape Myrtle) for landscaping of the project site. Staff reviewed all the proposed plantings and determined the plants are in conformance with the Hillside Landscaping Policy (Resolution 6066). The intent of the Hillside Ordinance, in regards to landscaping, is that coverage be selected and designed to be compatible with surrounding natural vegetation. The proposed plant species were selected from Resolution 6066 to minimize the amount of water required for maintenance and the use of species identified as compatible with natural vegetation found on the project site. Therefore, the proposed landscaping will be compatible with natural vegetation found on the project site. No trees exist on the project site.

*Fencing*

The application includes an 8’ wrought iron fence and a 9’ high wrought iron gate along the front property line. Fencing requires approval from the Planning Commission pursuant to the Hillside Fencing Requirements (Section 54.11) if the height exceeds fifty-four (54) inches. No side or rear perimeter fencing is proposed at this time. Because the project site is part of the Calaveras Ridge Homeowners Association, **staff recommends** a condition that a letter by the Homeowner’s Association approving the proposed fence shall be included as part of the building permit submittal for the fence. (*Special Condition 5*)

**Grading**

According to the plans, approximately 2,393 cubic yards are proposed to be cut but will be used in landscaping or export. Whenever there is grading in excess of 1,500 cubic yards, the Planning Commission must review the proposed Grading Plan and recommend approval or denial to the City Council pursuant to the Hillside Grading Requirements (Section 45.18). The purpose and intent of this requirement is to regulate the alteration of land in hill areas to substantially maintain essential natural characteristics, such as land form, vegetation, and scenic qualities. As shown on Table 1 below, the proposed project conforms with the Hillside Grading Requirements.

**Table 1: Grading Design Standards and Compliance**

| <b>Grading Requirement</b>  | <b>Proposed</b>  | <b>Complies ?</b> |
|---|--|-------------------|
| Stepped building foundations are required to minimize grading on building pads.   | Building foundation is stepped to minimize grading.  | Yes               |
| Landscape compatibility with natural vegetation.                                  | Proposed landscaping is in compliance with Resolution 6066-Hillside Landscaping Water Conservation Policy. | Yes               |
| Cut-fill slopes in concert with existing natural contours and scale.              | Cut-fill slopes aligned with natural contours.   | Yes               |
| Grading of any areas of a site with natural slope greater than 40% is prohibited. | Overall parcel slope: 15.5%.   | Yes               |

**Impervious Coverage**

According to the Hillside Ordinance (Section 45.17-3), the maximum impervious surface coverage allowed on parcels less than 3 acres is 10% of the of the total lot area or 8,000 square feet, whichever is greater. As shown in Table 2 below, the total proposed impervious surface coverage is 7,855.25 square feet (14%) and includes the building footprint, non-permeable landscaped areas, lightwells and covered porches.

The total driveway consists of Eco-Stone permeable pavers and turf block. Section 45.17-2 of the Hillside Ordinance defines impervious surfaces as "...surfaces that will not allow or greatly reduce the penetration of water into the ground..." such as concrete, asphalt, bricks, swimming pools, "turf stones", and plastic sheeting. The adopted Stormwater C.3 Guidebook includes pervious concrete and unit pavers as acceptable permeable pavement materials. Therefore the driveway is not included in the table below since pervious surfaces will be used.

**Table 2: Proposed Impervious Surfaces**

| <b>Impervious Surfaces</b>                   |  |
|--|--|
| <b>Lot Area</b>                              | <b>55,322 sq. ft.<br/>(1.27 acres)</b> |
| <i>Building footprint (including garage)</i> | <i>4,204.25 sq. ft.</i>                |
| <i>Non-permeable landscaped areas</i>        | <i>3,010 sq. ft.</i>                   |
| <i>Light wells</i>                           | <i>342 sq. ft.</i>                     |
| <i>Covered Porches</i>                       | <i>299 sq. ft.</i>                     |
| <b>Total Impervious Surfaces</b>             | <b>7,855.25 sq. ft.</b>                |
| <b>Maximum Impervious Surface Allowed</b>    | <b>8,000 sq. ft.</b>                   |
| <b>Percentage of lot impervious coverage</b> | <b>14 %</b>                            |

**Geologic**

According to the General Plan Seismic and Geotechnical Map (Figure 5-2) and USGS Special Studies Zone Map, the project site is located within the Alquist-Priolo Special Study Zone. In addition, according to the Geotechnical Hazards map (Figure 5-1), the project site is located in areas with known expansive and unstable soils. Therefore, Geologic and Soils Studies are required to identify any significant seismic fault and/or slope instability hazards on the site that would threaten the proposed residence and to provide mitigation measures.

When the Calaveras Ridge Estates Planned Unit Development (PUD 23.5) Tentative Map was reviewed, a Geologic and Seismic Hazards Evaluation Report (October 1982) was conducted for the related Environmental Impact Assessment (EIA No. 239). At that time, the Tentative Map included building envelopes on each proposed parcel that were subsequently removed through an amendment to the Tentative Map. The Geologic Report identified areas of Calaveras Country Estates subdivision that have significant geologic hazards ("Geological Hazard Zones") such as traces of the Hayward fault, the Crosley Fault west of the site, and unstable slopes, and made the recommendation that residential structures not be within the Geological Hazards Zones.

The applicant is requesting to locate the proposed structure within the building envelope as determined by the Fault Investigation report<sup>1</sup> which evaluated and provided recommendations to minimize potential hazards in the event of ground failures, such as ground shaking, land sliding, ground subsidence, ground lurching, shallow ground rupture, and liquefaction. Based upon the trenching study, no evidence for faulting was observed. The investigation recommended that any residential structures shall be set back 50 feet from the northeasternmost fault trace (See

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<sup>1</sup> Fault Investigation for Proposed Residential Development, John Coyle and Associates, February 3, 2006.

Attachment D). Staff concludes that the proposed residence is constructed within the recommended building envelope, however, **staff recommends** that any addition to the residence shall comply with the findings and the recommendations of the Fault Investigation Report dated February 3, 2006. (*Special Condition #2*)

The City's building permit process requires a site-specific soils report and compliance with seismic safety construction standards as part of the City's building permit review and construction inspection process, therefore the impacts anticipated regarding seismic ground shaking, expansive soils, or liquefaction would be considered minimal. However, **staff recommends** a condition that the project plans incorporate the recommendations of the Fault Investigation report dated February 3, 2006 and that a detailed site specific soil investigation be performed to address the seismic slope stability issues as well as provide recommendation for foundation design and other geotechnically related parameters. (*Special Condition # 3*)

### **Biology**

An Environmental Impact Assessment (No. 239) was prepared and adopted by the City Council in 1979 as part of the Calaveras Ridge Estates Planned Unit Development. The EIA determined that development of the subdivision would result in no impact to biologic resources and, subsequently, the subdivision is mostly developed with single-family residences. However, staff conducted a site visit and could not determine whether burrowing animal holes are within the undeveloped project site. Therefore, **staff recommends** as a condition, that prior to any grading permit issuance, the applicant provide to City staff a biologic site assessment to determine the presence of burrowing owls on site. (*Special Condition #4*)

### **Lighting**

According to the Hillside Ordinance, outdoor lighting should use the minimum wattage lights that will safely illuminate the area and be shielded as not to be directly visible from off-site. Proposed exterior lighting on the project site includes wall mounted building lights and landscape lighting along the side and rear of the structure. The proposed wall mounted building lights are Dark Sky Friendly certified (International Dark-Sky Association) outdoor fixtures with a 12.5-foot spill that minimizes glare and reduces light trespass. Based on the photometric plan the proposed location of outdoor lighting, style of light fixtures, and minimum quantity of fixtures, the proposed lighting will not be directly visible from off-site.

## **CONFORMANCE WITH LOCAL PLANS AND ORDINANCES**

### **Conformance with the General Plan**

The proposed project complies with the City's General Plan in terms of land use and is consistent with Guiding Principle 2.a-G-3, which encourages a variety of housing types and densities that meet the needs of individuals and families. The proposed development does not conflict with any General Plan Principles and Policies and the proposed project is also consistent with following Implementing Policies:

*Implementing Policy 2.a-l-18* Retains the natural character of the hillside by utilizing designs, colors, and materials that blends with the environment and terrain.

*Implementing Policy 5.a-1-2* Minimizes the threat to life and property through identification of active fault traces and geologic hazard zones.

**Conformance with the Zoning Ordinance**

The project was reviewed for compliance with the Zoning Ordinance development standards and requirements for the Single Family Hillside (R1-H) and are described in Table 3 below:

**Table 3: Development Standards-Single-Family Hillside**

| <b>Required</b>  | <b>Proposed</b>                                | <b>Complies?</b> |
|--|--|------------------|
| <b>Building Height</b><br>17 ft. west of Crestline   | 17 ft.   | Yes              |
| <b>Setbacks</b><br>Front: 40 ft.<br>Side: 40 ft.<br>Rear: 40 ft.                               | 45 - 70 ft.<br>40 ft. & 40 ft.<br>138 ft.      | Yes              |
| <b>Size of Main Residence</b><br>6,000 sq. ft. maximum   | 5,706 sq. ft.                                  | Yes              |
| <b>Impervious Coverage</b><br>10 % of total lot area or 8,000 sq. ft. maximum                  | 7,855.25 sq. ft.                               | Yes              |
| <b>Crestline Zone of Protection (CZP)</b><br>No structure shall visually intrude into the CZP. | Structure does not visually intrude in the CZP | Yes              |

In addition, development standards for the Calaveras Ridge Estates Planned Unit Development (PUD 23.5) require 40-foot front, side, and rear setbacks, as well as a 3-car garage, with all other development standards in conformance with the Hillside Ordinance (Section 45). As proposed, the project is in conformance with PUD 23.5 development standards.

**Visual Impacts**

The proposed project is not within a major visual gateway or scenic corridor, as shown on the Scenic Resources and Routes General Plan Map (Figure 4-6). However, as part of this application, the applicant submitted a View Point Analysis (See Attachment 1 - Sheet C2) to demonstrate the visual impact from the Valley Floor. Cross sections from 3 designated viewpoints (VP): (VP 3: Escuela Parkway, VP 4: I-680 & Jacklin Road, & VP 5: Cardoza Park) demonstrate that the proposed structure will not visually intrude into the crestline zone of protection or impact the natural quality of the crestline and the slopes immediately below.

**Site & Architectural Guidelines**

Section 45.09-7 of the City’s Hillside Ordinance sets forth guidelines for the Commission and Council to consider in their review of Hillside homes. These guidelines are summarized below along with comments regarding the proposed plan's conformance with them.

**Table 4: Site and Architectural Guidelines**

| Site & Architectural Guidelines                                   | Comments Regarding Subject Proposal  |
|---|--|
| <b>(a) Avoid Unreasonable Interference with Views and Privacy</b> | <ul style="list-style-type: none"> <li><input type="checkbox"/> Complies with the 17’ maximum height limit.</li> <li><input type="checkbox"/> Would not unreasonably interfere with views from surrounding properties or views of the hillside based on the view obstruction and restriction analysis provided in the plans.</li> <li><input type="checkbox"/> As proposed, the residence is located approximately 80’ from the adjacent hillside home to the south, approximately 230’ from the residence to the northwest, and surrounded by vacant lots to the west and north. Based on the location and distance from adjacent properties, the project will not interfere with privacy.</li> </ul> |
| <b>(b) Preserve Natural Landscape</b>                             | <ul style="list-style-type: none"> <li><input type="checkbox"/> As proposed, the home is designed to blend with the natural contours.</li> </ul>   |
| <b>(c) Minimize Perception of Excessive Bulk</b>                  | <ul style="list-style-type: none"> <li><input type="checkbox"/> As proposed, the one-story residence includes a basement therefore will not give the appearance of excessive bulk.</li> </ul>  |
| <b>(d) Impairment of Light &amp; Air</b>                          | <ul style="list-style-type: none"> <li><input type="checkbox"/> The proposed one-story residence will not impair light and air on adjacent existing residential structures because it is located at least 80 feet away to the south of the project site.</li> </ul>  |
| <b>(e) Minimize Grading</b>                                       | <ul style="list-style-type: none"> <li><input type="checkbox"/> The proposed amount of grading exceeds the 1,500 square feet, thus requiring a recommendation from the Planning Commission to City Council. The cubic yards cut would be used for landscaping on site, and export.</li> </ul>  |

**California Environmental Quality Act**

The project is exempt from further environmental review pursuant to Section 15303 (Class 3 (a) - “One single-family residence... in a residential zone”), of the California Environmental Quality Act (CEQA) Guidelines.

**Neighborhood/Community Impact**

The proposed project is for the construction of a one-story, single-family residence in the Calaveras Ridge Estates Planned Unit Development (PUD 23.5), located in the Single-Family Hillside (R1-H) zoning district. As discussed, the project is in conformance with the Zoning Ordinance development standards for the Hillside district, as well as development standards for the Planned Unit Development. The proposed project, as conditioned, will not negatively impact the surrounding Hillside or residential development.

Based on the analysis and conclusions of this report, the proposed project is not anticipated to have any adverse impacts on parking or be detrimental to the health and safety of the public. In addition, the project will not have adverse effects upon the adjacent or surrounding development, such as shadows, view obstruction, or loss of privacy.

## RECOMMENDATION

Close the Public Hearing. Recommend approval of 'S' Zone Approval No. SA2005-2 to the City Council based on the findings and subject to the conditions listed below:

## FINDINGS

### *General Plan*

1. The proposed project is consistent with the Hillside –Very Low Density land use designation and Implementing Policies of the General Plan.

### *Zoning Ordinance*

2. The proposed project, as conditioned, is consistent with the Milpitas Zoning Ordinance in that the proposed development conforms to the land use and development standards of the Single-Family Hillside (R1-H) Combining District.

### *'S' Zone*

3. As conditioned, the layout of the site, design of the proposed building, and landscaping would be compatible and aesthetically harmonious with adjacent and surrounding development. The proposed residence is located in an existing Single-Family Hillside (R1-H) zoning district and Planned Unit Development (PUD 23.5). Materials include stucco, stone veneers, elevated entry, and Eco Stone driveway. In addition, the proposed landscaping will enhance the Hillside zoning district.

### *Planned Unit Development*

4. The proposed new residence is located in an existing Planned Unit Development (PUD 23.5) and is in conformance with the PUD development standards in terms of setbacks, height, and garage size.

### *CEQA*

5. The project is Categorical Exempt from the requirements of the California Environmental Quality Act (CEQA) in that it meets the definition of Section 15303, (Class 3 (a) - "One single-family residence... in a residential zone").

## SPECIAL CONDITIONS

1. This approval is for the development of a 5,706 square foot single-family residence, landscaping, and grading, as shown on the approved plans, dated April 25, 2007, and as modified by these conditions of approval. Any modification to the project, as approved, will be subject to PUD 23.5 Development Standards and may require an 'S' Zone Approval-Amendment, pursuant to Section 42.00 of the Milpitas Zoning Ordinance, and may require Planning Commission and City Council review. (P)
2. Any addition to the residence shall comply with the findings and the recommendations of the Fault Investigation Report dated February 3, 2006.
3. The applicant shall comply with the findings and recommendations prepared Fault Investigation for Proposed Residential Development, John Coyle and Associates, February 3, 2006. To ensure compliance, the applicant shall submit a letter from a licensed geotechnical engineer certifying that all the recommendations have been incorporated into the submitted

building and that a detailed site-specific soil investigation be performed to address the seismic slope stability issues as well as provide a recommendation for foundation design and other geotechnically related parameters prior to issuance of any building or grading permits. (P)

4. Prior to grading permit issuance, the applicant shall provide to City staff a biologic site assessment by a Biologist or Ecologist to determine the presence of burrowing owls on site. If the biologic assessment determines burrowing owls exist on-site, the site assessment recommendations shall be adhered to prior to onset of any grading activities. (P)
5. A letter by the Homeowner's Association approving the proposed wrought iron fence and gate along the front property line shall be included as part of the building permit submittal for the fence. (P)
6. The proposed project shall be conducted in compliance with all applicable federal, state, and local regulations. (P)
7. If, at the time of submittal for any building permits, there is a project job account balance due to the City for recovery of review fees, review of permits will not be initiated until the balance is paid in full. (P)
8. Prior to issuance of the grading permit, the applicant shall submit an erosion control plan to the approval of the Planning Division. Erosion control measures shall be in place prior to the start of any work and maintained until the completion of construction. (P)
9. During all construction activities on-site, the project applicant/developer shall adhere to the following Best Management Practices as suggested by BAAQMD: (P)
  - a. Watering all active construction areas twice daily and more often during windy periods. Active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
  - b. Cover all trucks hauling soil, sand, and other loose material or require all truck to maintain at least 2 feet freeboard level within their truck beds.
  - c. Pave, apply water three times daily or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction site.
  - d. Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
  - e. Sweep streets daily with water sweeper if visible soil material is carried onto adjacent public streets.
  - f. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - g. Suspend excavation and grading (all earthmoving or other dust-producing activities during periods of high winds when watering cannot eliminate visible dust plumes or when winds exceed 25 mph (instantaneous gusts).
10. Prior to certificate of occupancy all landscaping shall be installed. (P)

11. Prior to grading permit, the applicant shall record with the Santa Clara County Recorders office a hold harmless agreement with the deed for the property disclosing that the site is located within a landslide area, which may have higher than normal potential landslides. This agreement would hold harmless the City from future landslides resulting from development of a site within a landslide area. The City Attorney shall draft said agreement. (P)
12. The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)
13. At the time of building permit plan check submittal the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall analyze the existing and ultimate conditions and facilities. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to building permit issuance. (E)
14. Prior to building permit issuance developer shall satisfy the conclusions and recommendations of the *Soils Engineering and Geologic and Seismic Hazards Evaluation Reports* by Earth Systems Consultants dated 1981-1982, *Preliminary Geologic Assessment* by Terrasearch dated 6/8/2005, and *Fault Investigation* by John Coyle & Associates dated 2/3/2006. (E)
15. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to, connection fees (water, sewer and storm), treatment plant fee, plan check and inspection deposit, and 2.5% building permit automation fee. (E)
16. All existing on-site public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrub are permitted within City utility easements, where the easement is located within landscape areas. (E)
17. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing #405. Overall cumulative height of the grading, landscaping & signs as determined by sight distance shall not exceed 2 feet when measured from street elevation. (E)
18. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers to eliminate as much as possible pollutants entering our receiving waters. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)

19. The design of this project shall include adequate Best Management Practices (BMPs) to eliminate pollutant from entering the offsite drainage systems. (E)
20. The developer shall submit the following items with the building permit application and pay the related fees prior to building permit issuance:
  - A. Storm water connection fee of **\$3594**, water connection fee of **\$1910**, sewer connection fee of **\$1908** and wastewater treatment plant fee of **\$880**.
  - B. Water Service Agreement(s) for water meter(s) and detector check(s).
  - C. Sewer Needs Questionnaire and/or Industrial Waste Questionnaire.Contact the Land Development Section of the Engineering Division at (408) 586-3329 to obtain the form(s). (E)
21. If the existing services (water, sewer and storm) are not adequately sized to serve this development, plans showing new services must be submitted and approved prior to building permit issuance. (E)
22. Prior to any work within public right of way or City easement, the developer shall obtain an encroachment permit from City of Milpitas Engineering Division. (E)
23. Apply applicable Guidelines for New Developments and Hillside Landscaping Water Conservation Policy (Resolution # 6066). (E)
24. Per Milpitas Municipal Code Chapter 2, Title X (Ord. No. 201), developer may be required to obtain a permit for removal of any existing tree(s). Contact the Street Landscaping Section at (408) 586-2601 to obtain the requirements and forms. (E)
25. The developer shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hrs prior to construction for location of utilities. (E)
26. At the time of building plan check submittal, the developer shall incorporate the changes shown on Engineering Services Exhibit "S"(dated 2/5/2007) in the design plans. (E)
27. It is the responsibility of the developer to obtain any necessary encroachment permits or approvals from affected agencies and private parties. Copies of these approvals or permits must be submitted to the City of Milpitas Engineering Division. (E)
28. The Flood Insurance Rate Map (FIRM) issued by the Federal Emergency Management Agency (FEMA) under the National Flood Insurance Program shows this site to be in Flood Zone "D". (E)

## **NOTES TO THE APPLICANT**

Submitted drawings are not reviewed nor approved for Building and Fire permits and construction. These notes are provided below to assist with the Building permit and Fire

Department permit processes.

1. When and if a gate is proposed at driveway entrance, provide a KNOX lock on chain for Fire Department use. If the gate is provided with an electronic code, the code shall be provided to the fire department. Contact Fire Department at (408) 586-3365 for application. (F)
2. Fire apparatus access roads shall be provided for every building hereafter constructed when any portion of an exterior wall of the first story is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building, California Fire Code Section 902.2.1. Modifications to the entry drive and the turn-about are required. As a mitigating measure, the Milpitas Fire Department will accept an upgrade to the required automatic fire sprinkler system from NFPA 13D to a standard NFPA 13 system or other acceptable mitigation measure (acceptable to the Milpitas Fire Department). If there are any questions please do not hesitate to contact me at the Fire Prevention Division at (408) 586-3383. (F)
3. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all weather driving capabilities. Grass Pavers shall not be installed within the required Fire Department access road. The Fire Department requires all weather driving capabilities road. Grass Pavers may be used at the turn-around and the turn-out provided design and installation provides support for fire apparatus equipment. The minimum access width shall be 14' and the minimum vertical clearance shall be 13'-6". Access road shall show dimensions, and construction details at time of building permit submittal. (F)
4. The gradient for a fire apparatus access road shall not exceed 17%, the maximum approved by the Fire Chief. (F)
5. The required fire apparatus access road, turn-around and the turn-out shall not be obstructed in any manner, including parking of vehicles. The minimum required widths and clearances shall be maintained at all times. (F)
6. All occupancies constructed hereafter in hillside area designated as Hazardous Fire Area, shall have installed an automatic fire sprinkler system meeting the minimum Life-Safety requirements for dwellings as specified in NFPA 13D. Appendix II-A UFC as amended by Section V-300-2.126 MMC. (F)
7. Fire Safety during construction, alteration or demolition shall be in conformance with the CFC Section 8704. (F)
8. Combustible construction shall not begin until fire apparatus access roads are installed and water mains and hydrants are operational. CFC Sections 8704.2 and 8704.3. (F)
9. For each sleeping room, provide at least one window or door that opens directly into a public street, public alley, yard or exit court. The emergency door or window shall be operable from the inside to provide a full clear opening without the use of separate tools. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet. The minimum net

clear openable height dimension shall be 24 inches. The minimum net clear openable width dimension shall be 20 inches. When windows are provided as a means of escape or rescue, they shall have a finish sill height not more than 44 inches above the floor. Section 310.4, California Building Code. (F)

10. Provide approved smoke detectors in accordance with CBC 310.9. (F)
11. Provide approved spark arresters for all chimneys. (F)
12. Provide adequate clearance of brush and vegetative growth. CFC Section 1103.2.4. (F)
13. Provide a telephone prior to construction. CFC Section 8704.1. (F)
14. Applicable codes: 2001 CBC, CPC, CMC, 2004 CEC, 2005 California Energy Code, CFC and 2002 Milpitas Municipal Code. (B)
15. Minimum roof class "B" is required at hillside construction per 2002 Milpitas Municipal Code, Title II-3-2.08. (B)
16. Wood structural members exposed to weather shall be pressure treated or redwood 2001 CBC, section 2306.12. (B)
17. In enclosed private garage, ventilation shall comply with 2002 Milpitas Municipal Code section II-3-2.04. (B)
18. Provide one-hour occupancy separation between garage and residence per 2001 CBC, section 302.4, exception 3. (B)
19. All structures and their elements located in the hillside area shall be designed to withstand basic wind load of 80 mph at exposure "C" and shall conform to requirements of Appendix Chapter 23 per 2002 MMC, section II-3-2.10. (B)
20. All plans for structures located in the hillside area must be prepared and designed by Civil, Structural Engineer or Architect licensed in the State of California per 2002 Milpitas Municipal Code section II-3-2.10. (B)
21. Obtain permits from Health Department if there is a septic system prior to applying for a Building permit. (B)
22. A soil report shall be provided when applying for grading, site improvement and building permit. (B)
23. Paving shall comply with the Municipal Code section II-13-18. (B)
24. All non-structural flat concrete work shall be as per 2002 Milpitas Municipal Code sections II-13-17.05. (B)

25. Grading and erosion control plan shall be submitted when applying for grading permit as per Municipal Code II-13-10.01 and shall be prepared by a licensed Civil Engineer. (B)
26. Site must be recently surveyed for the verification of the slopes. Signature of surveyor or engineer must show date of survey. (B)
27. All downspouts shall be connected to an enclosed storm drainage system, or an alternate method to be approved by the City of Milpitas Building Division and discharge to an approved drainage system. (B)
28. Prior to issuance of building permit, all the easements including private storm drain easement through adjacent parcels shall be recorded. The developer shall include interim erosion control provisions and schedules in the construction plans for areas, which will not have permanent erosion control features installed (such as landscaping) prior to any occupancy so that erosion and sediment control can be sustained through the rainy season. 2002 Milpitas Municipal Code section II-13-11. (B)

**CITY OF MILPITAS  
APPROVED**

**PLANNING COMMISSION SUBCOMMITTEE MINUTES**

**April 25, 2007**

**I.  
ROLL CALL**

Present: Sandhu and Ciardella  
Absent: Azevedo  
Staff: Bejines, Hom, Kunsman and Reliford

**1. "S" ZONE  
APPROVAL NO.  
AMENDMENT  
SA2007-11**

Cindy Hom, Junior Planner, presented a request to construct a 2,100 square foot pharmacy addition and various site modifications including removal of seven parking spaces, removal of 4 trees, and installation of new landscaping for Kaiser Permanente located at 770 Calaveras Boulevard. Ms. Hom recommended approve with conditions.

Commissioner Ciardella asked where is the outfall located? **Ray Andrews, Applicant**, said the outfall is located at the corner of the parking lot near the creek.

Commissioner Sandhu asked where is the creek located? Ms. Hom showed him the location of the creek on the plans.

Commissioner Sandhu asked how many parking spaces are required? Ms. Hom said 205 parking spaces.

Commissioner Sandhu asked why didn't this project go to the full commission and Ms. Hom said any addition under 5,000 square feet requires it to go to the Subcommittee.

Commissioner Sandhu asked if the addition will be separate from the old building and Ms. Hom said no.

Commissioner Ciardella asked if the existing pharmacy will stay open during construction and Mr. Andrews said yes.

Commissioner Ciardella said he was concerned about the tile. Ms. Hom said they looked at the color to make sure it compliments the existing tile and wanted to utilize metal tiles to make sure the roof is weatherproofed.

Commissioner Sandhu recalled that the Planning Commission approved tri-laminate material for all roofs. Felix Reliford, Principal Planner, said the tri-laminate material is for residential roofs not commercial.

Commissioner Ciardella asked how long is the roof guaranteed for? **Benito Olguin, Architect**, said there is a one-year guarantee. He pointed out that the roof pitch is very shallow and does not allow for a clay tile product because the wind would blow rain up underneath the tile.

Commissioner Sandhu said that a pharmacy is a critical structure because it holds life saving products and he does not feel comfortable with a one-year warranty and suggested that the item come back to the full commission. Mr. Olguin clarified that the material warranty is for 20-25 years.

Commissioner Ciardella asked if the installer will make the roof look peppered and Mr. Andrews said yes.

**Noella Tabladillo, Kaiser Government Relations Manager**, said that Kaiser wants to make sure they are a good neighbor and will comply with the special conditions required by staff.

Ms. Hom recommended the following condition be added:

- *Prior to building permit issuance, the applicant shall provide documentation that provides the lifetime warranty of the metal roof material. The warranty shall demonstrate that it provides a minimum of 15-25 years warranty.*

**Motion** to approve "S" Zone Approval Amendment No. SA2007-11 with special conditions including the added condition above.

M/S: Ciardella/Sandhu

AYES: 2

NOES: 0

**2. "S" ZONE  
APPROVAL  
AMENDMENT  
SA2007-15**

**NO.** Cindy Hom, Junior Planner, presented a request to install minor exterior upgrades that include new column cladding, internally illuminated spanners, new trash valet, and canopy reface for the Chevron Gas Station located at 1249 Great Mall Drive. Ms. Hom recommended approve as submitted.

Commissioner Ciardella asked why is this being done and **Zaiga Gianino, Applicant**, said that Chevron's corporate logo has changed and they are removing the word Chevron.

Commissioner Ciardella asked if the blue light adds to the square footage and Ms. Gianino said no.

Commissioner Ciardella asked about the lights on the building and Ms. Gianino said they are not neon and are energy efficient.

**Motion** to approve "S" Zone Approval Amendment No. SA2007-15.

M/S: Sandhu/Ciardella

AYES: 2

NOES: 0

**3. "S" ZONE  
APPROVAL  
AMENDMENT  
SA2007-16**

**NO.** Cindy Hom, Junior Planner, presented a request to reduce the square footage of existing exterior wall signs for Wal-Mart located at 301 Ranch Drive. Ms. Hom recommended approve as submitted.

Commissioner Ciardella asked why the applicant is not present and Ms. Hom said the applicant works out of state.

**Motion** to approve "S" Zone Approval Amendment No. SA2007-16.

M/S: Ciardella/Sandhu

AYES: 2

NOES: 0

**4. "S" ZONE  
APPROVAL  
AMENDMENT  
SA2007-12**

**NO.** Tiffany Kunsman, Junior Planner, presented a request to remodel an attached single-family home located at 936 Matterhorn Court. Ms. Kunsman recommended approve with conditions.

**Motion** to approve "S" Zone Approval Amendment No. SA2007-12 with special conditions.

M/S: Ciardella/Sandhu

AYES: 2

NOES: 0

**II. ADJOURNMENT**

The meeting was adjourned at 6:50 p.m.

APPROVED  
April 25, 2007

**CITY OF MILPITAS  
APPROVED**

**PLANNING COMMISSION MINUTES**

**April 25, 2007**

**I.  
PLEDGE OF  
ALLEGIANCE**

Chair Williams called the meeting to order at 7:00 P.M. and led the Pledge of Allegiance.

**II.  
ROLL CALL**

Present: Azevedo, Ali-Santosa, Ciardella, Mandal, Sandhu, Tabladillo and Williams  
Absent: None  
Staff: Bejines, Lowe, Pio Roda and Reliford

**III.  
PUBLIC FORUM**

Chair Williams invited members of the audience to address the Commission on any topic not on the agenda, noting that no response is required from the staff or Commission, but that the Commission may choose to agendaize the matter for a future meeting.

There were no speakers from the audience.

**IV.  
APPROVAL OF MINUTES  
April 11, 2007**

Chair Williams called for approval of the minutes of the Planning Commission meeting of April 11, 2007.

Principal Planner Felix Reliford noted that the applicant for the Warmington Project requested the following changes to the minutes:

- *On page 4, 2<sup>nd</sup> to the last paragraph, last sentence, added the word providing double the minimum setback requirement.*
- *On page 4, last paragraph, should read, existing soundwall is approximately 7' to 7' 6" and there was no discussion to raise that.*
- *On page 5, last paragraph, should read, and the podium houses have assigned side-by-side and tandem parking.*
- *On page 6, second paragraph, Mrs. Ishijima deferred the question to the applicant should be replaced with Ms. Vingo said all parking will be monitored by the HOA.*
- *On page 6, fourth paragraph, rainwater ends up in swales not swells.*
- *On page 7, regarding Robert Armstrong, should read, see people working in their 2<sup>nd</sup> story office.*

**Motion** to approve the minutes as amended.

M/S: Sandhu/Azevedo

AYES: 7

NOES: 0

APPROVED  
April 25, 2007

**V.  
ANNOUNCEMENTS**

Commissioner Ciardella said he found his Planning Commissioner name badge and suggested that staff order them for the rest of the Commission.

Commissioner Azevedo asked when would the Commissioners use the badge? Commissioner Ciardella suggested they could be used at Planning Commission meetings and City functions.

Chair Williams asked Mr. Reliford if there is funding in the budget to order badges and Mr. Reliford said yes.

Commissioner Azevedo suggested that staff purchase the magnet name badges so as not to ruin their clothes and Mr. Reliford said yes.

**VI.  
CONFLICT  
OF INTEREST**

Assistant City Attorney Pio Roda asked if the Commission has any personal or financial conflict of interest on tonight's agenda.

Vice Chair Mandal said he has a conflict of interest for Item No. 1 ("S" Zone No. SZ2005-2) and he would like to excuse himself.

Assistant City Attorney Pio Roda asked Vice Chair Mandal to briefly explain the conflict. Vice Chair Mandal said he is a friend of the applicant.

Assistant City Attorney Pio Roda said if Vice Chair Mandal feels uncomfortable with voting than it is certainly grounds for finding a conflict if he feels he cannot be unbiased in his assessment of the project. Otherwise a friend relationship wouldn't be a conflict of interest but if he can't act with disinterested zeal in his review of the project than he would have a conflict of interest.

**VII.  
APPROVAL OF  
AGENDA**

Chair Williams called for approval of the agenda.

Staff had no changes to the agenda.

**Motion** to approve the agenda as submitted.

M/S: Azevedo/Sandhu

AYES: 6

NOES: 0

**VIII.  
CONSENT CALENDAR**

Chair Williams asked whether staff, the Commission, or anyone in the audience wished to remove or add any items to the consent calendar.

There were no items added to the consent calendar.

**IX.  
PUBLIC HEARING**

**1. "S" ZONE NO.  
SZ2005-2**

**Kristine Lowe, Associate Planner**, presented a request to construct a 5,706 (approximate) square foot, single-family Hillside Residence with grading and landscaping at 898 Calaveras Ridge Drive. Ms. Lowe recommended approve with conditions to City Council.

Commissioner Sandhu said on page 7 of the staff report, there is a table that states CZP and asked what does it stand for. Mrs. Lowe said it stands for Crestline Zone of Protection.

Commissioner Ciardella pointed out that the City owns a land directly across the street from the project and asked if the City will ever build a park there. Mr. Reliford said staff would have to research the land to see if it is part of the Capital Improvement Projects for the next five years and would report back to the Commission.

Commissioner Ciardella asked what happens to the land if the City decides not to build a park there? Mr. Reliford said if it belongs to the subdivision than it would be maintained as open space as required by the hillside ordinance and if it is City land than the Council would have to make a policy decision whether or not to sell the land.

Commissioner Ciardella asked if the piece of land would be part of the original subdivision? Mr. Reliford said if it is in the boundaries of the original subdivision then they would have to comply with PUD 23.5. The Hillside ordinance was changed in the mid 1990's from 1 dwelling unit per 1 acre to 1 dwelling unit per ten acres.

Commissioner Ciardella asked if the park would ever get developed and Mr. Reliford said that it is up to City Council.

Commissioner Ali-Santosa said he was confused about the numbering sequence on page 12 of the staff report and asked staff to clarify. Mrs. Lowe said the conditions of approval are numbered 1 to 29 and the rest are notes to the applicant. Notes to the applicant are from the building and fire department so that when the applicant submits for permits, these notes are included as part of their submittal. The notes are not listed as conditions of approval.

Commissioner Tabladillo needed clarification on condition no. 9 that reads below and asked if there is a timeframe when trucks will begin and cease work considering the noise will be traveling through the existing residential neighborhood.

9. *Prior to issuance of the grading permit, the applicant shall submit an erosion control plan to the approval of the Planning Division. Erosion control measures shall be in place prior to the start of any work and maintained until the completion of construction. (P)*

Mr. Reliford said the City's noise ordinance dictates when construction takes place so that construction workers are considerate of residential neighbors.

Chair Williams asked if this home will be part of the existing HOA and if so, are there plans to move the access gate to the residential community further out. Mrs. Lowe said the project is part of the Calaveras Ridge Estates and there are no intentions to move the gate further out.

Chair Williams introduced the applicant.

**Haresh Patel, Applicant,** said he has owned the lot for 17 years and in 1991 the hillside-zoning ordinance was changed and would not allow him to build a two-story home. He has now designed his home in conformance with the City's zoning ordinance and requests the Commission to approve the project.

Chair Williams opened the public hearing.

There were no speakers from the audience.

**Motion** to close the public hearing.

M/S: Azevedo/Sandhu

AYES: 6

NOES: 0

Chair Williams said the design of the home is very nice and he regrets that the applicant had to wait so long to live there.

Commissioner Sandhu said he is very happy that this development is complying with each and every requirement of the City and the owner, architect and staff has done a great job.

**Motion** to approve "S" Zone No. SZ2005-2 with conditions to City Council based on the findings in the staff report.

M/S: Azevedo/Ali-Santosa

AYES: 6

NOES: 0

**X.  
ADJOURNMENT**

The meeting was adjourned at 7:34 p.m. to the next regular meeting of May 9, 2007.

Respectfully Submitted,

Felix Reliford  
Principal Planner

The foregoing minutes were approved by the Milpitas Planning Commission as submitted on May 9, 2007.

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Veronica Bejines  
Recording Secretary



Planning  
 Land Surveying  
 Civil Engineering  
 Construction Staking

**SLOPE DENSITY CALCULATION JOB NO. 01020**

APN 029-06-038  
 898 Calaveras Ridge Drive, Milpitas  
 TRACT NO. 7328, LOT NO. 4

$$S = \frac{100 \cdot I \cdot L}{A}$$

Where:  
 I is contour interval in feet  
 L is the combined length of the contours in feet  
 A is the net area of the lot in square feet

I = 5  
 L = 1720 FT  
 A = 55,322 sq ft

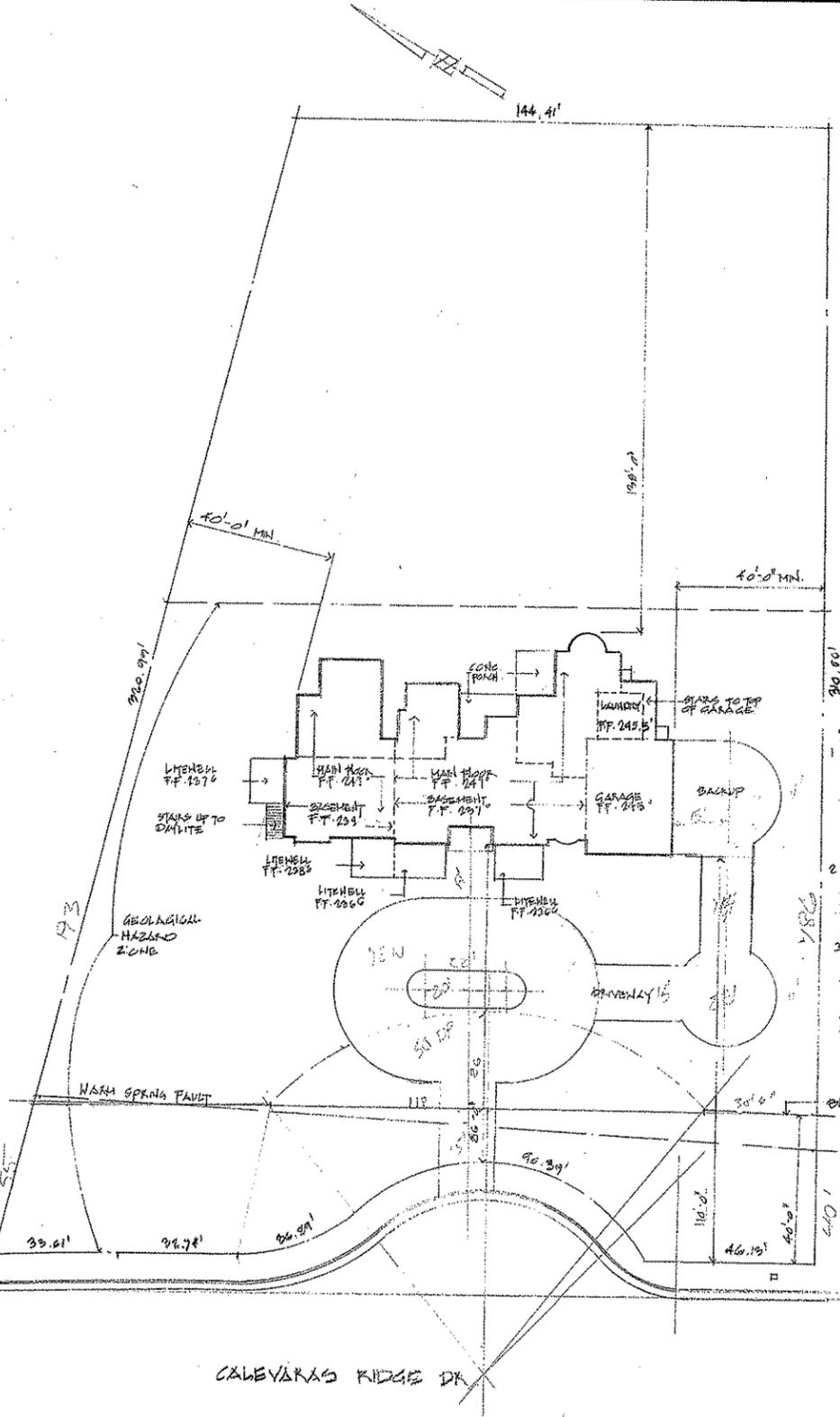
$$S = \frac{(100)(1720)(5)}{55,322} = 15.55\%$$



355 Reed Street, Santa Clara, California 95050-3107  
 (408) 727-8282 Fax (408) 727-0285 mje@earthlink.net

**RECEIVED**  
 OCT 31 2008  
 CITY OF MILPITAS  
 PLANNING DIVISION

- Fire apparatus access roads shall be provided for every building hereafter constructed when any portion of an exterior wall of the first story is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building, California Fire Code Section 902.2.1. Modifications to the entry drive and the turn-about are required. As a mitigating measure, the Milpitas Fire Department will accept an upgrade to the required automatic fire sprinkler system from NFPA 13D to a standard NFPA 13 system or other acceptable mitigation measure (acceptable to the Milpitas Fire Department).
- When and if a gate is proposed at driveway entrance, provide a KNOX lock on chain for Fire Department use. If the gate is provided with an electronic code, provide a Knox key over-ride for fire department access. Contact Fire Department at (408) 586-3365 for application.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all weather driving capabilities. Grass Pavers shall not be installed within the required Fire Department access road. The Fire Department requires all weather driving capabilities road. Grass Pavers may be used at the turn-around and the turn-out provided design and installation provides support for fire apparatus equipment (construction section shall be designed by a Civil Engineer. The minimum access width shall be 14' and the minimum vertical clearance shall be 13'-6". Access road shall show dimensions, and construction details at time of building permit submittal.
- The gradient for a fire apparatus access road shall not exceed 17%, the maximum approved by the Fire Chief. Specify the proposed grade for the driveway.
- The required fire apparatus access road, turn-around and the turn-out shall not be obstructed in any manner, including parking of vehicles. The minimum required widths and clearances shall be maintained at all times.
- All occupancies constructed hereafter in hillside area designated as Hazardous Fire Area, shall have installed an automatic fire sprinkler system meeting the minimum Life-Safety requirements for dwellings as specified in NFPA 13D, Appendix II-A UFC as amended by Section V-300-2.126 MMC.
- Fire Safety during construction, alteration or demolition shall be in conformance with the CFC Section 8704.
- Combustible construction shall not begin until fire apparatus access roads are installed and water mains and hydrants are operational. CFC Sections 8704.2 and 8704.3.
- Provide adequate clearance of brush and vegetative growth. CFC Section 1103.2.4.
- Provide a telephone prior to construction. CFC Section 8704.1.



**GRADING NOTES**

- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING TO BE SCHEDULED BY PUBLIC WORKS INSPECTION AND NOTIFY THE CITY OF MILPITAS PUBLIC WORKS INSPECTION AT LEAST 48 HRS. PRIOR TO ANY WORK. 408.586.2884
- PRIOR TO ANY WORK WITHIN THE CITY RIGHT OF WAY + EASEMENT, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING SECTION
- CONTRACTOR SHALL SUBMIT COMPLETED SIGNED ENCROACHMENT PERMIT APPLICATION, INCLUDING INSURANCE (CITY BUSINESS CONTRACTOR) INFORMATION TO LAND DEVELOPMENT SECTION FOR PROCESSING

**HILLSIDE CONSTRUCTION**

Hillside construction shall be designed for a basic wind speed of 80 mph and Exposure C. All structures located in the hillside shall conform to the requirements of Appendix Chapter 23, Milpitas Code sec. II-3-2.10

**HILLSIDE ROOFING**

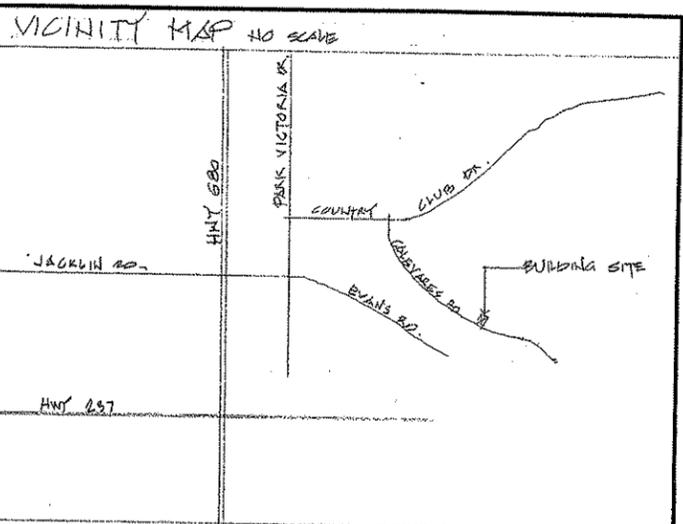
Class A or class B roof covering shall be required for all hillside construction. Milpitas Code sec. II-3-2.08

**LOT SURVEY REQUIRED**

ALL PROPERTY LINES SHALL BE STAKED AND A WRITTEN STATEMENT CONFIRMING THE SURVEY RESULTS AND STAKING METHOD SHALL BE SUBMITTED PRIOR TO FOUNDATION INSPECTION (MMC II-1-21.01)

**SITE PLAN 1/8"=1'-0"**

NOTES:  
 GRADING PLAN RETAINING WALLS + DRIVEWAY LOCATION BY MISSION ENGINEERS  
 LANDSCAPE PLAN BY REED ASSOCIATES



**PROPERTY DESCRIPTION**

898 CALAVERAS RIDGE DR. APN 029-06-038  
 MILPITAS, SANTA CLARA CO., CALIFORNIA

**AREAS**

|                     |          |       |
|---------------------|----------|-------|
| LOT AREA            | 55,322   | SQ FT |
| MAIN FLOOR AREA     | 34,237.5 |       |
| GARAGE              | 780.5    |       |
| EASEMENT            | 15,017.5 |       |
| TOTAL F.A.R.        | 5700     |       |
| COVERED PORCHES     | 299      |       |
| LIFE WELLS          | 342      |       |
| DRIVEWAY + WALKS    | 3010     |       |
| TOTAL IMP. COVERAGE | 7855.25  |       |

**GENERAL NOTES**

- NO EXISTING STRUCTURES + TREES
- ADJACENT LOTS ON SOUTH SINGLE FAN, NORTH VACANT EAST OPEN SPACE
- SLOPE DENSITY 15.55%
- CUT PER BASEMENT 1613 CU. YD. EXPORT
- CUT PER SITE 780 CU. YD. FILL 780 CU. YD.
- ALL CONSTRUCTION SHALL CONFORM TO 2001 CBC, CMC, CPC, CFC, CUHC + 2004 CEC
- CONTRACTOR + ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS + CONDITIONS PRIOR TO START OF WORK
- WALLS SHOWN ARE 2" NOMINAL DIMENSION DO NOT SCALE, DIMENSIONS GOVERN
- LOT SURVEY IS REQUIRED FOR NEW CONSTRUCTION

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| 2  | INTERIOR ELEVATIONS, SCHEDULES    | D2  | DETAILS  |
| 3  | MAIN FLOOR PLAN                   | D3  | DETAIL   |
| 4  | LOWER FLOOR PLAN                  | T2A | TITLE 2A |
| 5  | FOUNDATION PLAN                   |     |          |
| 6  | MAIN FLOOR FINISH PLAN            |     |          |
| 7  | ROOF FINISH PLAN                  |     |          |
| 8  | ROOF PLAN                         |     |          |
| 9  | CROSS SECTIONS                    |     |          |
| 10 | CROSS SECTIONS                    |     |          |
| 11 | REFLECTED CEILING PLAN            |     |          |
| 12 | MAIN FLOOR ELECT. + MECH. LAYOUT  |     |          |
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| 14 | EXTERIOR ELEVATIONS               |     |          |
| 15 | EXTERIOR ELEVATIONS               |     |          |

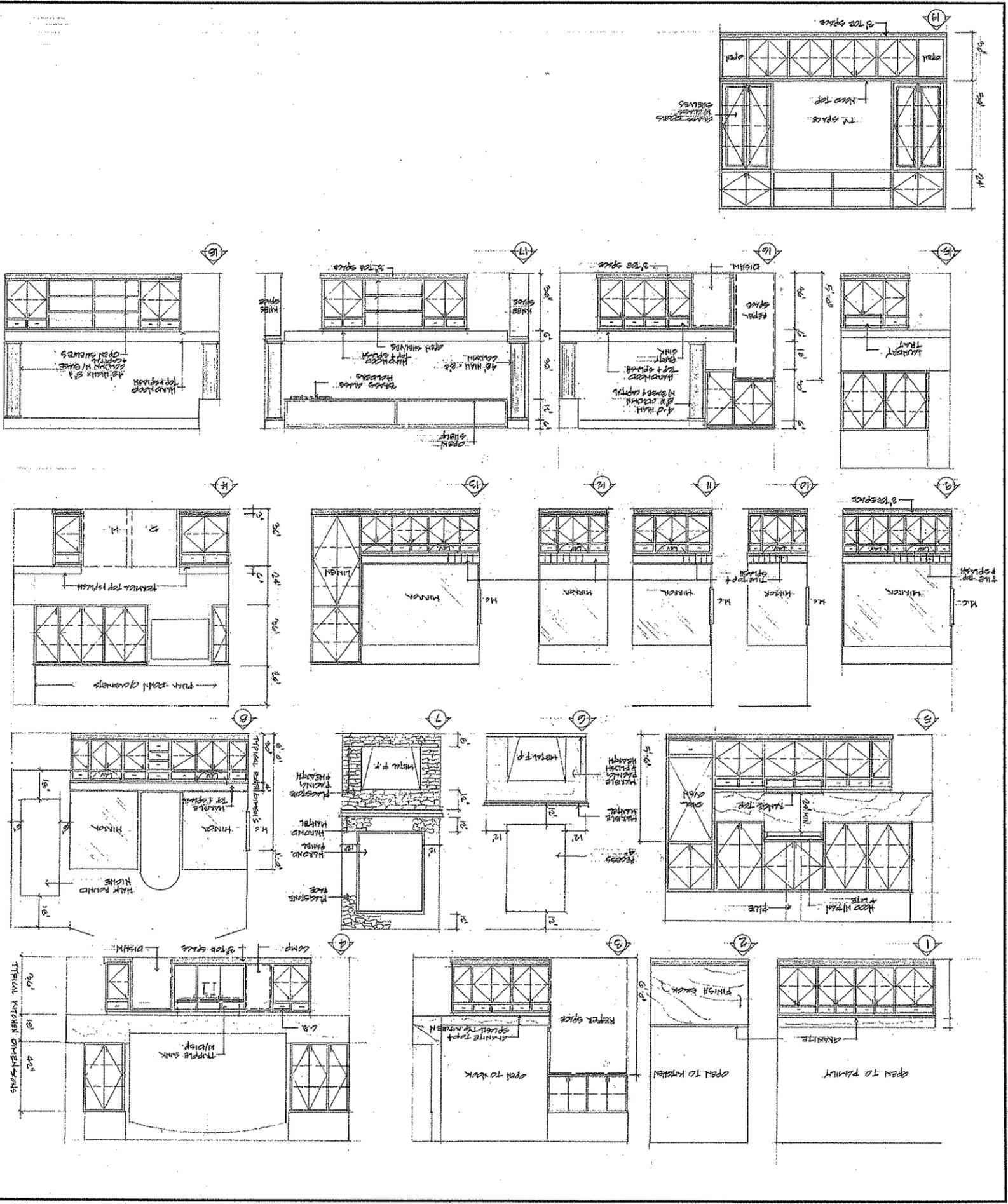
| REVISIONS | BY |
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A NEW CUSTOM HOME FOR  
 MR. & MRS. HARRY PANCHAL  
 898 CALAVERAS RIDGE DR. MILPITAS, CA

441 N. Central Ave. Campbell, CA 95008  
 (408) 370-7880 Fax (408) 370-7883  
 e-mail: epdavis@fish.net



Date: 10/24/07  
 Scale: 1"=20'  
 Drawn: [Signature]  
 Job: 2403  
 1 of 1 Sheets



| ROOMS          | WALLS                           | CEILING            | FLOOR              | BASE               | REMARKS |
|----------------|---------------------------------|--------------------|--------------------|--------------------|---------|
| FOYER          | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| LIVING ROOM    | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| DINING ROOM    | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| FAMILY ROOM    | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| LIBRARY        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| MEDIA ROOM     | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BOYS ROOM      | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| MASTER BEDROOM | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BEDROOM #2     | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BEDROOM #3     | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BEDROOM #4     | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BEDROOM #5     | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| HALL #1 + 2    | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| HALL #3        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| STAIRWAY       | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| CLOSETS        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| KITCHEN        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| NOOK           | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| SHACK BAR      | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| MASTER BATH    | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BATH #1        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BATH #2        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BATH #3        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BATH #4        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| POWDER ROOM    | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| BAR            | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| LAUNDRY        | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| GARAGE         | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| EXTERIOR STAIR | SPRINKLED OAK PNL.              | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. | SPRINKLED OAK PNL. |         |
| DOOR SCHEDULE  | TYPE                            | REMARK             | SIZE               | TYPE               |         |
| 1              | 8'-0" x 8'-0" PR. ENTRY         | H.C.               | 8'-0" x 8'-0"      | PANEL              |         |
| 2              | 2'-8" x 8'-0" H.C.              |                    | 2'-8" x 8'-0"      | PANEL              |         |
| 3              | 2'-8" x 8'-0" SOUND CORE        |                    | 2'-8" x 8'-0"      | W/SLIP COVER       |         |
| 4              | 2'-8" x 8'-0" PR. H.C.          |                    | 2'-8" x 8'-0"      | PANEL              |         |
| 5              | 2'-8" x 8'-0" H.C.              |                    | 2'-8" x 8'-0"      | PANEL              |         |
| 6              | 2'-4" x 8'-0" H.C.              |                    | 2'-4" x 8'-0"      | PANEL              |         |
| 7              | 8'-0" x 8'-0" H.C.              |                    | 8'-0" x 8'-0"      | PANEL              |         |
| 8              | 2'-8" x 8'-0" H.C.              |                    | 2'-8" x 8'-0"      | PANEL              |         |
| 9              | 2'-8" x 8'-0" PR. FRENCH        |                    | 2'-8" x 8'-0"      | TEMP GLASS         |         |
| 10             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 11             | 2'-4" x 8'-0" H.C.              |                    | 2'-4" x 8'-0"      | FIXED              |         |
| 12             | 2'-8" x 8'-0" EXPANSE           |                    | 2'-8" x 8'-0"      | 1-LITE             |         |
| 13             | 2'-8" x 8'-0" H.C.              |                    | 2'-8" x 8'-0"      | HIDDEN VENTS       |         |
| 14             | 2'-8" x 8'-0" PR. ALUMINUM      |                    | 2'-8" x 8'-0"      | HANDS              |         |
| 15             | 1'-8" x 8'-0" (2)               |                    | 1'-8" x 8'-0"      | CASHMENT           |         |
| 16             | 2'-0" x 8'-0" PR. SLIDING GLASS |                    | 2'-0" x 8'-0"      | TEMP GLASS         |         |
| 17             | 2'-0" x 8'-0" PR. SLIDING GLASS |                    | 2'-0" x 8'-0"      | TEMP GLASS         |         |
| 18             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 19             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 20             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 21             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 22             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 23             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 24             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 25             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 26             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 27             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 28             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 29             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 30             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 31             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 32             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 33             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 34             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 35             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 36             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 37             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 38             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 39             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 40             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 41             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 42             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 43             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 44             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 45             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 46             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 47             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 48             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 49             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |
| 50             | 2'-0" x 8'-0" H.C.              |                    | 2'-0" x 8'-0"      | FIXED              |         |

441 N. Central Ave, Campbell, CA 95008  
 (408) 370-7990 Fax (408) 370-7993  
 e-mail @ pdp@pdpa.com  
 X-REF: CUSTOM HOME FOR  
 MRS. HARRY PANCHAL  
 848 CALVADOS, RIDGE CR. MILPITAS, CA

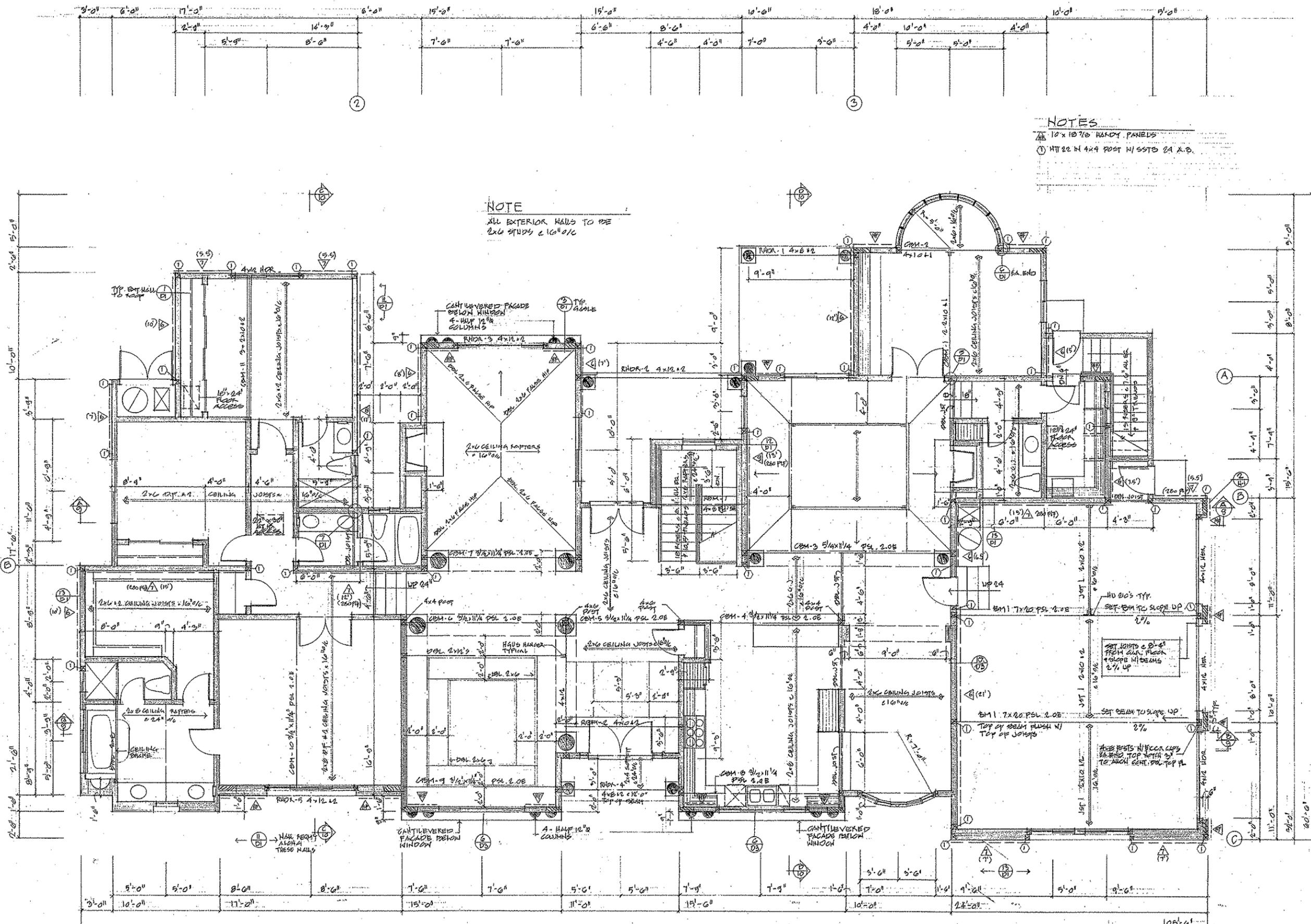








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**NOTE**  
 ALL EXTERIOR WALLS TO BE  
 2x6 STUDS @ 16" O.C.

**NOTES**  
 10' x 10' 7/8" HARDY PANELS  
 HT 22 IN 4x4 POST W/ SSTS 2A A.D.

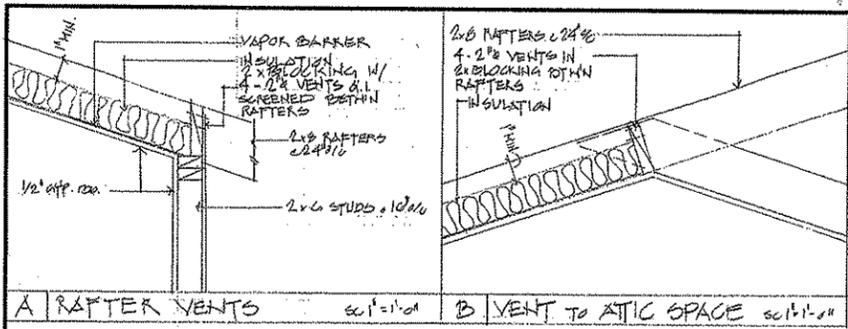
**ROOF FRAMING PLAN**

A NEW CUSTOM HOME OF  
**MR. & MRS. HARRY PANCHAL**  
 2918 CALEVANS RIDGE DR. MILPITAS, CA

441 N. Central Ave, Campbell, CA 95008  
 (408) 370-7890 Fax (408) 370-7893  
 e-mail: pds@pds.net



|       |              |
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| Date  | JULY 07      |
| Scale | 1/8" = 1'-0" |
| Drawn | ALP          |
| Job   | 2408         |
| Sheet | 7            |
| Of 16 | Sheets       |

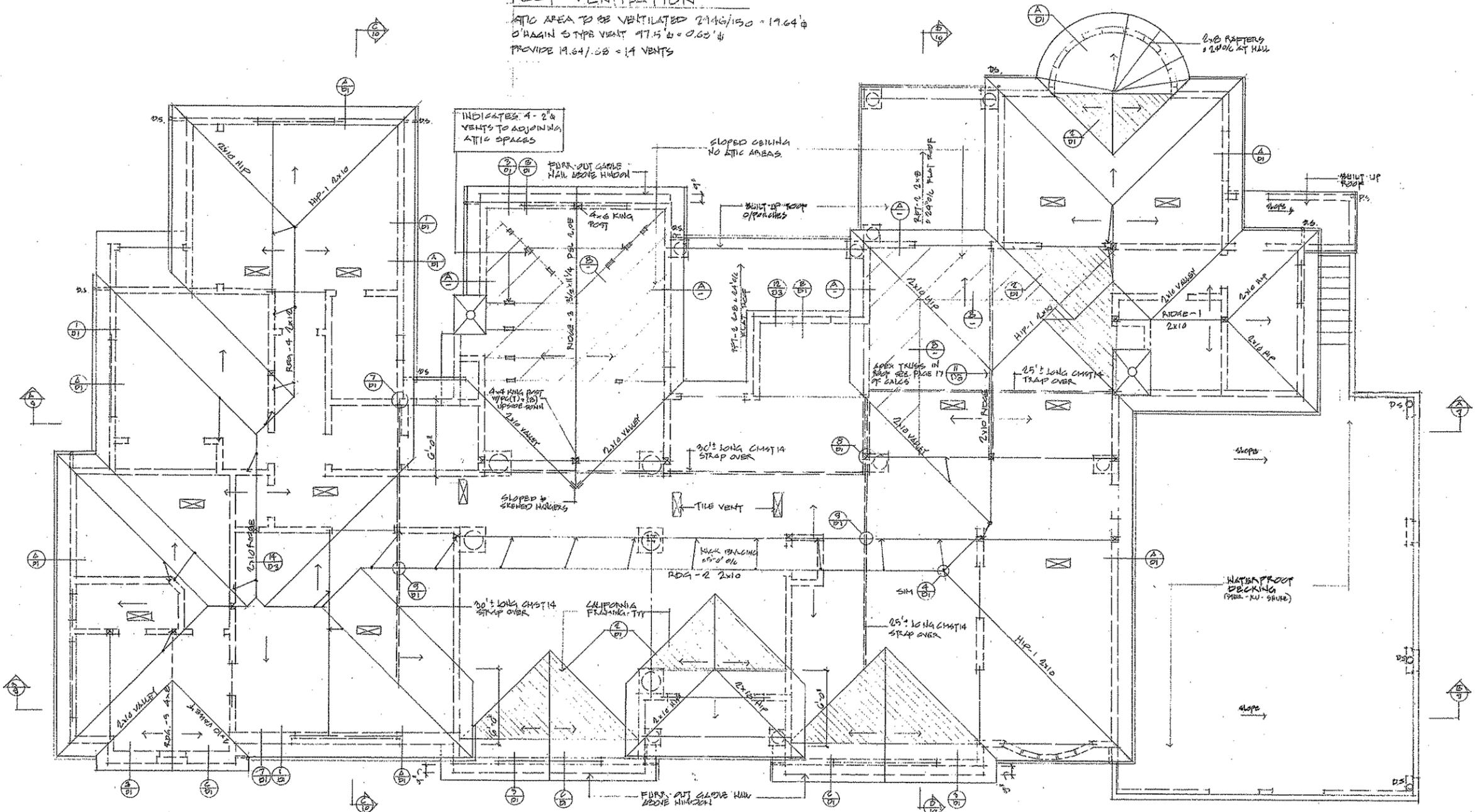


**ROOF NOTES**

ALL ROOF RAFTERS SHALL BE 2x8 @ 24" O.C. U.N.O.  
 ALL RIDGES & VALLEYS SHALL BE 2x10 @ 12" U.N.O.  
 ALL RIDGES SHALL BE 2x10 @ 12" U.N.O. NEAR 1/2" @ 1"  
 ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD, 1/2" @ 12" NAILS  
 20" @ 12" SPACES @ 12" O.C. @ FIELDS  
 ROOF TILE SHALL BE CLASS A OR B PER MKCII-5-2.03

**ROOF VENTILATION**

ATTIC AREA TO BE VENTILATED  $2146/150 = 14.31$   
 0.75 IN. SIPS VENT  $97.15 @ 0.68 @$   
 PROVIDE  $14.31 / 0.68 = 21$  VENTS



**NOTE**  
 APPENDIX CHAPTER 23  
 CONVENTIONAL LIGHT FRAME CONSTRUCTION  
 IN HIGH WIND AREA SHALL COMPLY WITH  
 MKCII-11-5-2.10

**NOTE**  
 INDICATES DUAL RAFTER COLLECTOR PER RLK (R)  
 1/2" CHOST 14 @ 12" ON SHEAR WALL TOP PLATE 1/2" @ 12"

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A NEW CUSTOM HOME FOR:  
**MR. & MRS. HARRY PANCHAL**  
 540 CALLENDON, RIVERSIDE, CALIFORNIA, CA

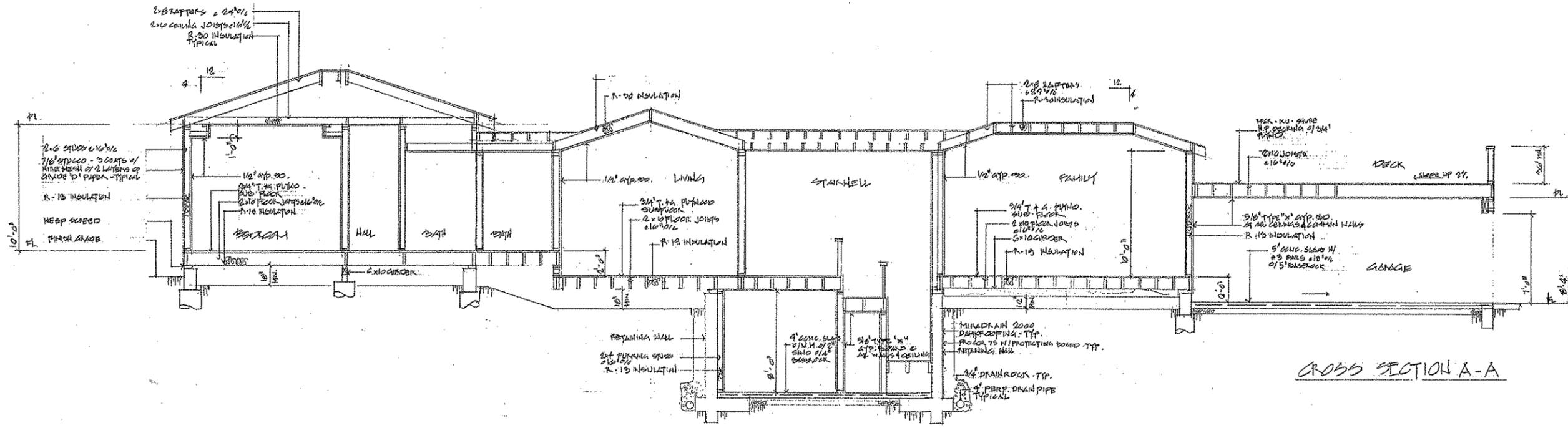
441 N. Central Ave, Campbell, CA 95008  
 (408) 370-7890 Fax: (408) 370-7893  
 e-mail: @pdalco@pdalco.net



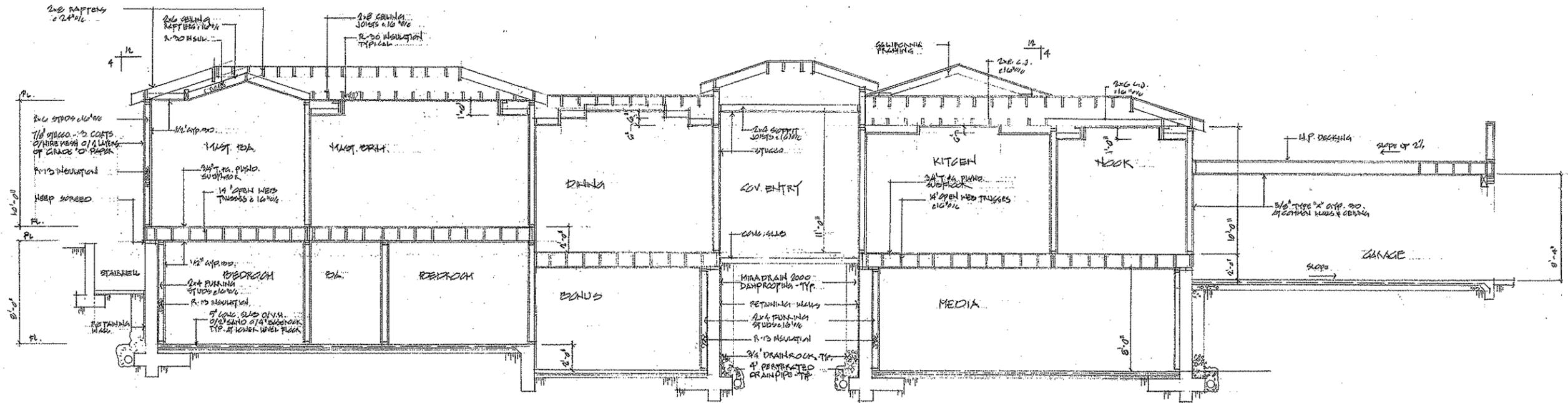
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| Date:        | JULY 07      |
| Scale:       | 1/4" = 1'-0" |
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| Job:         | 2408         |
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| Of 18 Sheets |              |

**ROOF PLAN**

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CROSS SECTION A-A



CROSS SECTION B-B

A NEW CUSTOM HOME FOR:  
**MR. & MRS. HARRY PANCHAL**  
 8918 CALVENAS RIDGE DR., MILPITAS, CA

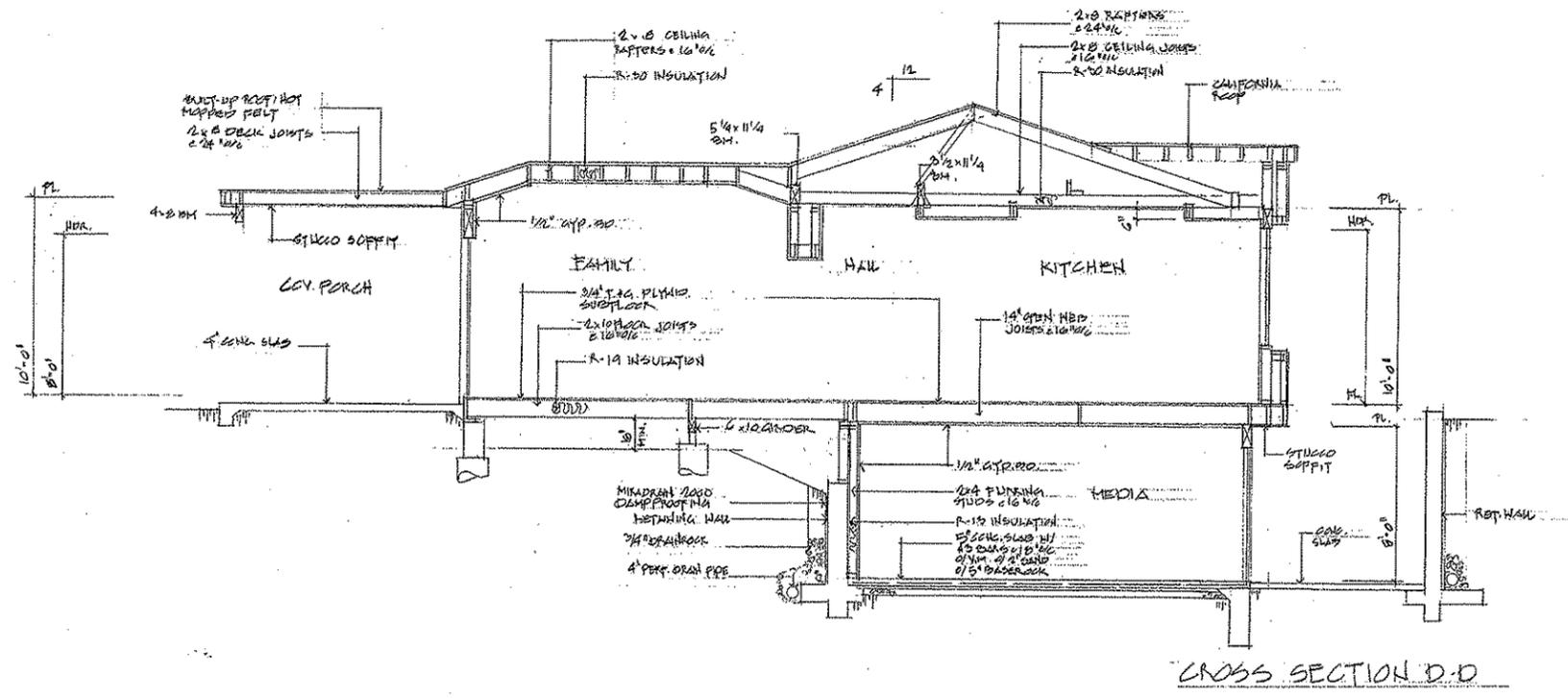
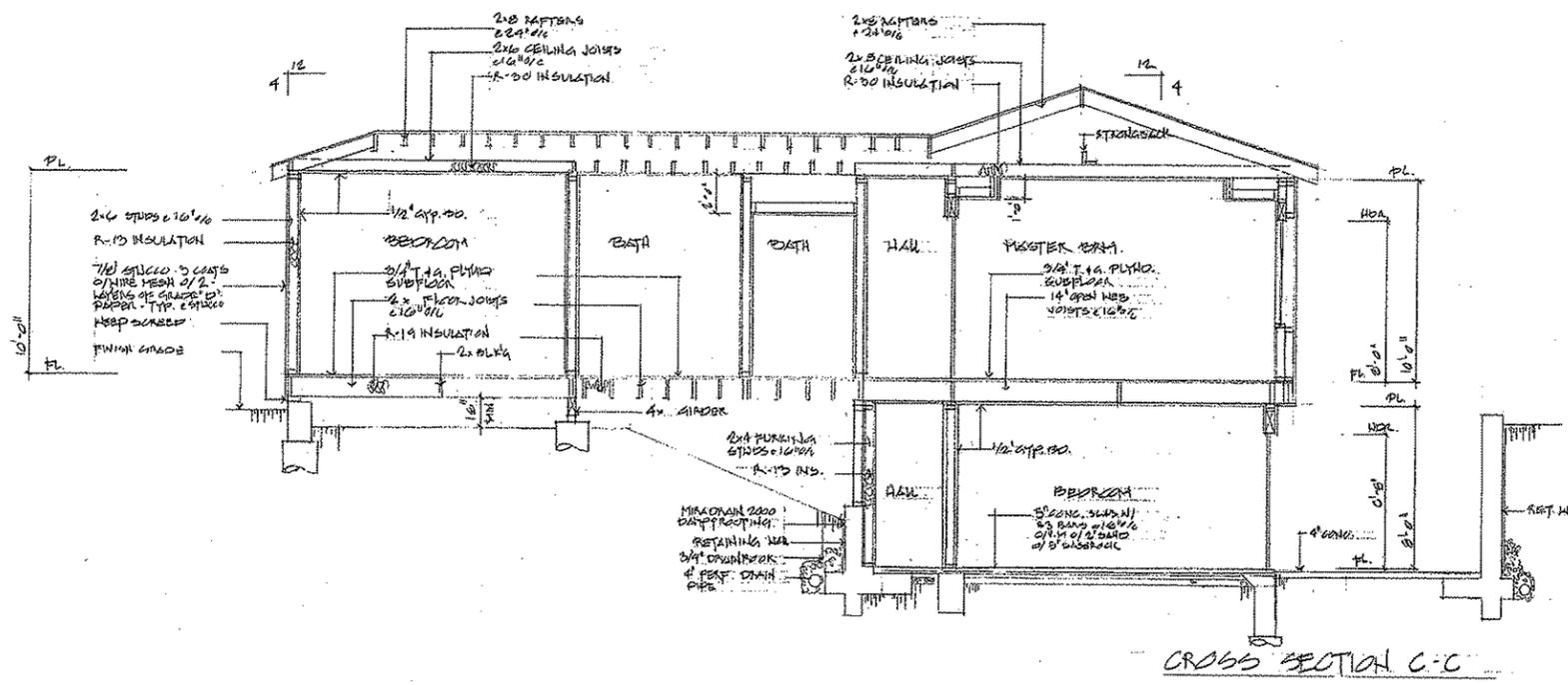
441 N. Central Ave., Campbell, CA 95008  
 (408) 370-7800 Fax (408) 370-7893  
 e-mail: pd@flash.net



Date JULY 07  
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CROSS SECTIONS

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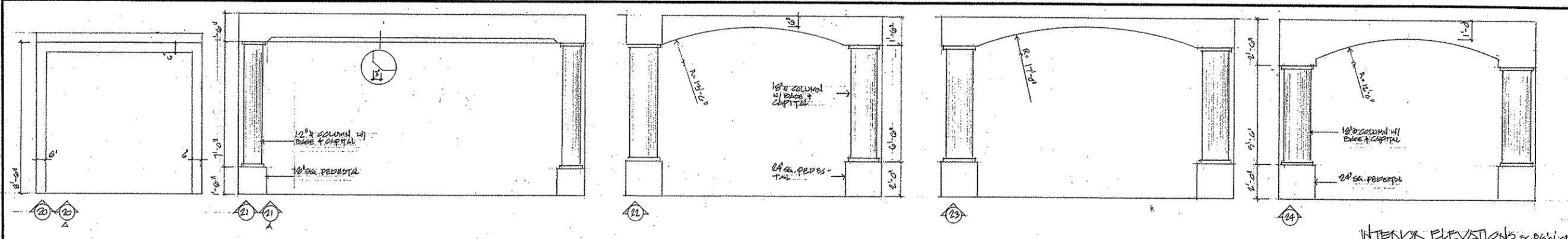
A NEW CUSTOM HOME FOR  
**MR & MRS HARRY PANCHAL**  
 818 CALEXANAS RIDGE DR. MILPITAS, CA

441 N. Central Ave, Campbell, CA 95008  
 (408) 370-7880 Fax (408) 370-7883  
 e-mail @ pdavis@flash.net

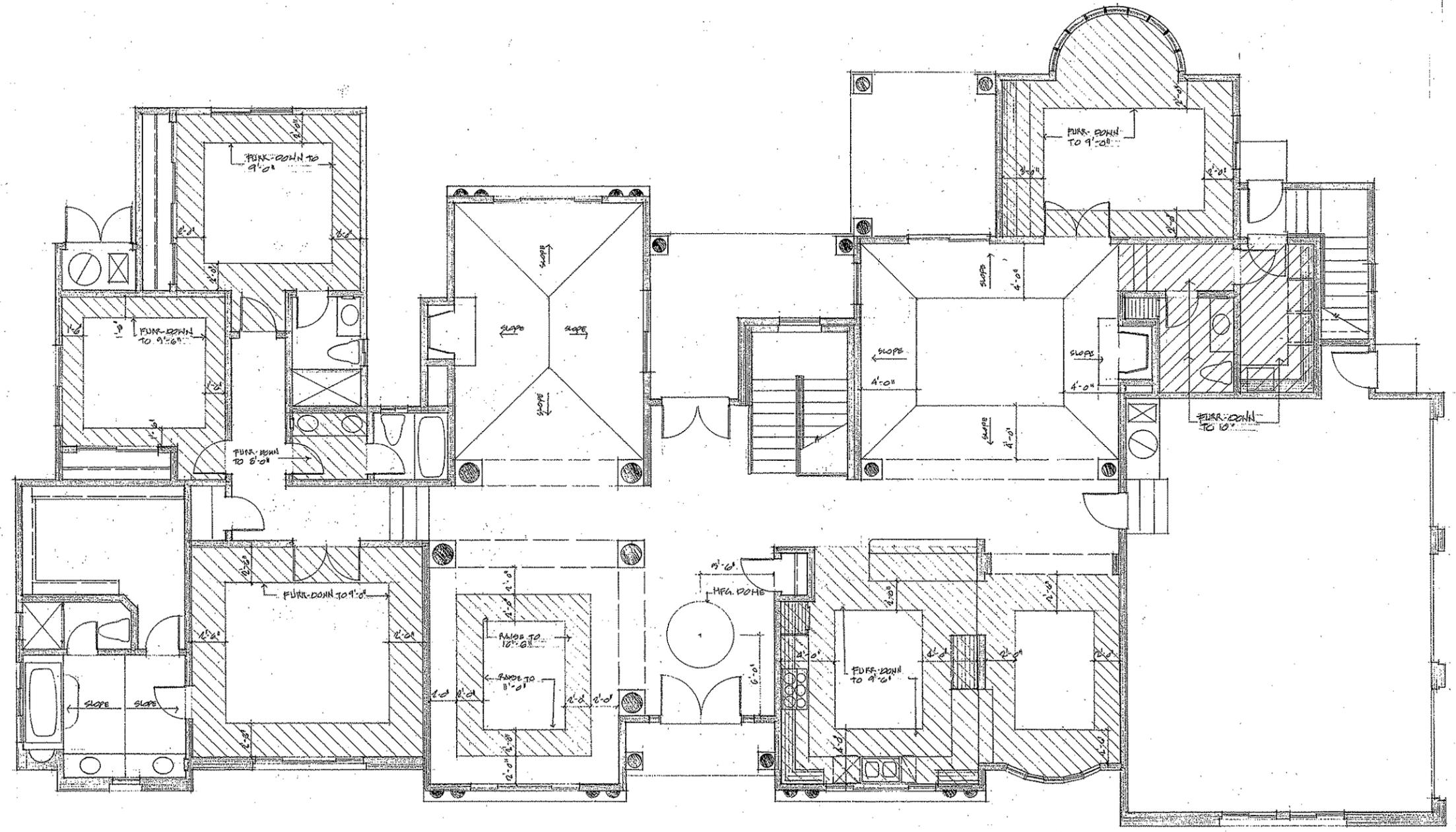


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 Of 18 Sheets

CROSS SECTIONS



INTERIOR ELEVATIONS 06/16/07



MAIN FLOOR REFLECTED CEILING PLAN

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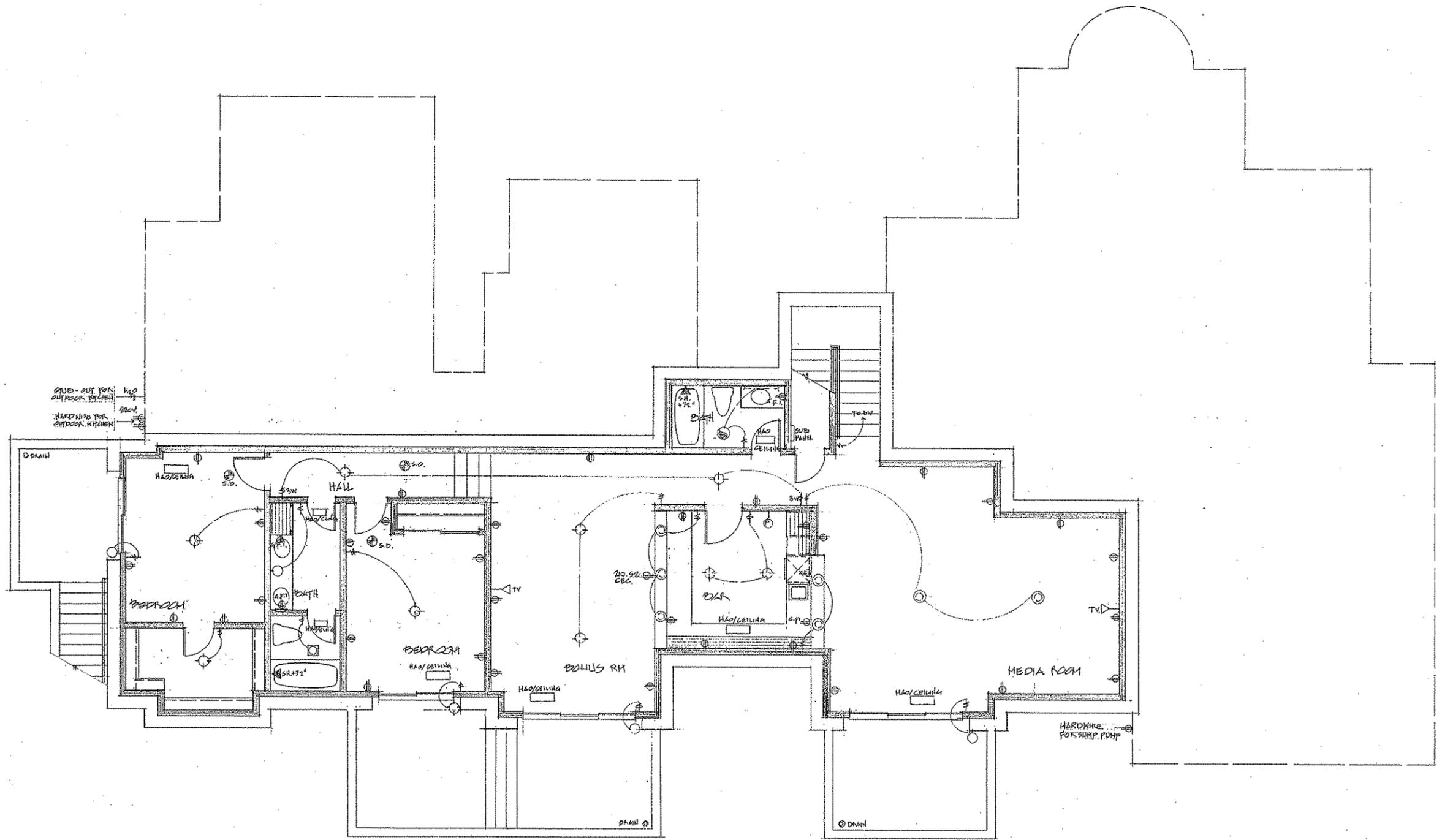
LA NEW CUSTOM HOME FOR  
 MR. & MRS. HARRY PANCHAL  
 513 CALEVARAS RIDGE DR. MILPITAS, CA

441 N. Central Ave. Campbell, CA 95008  
 (408) 370-7890 Fax (408) 370-7893  
 e-mail: [postex@tech.net](mailto:postex@tech.net)



Date JULY 07  
 Scale 1/4" = 1'-0"  
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 Job 2408  
 Sheet 11  
 Of 18 Sheets





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A NEW CUSTOM HOME FOR  
 MR. & MRS. HARRY PANCHAL  
 290 CALVENAS RIDGE DR. MILITAS, CA

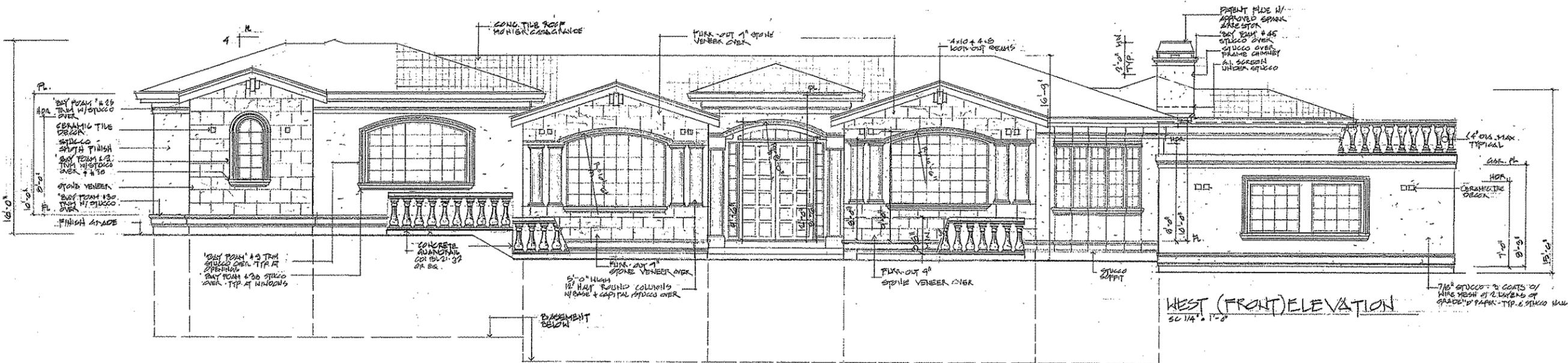
441 N. Central Ave. Campbell, CA 95008  
 (408) 370-7800 Fax (408) 370-7803  
 e-mail: jpalmer@hsh.net



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 Of 13 Sheets

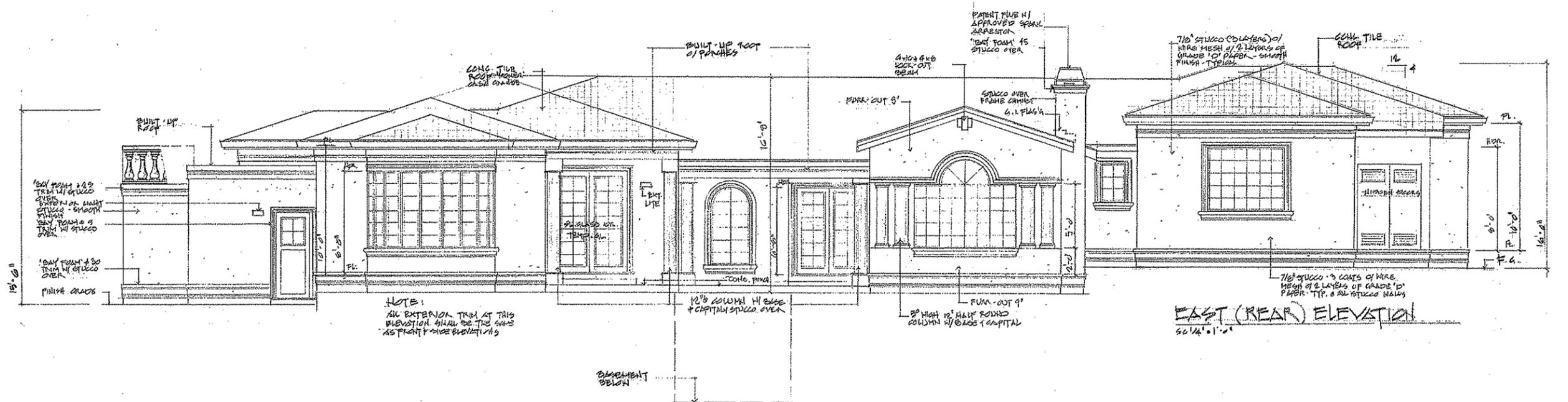
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**WEST (FRONT) ELEVATION**  
50'14" x 17'-0"

**NOTE**  
EXTERIOR STONE VENEER SHALL BE "MULTICOLOR" SAHARA SAND HUNTERS/POLISHED AND STUCCO & TRIM COLOR SHALL CONFORM TO APPROVED COLOR BOARD



**EAST (REAR) ELEVATION**  
50'14" x 17'-0"

**NOTE:**  
ALL EXTERIOR TRIM AT THIS ELEVATION SHALL BE THE SAME AS FRONT SIDE ELEVATIONS

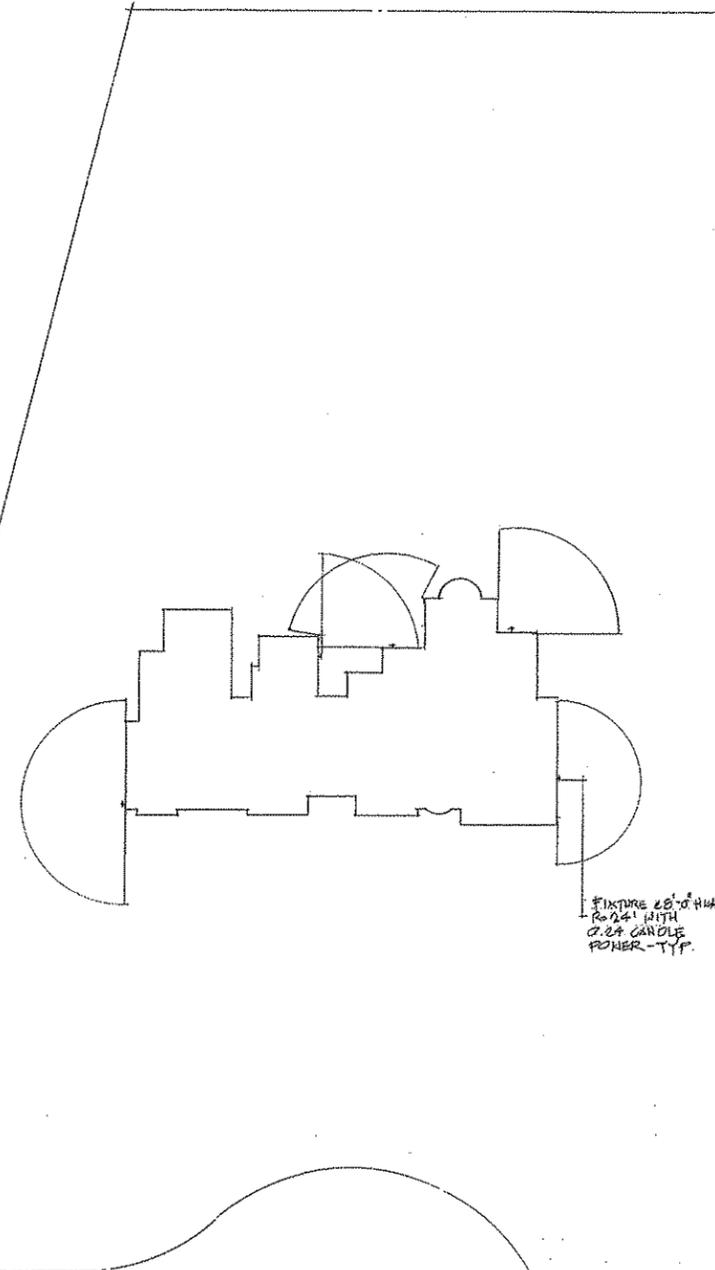
A. HEIN, ARCHITECT, HOUSTON, TEXAS  
 MR. & MRS. HARRY PANCHAL  
 8800 CALLE VERDE, FORT MYERS, FLA.

441 N. Central Ave, Campbell, CA 95008  
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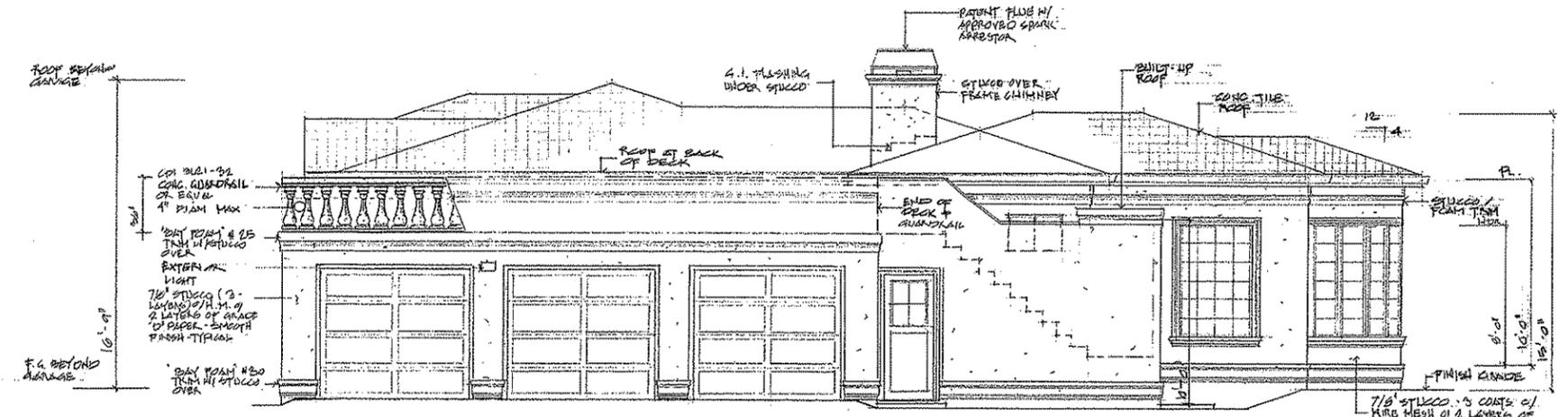


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 Of 18 Sheets

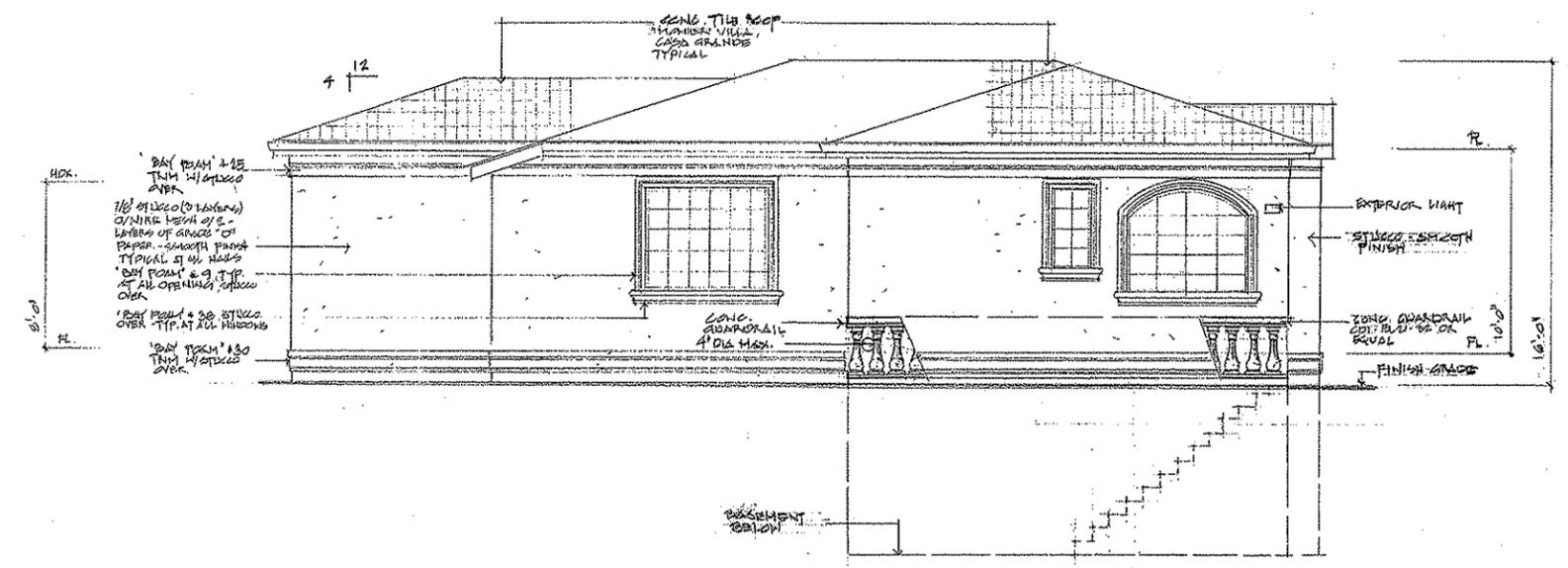
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PHOTOMETRIC PLAN 30' 10" x 24' 0"



SOUTH (RIGHT SIDE) ELEVATION  
30' 10" x 24' 0"



NORTH (LEFT SIDE) ELEVATION  
30' 10" x 24' 0"

A NEW QUALITY HOME FOR...  
MR & MRS HARRY PANCHAL  
840 CALLENDOR RIDGE DR. MURFRES, CA

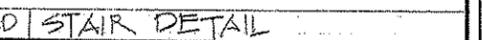
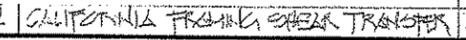
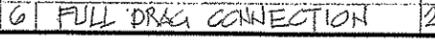
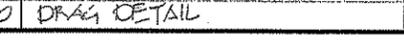
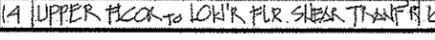
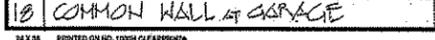
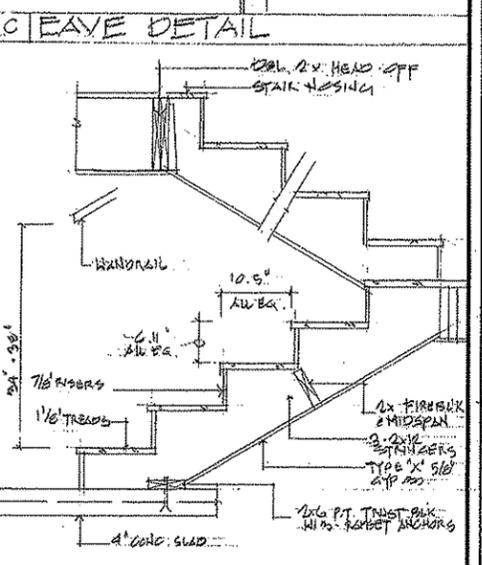
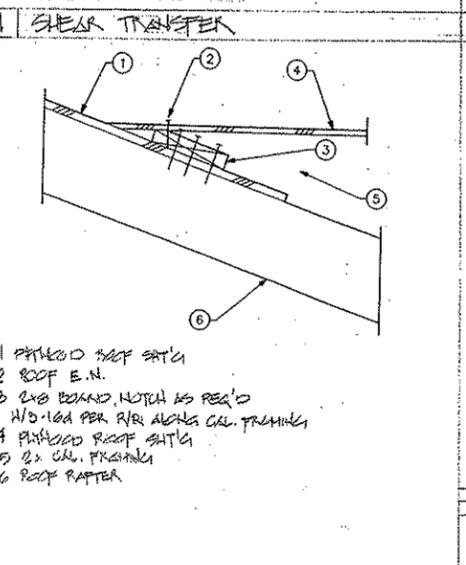
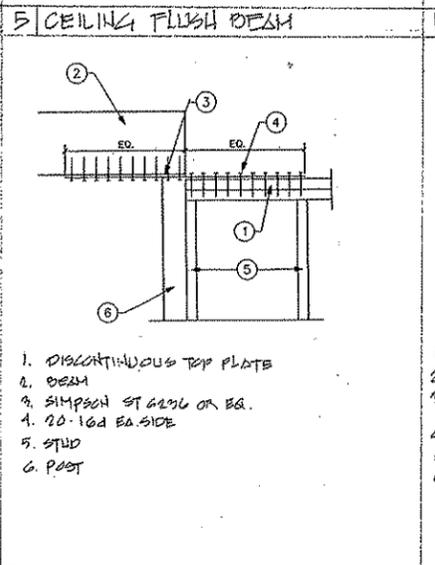
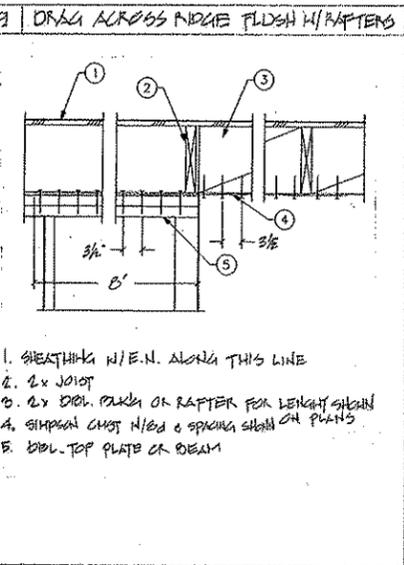
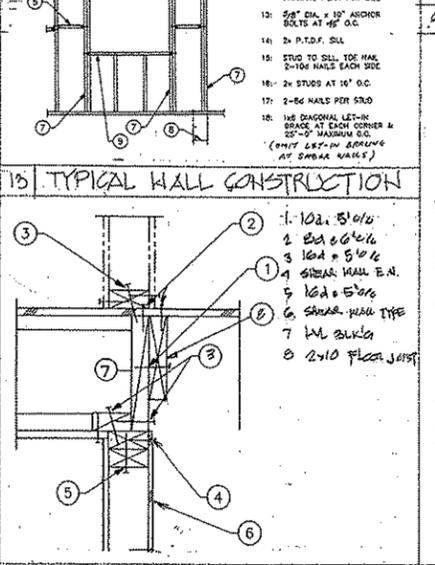
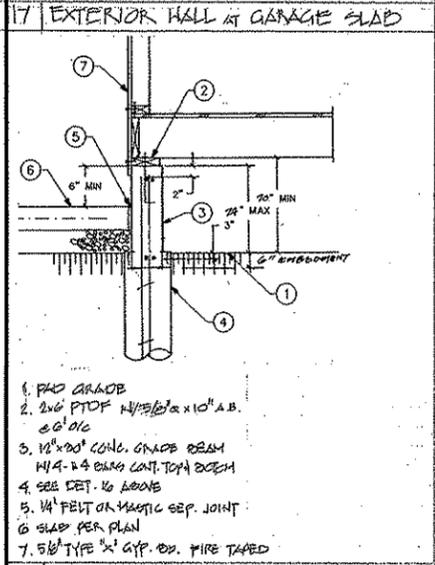
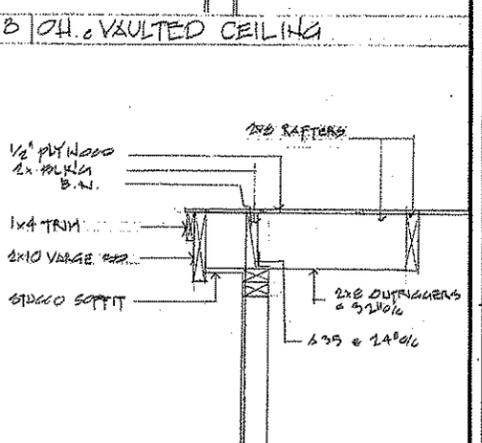
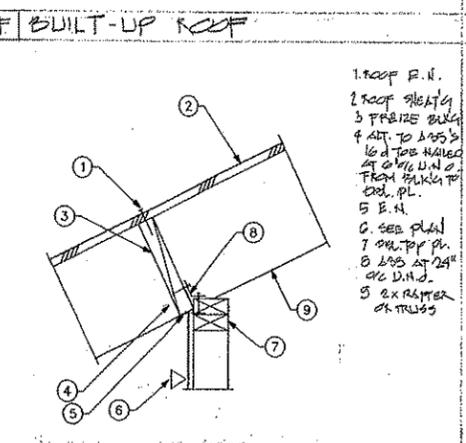
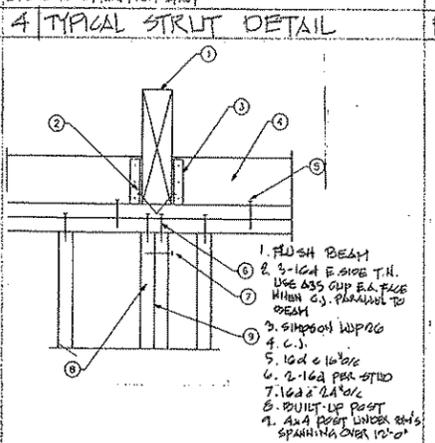
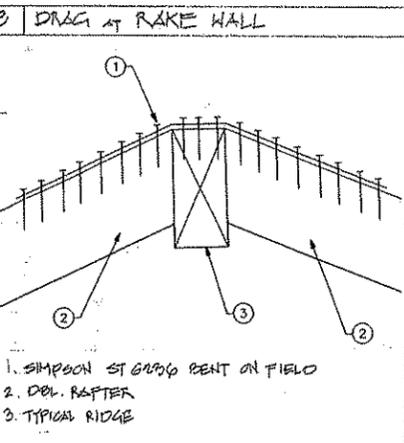
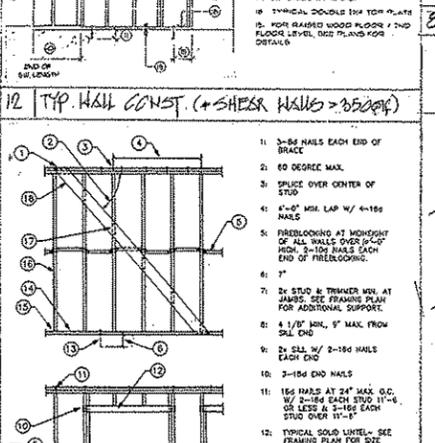
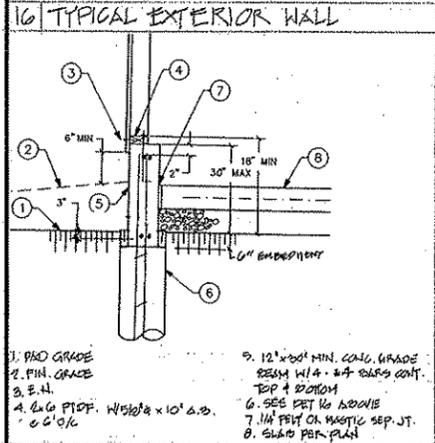
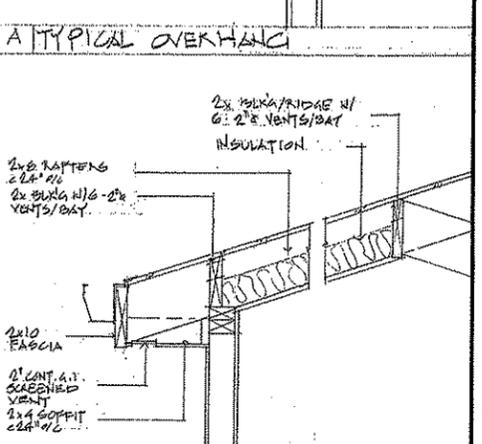
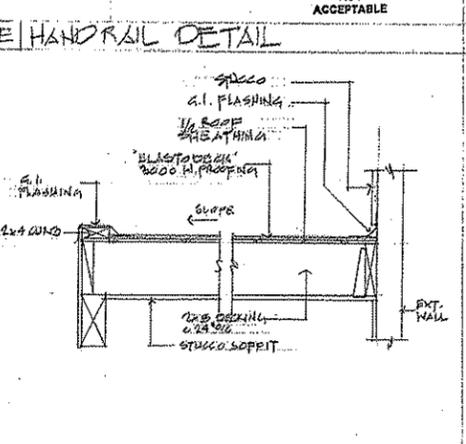
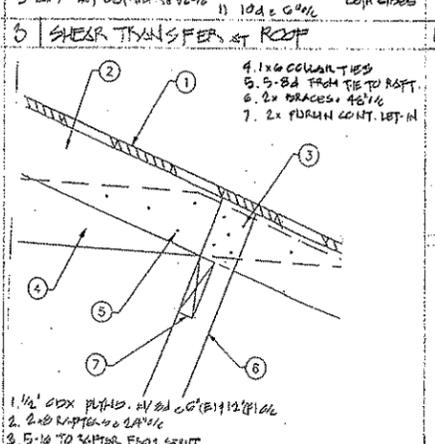
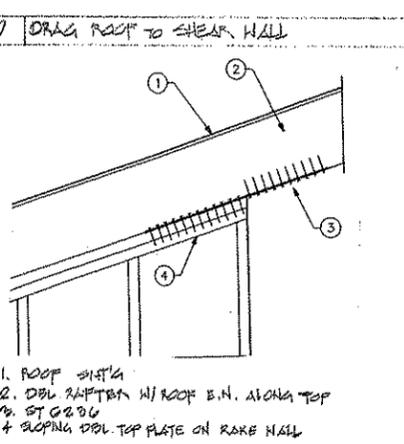
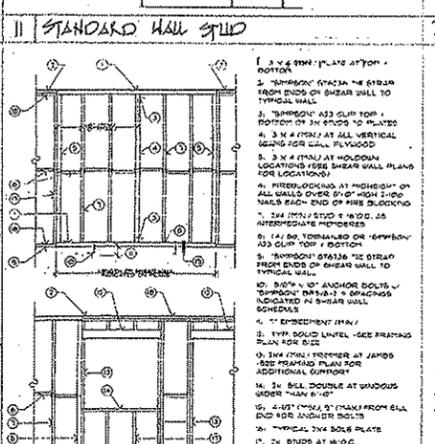
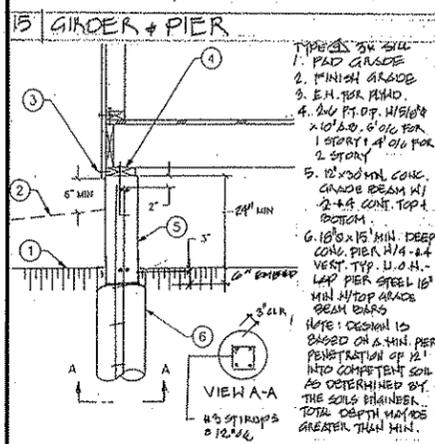
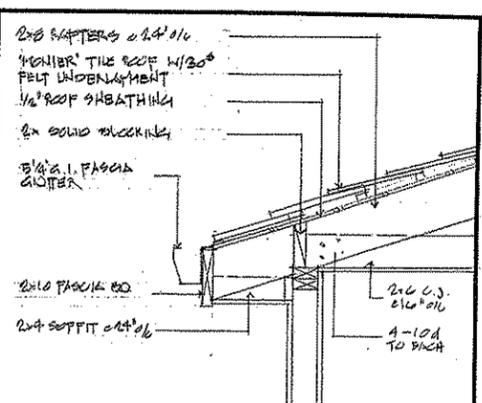
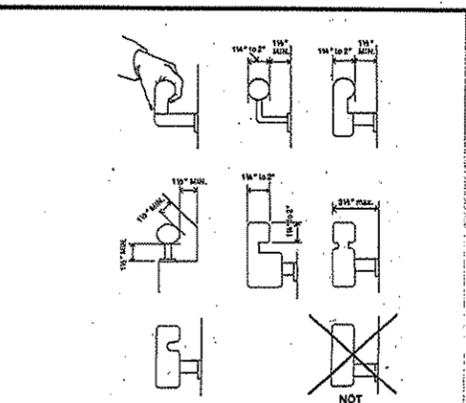
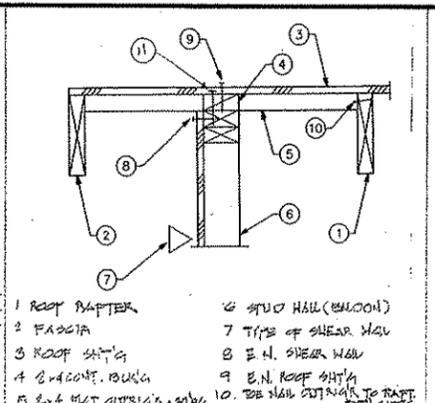
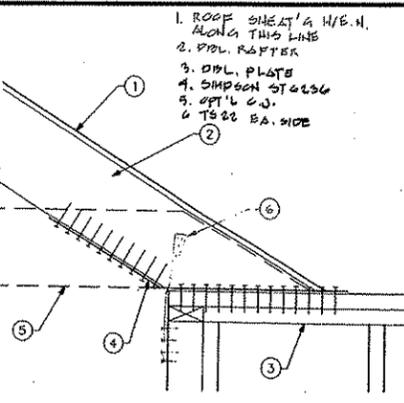
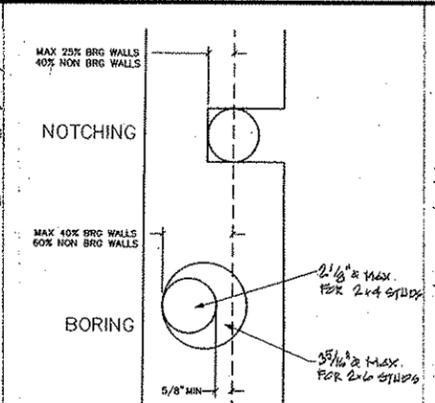
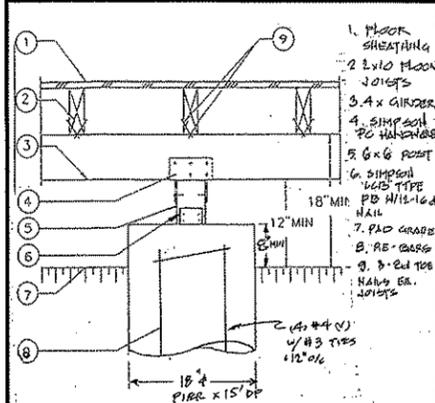
441 N. Central Ave, Campbell, CA 95008  
(408) 370-7890 Fax (408) 370-7893  
e-mail @ potalox@flash.net



Date JULY 07  
Scale 1/4" = 1'-0"  
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Job 2408  
Sheet 15  
Of 18 Sheets

EXTERIOR ELEVATIONS

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DETAILS  
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 e-mail: pdetail@flash.net



Date: JULY 07  
 Scale: 1/2" = 1'-0"  
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 Job: 2408  
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**GENERAL NOTES**

THE FOLLOWING SPECIFICATIONS SHALL CONFORM TO THE 2003 CBC AND ANY OTHER CITY & COUNTY ORDINANCES THAT ARE IN FORCE AT THE TIME OF THIS PROJECT.

THE SELECTED GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO STARTING ANY FIELDWORK.

ANY DEVIATION CALLED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON THE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION. ANY DISCREPANCY NOT REPORTED TO THE ENGINEER WILL ASSUME THE ENGINEER FROM ANY LIABILITY FOR DAMAGE CAUSED BY THE NOTED DEVIATIONS.

TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE PROVIDED.

DIMENSIONS SHOWN ON PLANS OR DETAILS TAKE PRECEDENCE OVER SECTIONS SHOWN.

THE SELECTED GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

**STRUCTURAL STEEL**

STRUCTURAL STEEL SHALL CONFORM TO ALL THE (AISI) SPECIFICATIONS AND TO THE LATEST APPROVED EDITION OF THE AISC DESIGN GUIDE FOR FABRICATION AND ERECTION.

ALL BOLTS SHALL CONFORM TO A325 OR A490 FOR UNSTRENGTHENED BOLTS.

ALL BOLT HOLES IN STEEL MEMBERS SHALL BE TRUE. BUSHING OF HOLES FOR CONNECTIONS WILL NOT BE PERMITTED.

PROVIDE FULL BEARING ON UNTHREADED PORTION OF BOLT SHANK FOR ALL STEEL CONNECTIONS.

PROVIDE LEVELING NUTS FOR ALL BOLTS AT BEAM SEATS AND COLUMN BASE PLATES.

ALL NUTS FOR STRUCTURAL STEEL CONNECTIONS SHALL BE HEAVY HEXAGONAL NUTS.

ALL WELDING SHALL BE AS INDICATED ON THE DETAILS AND PERFORMED BY A QUALIFIED WELDER UNDER CONTINUOUS SUPERVISION AS PER C.S.C. 109.5. FIELD WELDING, OTHER THAN WIRE ELECTRODE SHIELD METAL ARC WELDING, IS NOT PERMITTED, UNLESS NOTED OTHERWISE IN THE DETAILS.

**CONCRETE**

CONCRETE FOR SLABS ON GROUND, BEAM FOOTINGS OR PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE ON THE PLANS.

THE MAXIMUM AGGREGATE SIZE SHALL BE 3/4" AND MAXIMUM SLUMP SHALL BE 4" ±.

ANCHOR BOLTS, EMBEDMENT BOLTS, DOUBLES AND OTHER REQUIRED DEVICES SHALL BE POSITIONED AND FIRMLY SECURED IN PLACE BEFORE THE CONCRETE IS PLACED.

THE SELECTED GENERAL CONTRACTOR SHALL TAKE ALL THE NECESSARY MEASURES TO PROVIDE A PROPER CURING OF THE CONCRETE.

THE EXCAVATED BOTTOM OF ALL FOOTINGS SHALL EXTEND TO ELEVATION SHOWN ON THE DETAILS AND THE FOOTINGS SHALL BE POURING INTO EXCAVATIONS WITHOUT SETBACKS AS POSSIBLE.

**SOILS**

THE SELECTED GENERAL CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH ALL OF THE SOIL INVESTIGATION REPORT REQUIREMENTS AND RECOMMENDATIONS, AND TAKE ALL NECESSARY MEASURES FOR A CORRECT AND COMPLETE IMPLEMENTATION OF SUCH REQUIREMENTS, IN THE FIELD.

**REINFORCING STEEL**

REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO A.S.T.M. A618-99 REQUIREMENTS AND WELDED WIRE MESH PER A.S.T.M. SPECIFICATION A185.

REBARS NO. 4 AND SMALLER SHALL BE OF GRADE 60, AND REBAR NO. 5 AND LARGER SHALL BE OF GRADE 60 OR ALL REINFORCING BARS SHALL BE CLEAR OF ANY REBAR, OR FOREIGN MATERIALS.

ALL REINFORCING SPACES SHALL BE LAPPED A MINIMUM OF 18 BAR DIAMETERS, BUT NOT < 24".

CONCRETE COVERAGE FOR REINFORCEMENT SHALL BE:

- 1" WHERE POURED AGAINST EARTH
- 2" WHERE POURED AGAINST FORMS
- 1" FOR SLABS POURED AGAINST FORMS

OTHER COVER REQUIREMENTS MAY BE NOTED ON THE PLANS AND DETAILS.

SEE THE FINAL APPROVED PLAN FOR THE QUANTITY AND LOCATION OF ANCHOR BOLTS. LOCATE BOLTS WITHIN 12" FROM CORNERS AND STILL OUT JOINTS.

**CONCRETE MASONRY**

ALL MASONRY WORK SHALL BE REINFORCED GROUTED MASONRY AND CONFORM TO THE 2003 CBC WHICH SHALL BE WITHIN 1/8" TOLERANCE WITH A MAX. LEAN SAND PROPORTION OF 25% PER A.S.T.M. CONCRETE GRADE. A HOLLOW UNIT SHALL HAVE ALL CELLS GROUTED, WHILE SOLID UNITS SHALL BE GROUTED TOP, WIDTH OR THE GROSS AREA OF THE BLOCKS. NO CONTINUOUS PERIODIC SPECIAL INSPECTION IS REQUIRED, UNLESS NOTED ON THE PLANS.

MORTAR JOINTS SHALL BE COMPOSED OF ONE PART PORTLAND CEMENT TO NOT MORE THAN THREE PARTS SAME GRADE SAND. JOINTS SHALL BE COMPOSED OF ONE PART PORTLAND CEMENT TO NOT MORE THAN THREE PARTS SAND AND NOT LESS THAN TWO PARTS PER GRAVEL. JOINTS SHALL BE 1/2" FOR BOTH THE MORTAR AND GROUT MIXED (M AS NOTED ON THE PLAN).

WALLS TO BE GROUTED IN PLACE. UNLESS NOTED OTHERWISE (OR BLOCKS/UNITS ARE USE ALL REINFORCING SHALL HAVE MINIMUM COVERAGE OF 1" OF GROUT. ALL BOLTS SHALL HAVE MINIMUM COVERAGE OF 1" OF GROUT.

NO PIPES OR DUCTS SHALL BE PLACED IN MASONRY UNLESS SPECIFICALLY NOTED IN DETAILS.

OPENINGS IN CONCRETE FOR MASONRY WALLS SHALL BE 3/4" FOR AS SHOWN ON THE DETAILS.

ALL REINFORCING BARS SHALL BE PROVIDED WITH AN APPROVED MOISTURE BARBERS ON THE DIRT SIDE. SEE THE ARCHITECT'S SPECIFICATIONS FOR DETAILS.

**LUMBER**

WOOD MEMBERS LESS THAN 4" IN WIDTH SHALL BE DRYED TO 19% MOISTURE OR WIDER SHALL BE DRYED TO 18% OR BETTER UNLESS NOTED OTHERWISE ON THE PLANS.

UNLESS NOTED OTHERWISE ON THE PLANS, ALL MILLING SHALL BE PER C.B.C. TABLE NO. 23-10-1 AND 23-10-2.

ALL CONNECTING HARDWARE SHALL BE SHOWN COMPANY TYPE, USE LUMBER CONNECTORS TYPE "E" EQUAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS, U.S.G.O.

GLUE LAMINATED BEAMS SHALL BE OF A GRADE COMBINATION PROVIDING A MINIMUM FIBER 3400 PSI GRADE (1700 PSI MIN). NO CORNER JOINTS UNLESS NOTED OTHERWISE ON THE PLANS.

ROOF SHEATHING SHALL BE A MINIMUM 1/2" CDX PLYWOOD WITH EXTERIOR GLUE, GROUP 1. EXPOSED SHEATHING AT ROOF OVERHANG SHALL BE AS PREPARED ON THE ARCHITECT'S DWG.

FLOOR SHEATHING SHALL BE 5/8" CDX PLYWOOD WITH EXTERIOR GLUE, GROUP 2. SEE PLANS FOR SIZE.

BEARING AND NON-BEARING WALLS SHALL HAVE DOUBLE TOP PLATES, LAPPED AT INTERSECTIONS. PLATE JOINTS SHALL BE STAGGERED BY 4" AS INDICATED ON THE STRUCTURAL DETAILS. 1/2" LAP SPACES W/ 180 DEGREE FACE NAIL 1/4" LAP SPACES, HAILING, U.S.G.O. ON PLANS.

UNLESS NOTED OTHERWISE ON THE PLANS, WALLS SHALL BE 2 x 4 STUDS (min 16" o.c.) WITH 16" O.C.

ALL HEADERS ARE AS NOTED ON THE APPROVED TRAIL PLANS.

ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLASS FIR, USE HOT-DIPPED, zinc-coated GALVANIZED, STAINLESS STEEL, OR ALUMINUM ALLOW CORROSION RESISTANT ANCHOR BOLTS ON PRESSURE TREATED WOOD PLATES.

HOLES FOR BOLTS SHALL BE BORED WITH A BIT 1/8" LARGER THAN THE NOMINAL BOLT DIAMETER. ALL BOLTS SHALL BE NOTIFIED PRIOR TO APPLICATION OF PLTWD, GYP, GRD, OR.

STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, UNLESS SPECIFICALLY NOTED IN DETAILS.

2x SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS.

ALL BOLTS BEARING ON POOR QUALITY WOOD SHALL HAVE SHIMON "SP52" WASHERS UNDER HEAD AND NUT, UNLESS NOTED OTHERWISE IN THE DETAILS.

**SPECIAL INSPECTION and TESTING** (PER CBC SECTION 1901, ONLY WHERE APPLICABLE)

CONCRETE PLACEMENT AND STRENGTH TESTING SHALL BE PER 2003 CBC, SECTION 1701.1.1.

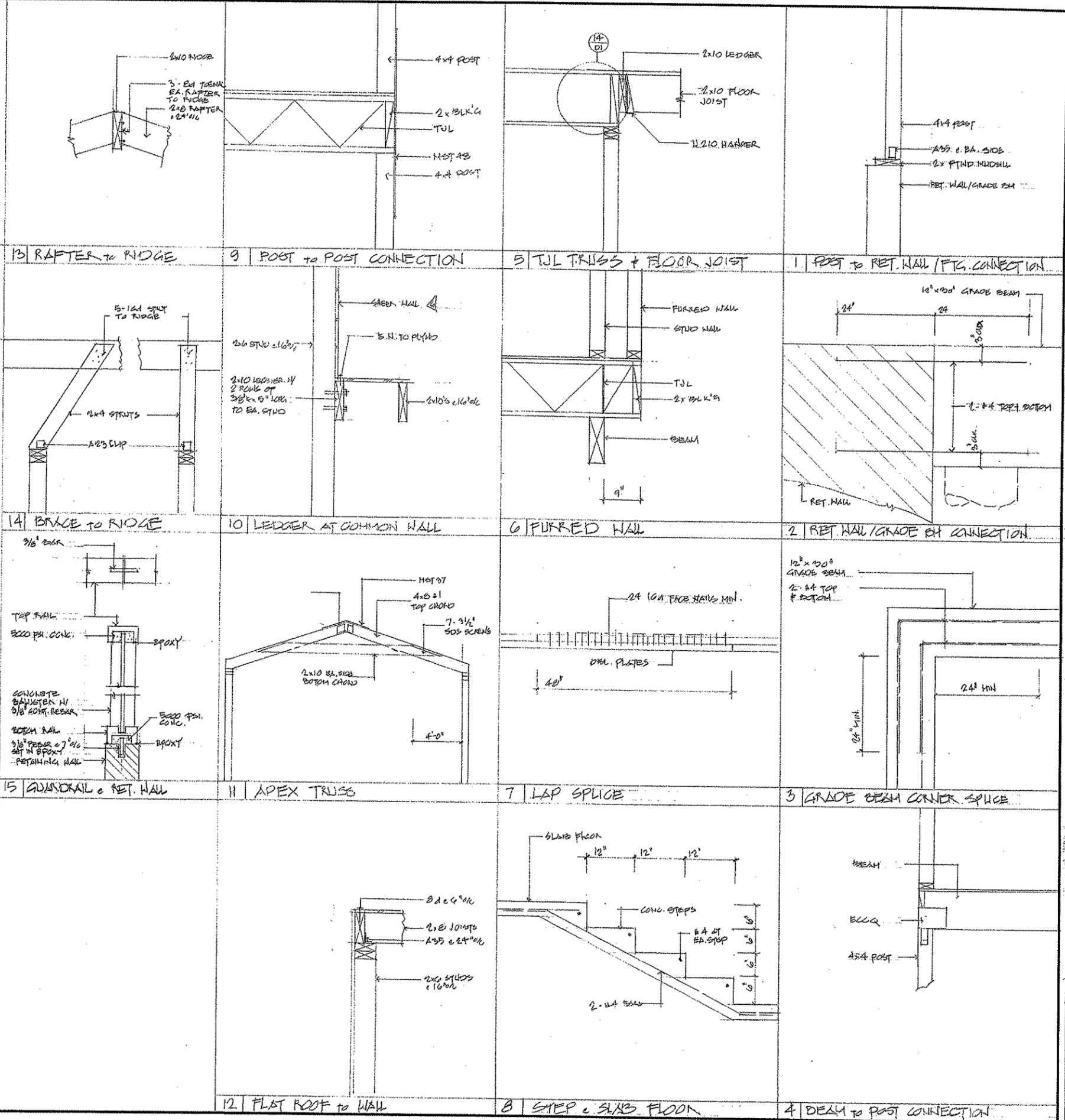
PLACEMENT OF BOLTS IN CONCRETE SHALL BE PER 2003 CBC, SECTION 1701.1.2.

PLACEMENT OF CONCRETE REINFORCEMENT SHALL BE PER 2003 CBC, SECTION 1701.1.3.

ALL WELDING SHALL BE PER 2003 CBC, SECTION 1701.1.1 THROUGH 1701.1.3 WITH THE EXCEPTION OF SHOP WELDING PERFORMED IN AN APPROVED FABRICATION SHOP IN ACCORDANCE WITH CBC, SECTION 1701.7.

INSTALLATION OF HIGH-STRENGTH BOLTS SHALL BE PER 2003 CBC, SECTION 1701.3.

SPECIFICATION OF HIGH-STRENGTH NON-SHIMON GROUP AND ITS SPECIAL INSPECTION SHALL BE PER 2003 CBC, SECTION 1701.1.5.

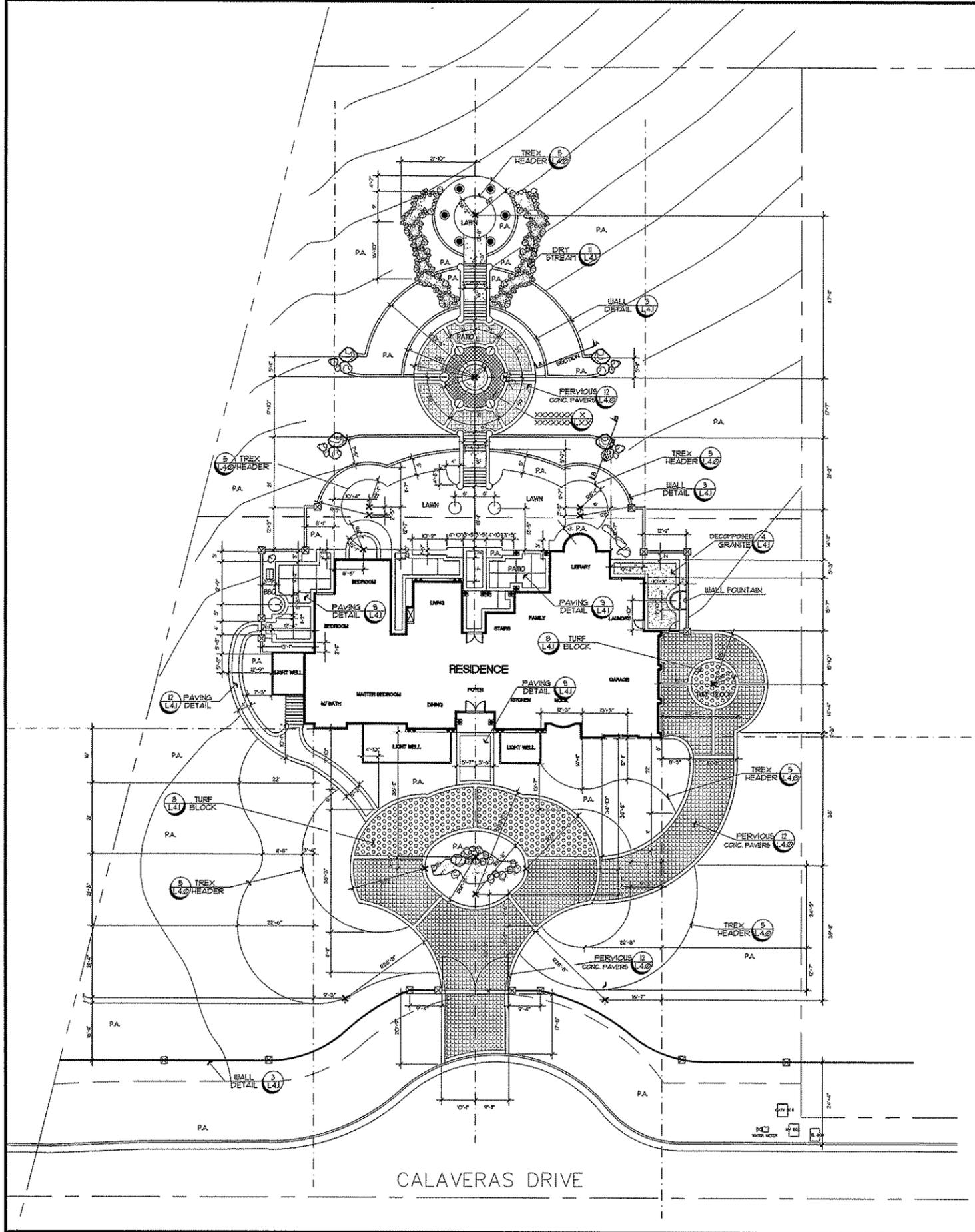


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 e-mail @ potator@flash.net

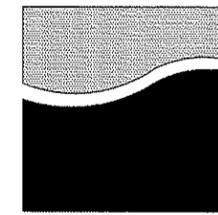
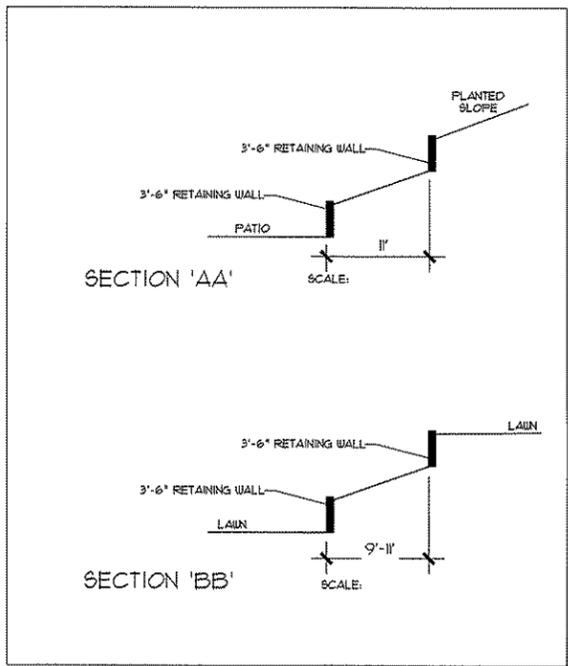


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 Job: 2409  
 Sheet: 103  
 Of: 103



### LAYOUT NOTES

1. FOR ADDITIONAL INFORMATION SEE DETAILS AND SPECIFICATIONS.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (MIN. 2% SLOPE).
3. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
4. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/10 FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
5. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
6. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS.
7. ALL DIMENSIONS ARE TO BE TAKEN FROM FACE OF CURBS, FACE OF WALLS, AND FACE OF BUILDINGS UNLESS OTHERWISE NOTED ON PLANS.
8. P. A. - INDICATES LANDSCAPE PLANTING AREA.
9. CONTRACTOR SHALL KEEP EXISTING SITE DRAINAGE PATTERNS. COORDINATE DOWNSPOUT TIE-INS TO UNDERGROUND SYSTEM WITH OWNER.
10. PRIOR TO ANY DIGGING, CALL UNDERGROUND SERVICE ALERT 1.800.642.2444.
11. EXISTING TREE TO REMAIN
12. BASE LINE FOR DIMENSIONS



**REED ASSOCIATES**  
 LANDSCAPE ARCHITECTURE  
 477 SOUTH TAAFFE STREET  
 SUNNYVALE, CALIFORNIA 94086  
 408.481.9920 / 408.481.9022 FAX  
 web: www.raia.net / email: reed@raia.com

### RESIDENCE FOR MR. & MRS. PANCHAL

898 CALAVERAS RIDGE ROAD  
 MILPITAS, CA

| ISSUE | DATE |
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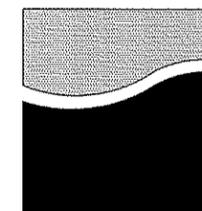
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Approved: pjr  
 Drawn: JRB Reviewed: xx  
 Project No. 03.xx  
 Scale: 1"=16'-0" Issue Date: 06/20/05



### LANDSCAPE LAYOUT PLAN

L1.0



**REED ASSOCIATES**  
 LANDSCAPE ARCHITECTURE  
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**RESIDENCE FOR  
 MR. & MRS. PANCHAL**

898 CALAVERAS RIDGE ROAD  
 MILPITAS, CA

ISSUE \_\_\_\_\_ DATE \_\_\_\_\_

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Approved: pjr  
 Drawn: JRB Reviewed: xx  
 Project No. 03.xx  
 Scale: 1"=16'-0" Issue Date 06/20/05

**LANDSCAPE MATERIALS  
 AREA TAKE-OFF**

L1.1

Sheet of

**LANDSCAPE AREA TAKE-OFF**

**PERMEABLE LANDSCAPE AREAS**

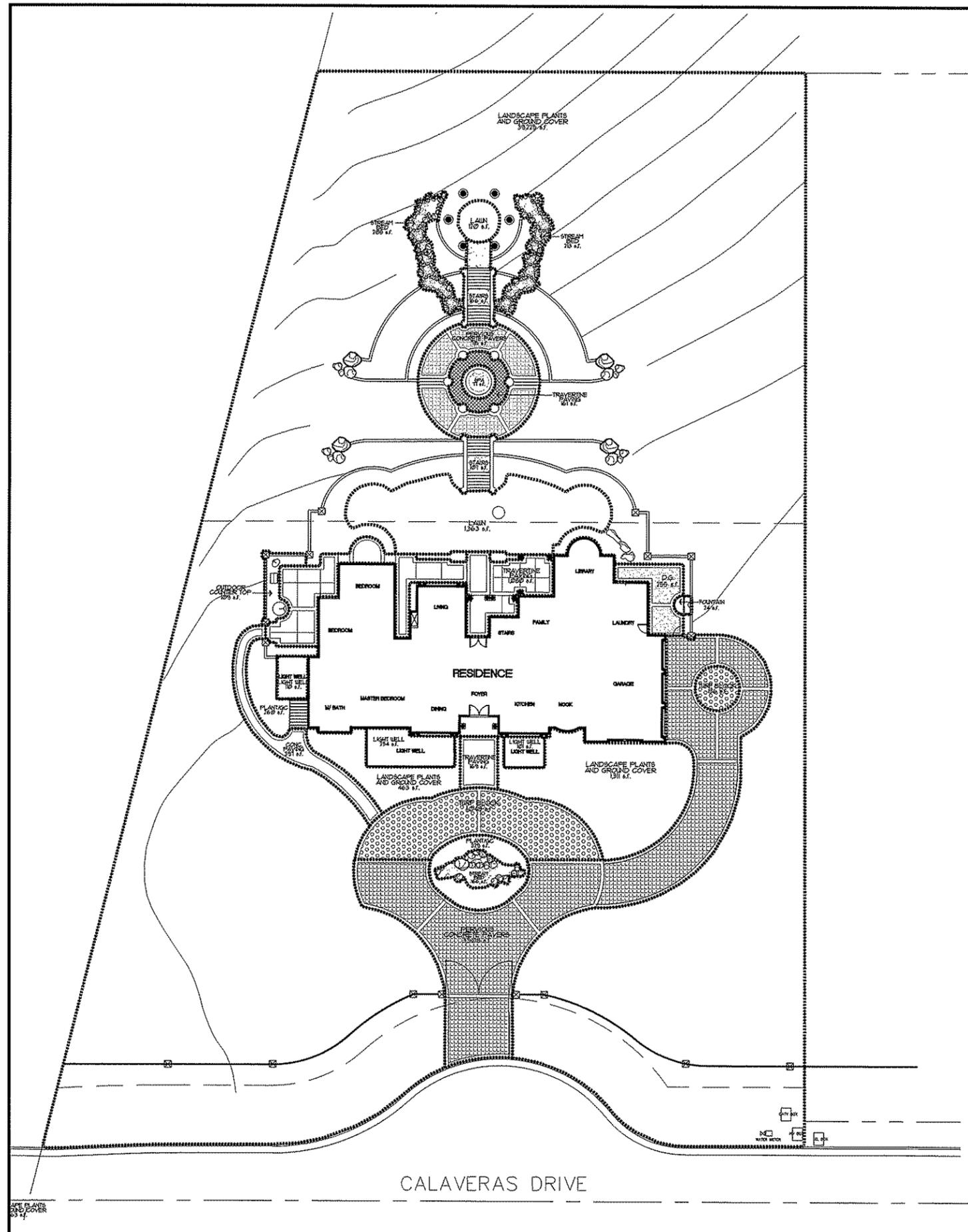
| ITEM DESCRIPTION            | AREA          |
|-----------------------------|---------------|
| 1 SHRUBS AND GROUND COVER   | 41,588 S.F.   |
| 2 LAWN                      | 1,483 S.F.    |
| 3 TURF BLOCK                | 184 S.F.      |
| 4 PERVIOUS CONCRETE PAVERS  | 4,223 S.F.    |
| 5 DRY STREAM BED            | 587 S.F.      |
| <b>TOTAL SQUARE FOOTAGE</b> | <b>49,065</b> |

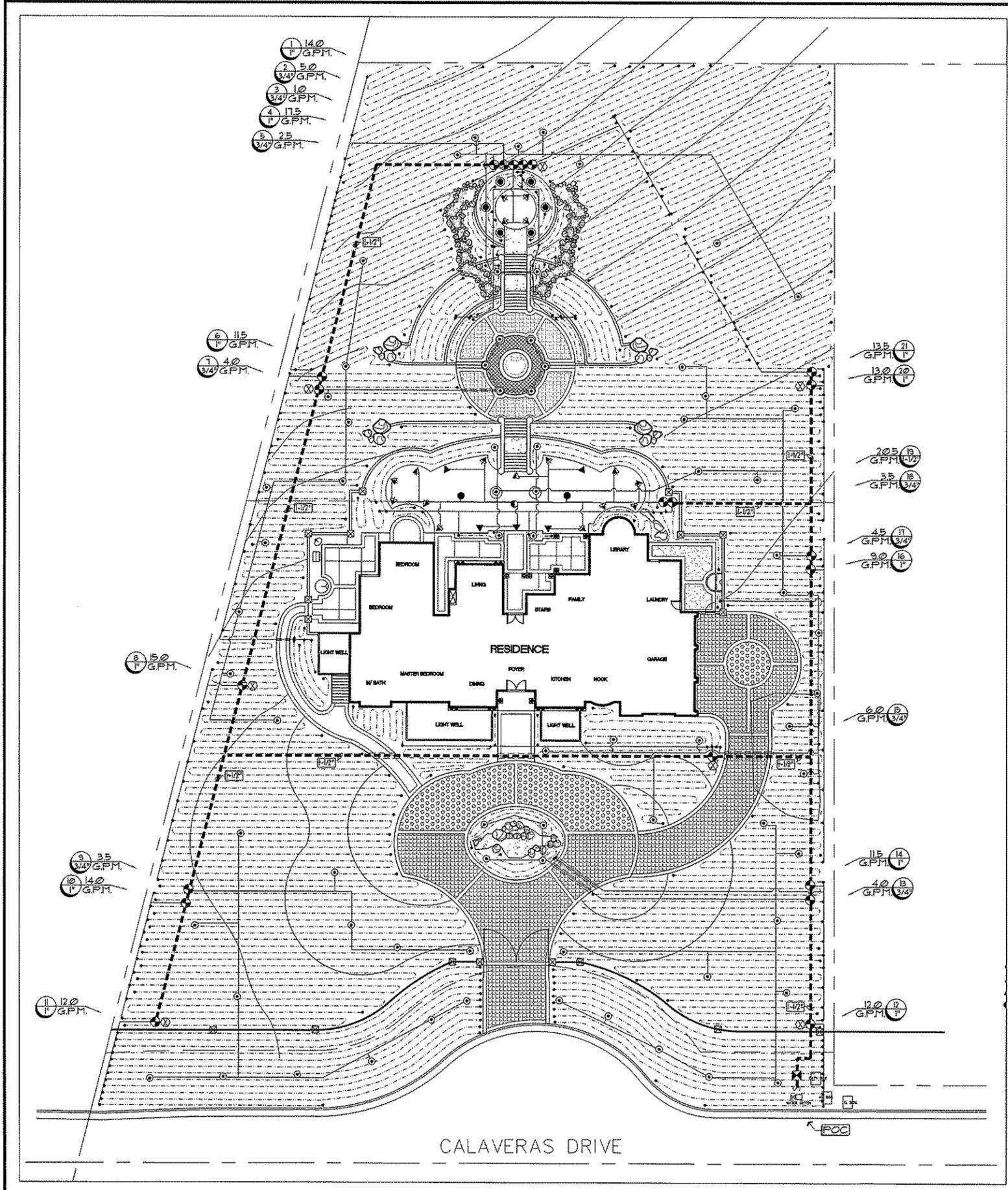
**NON-PERMEABLE LANDSCAPE AREAS**

| ITEM DESCRIPTION            | AREA         |
|-----------------------------|--------------|
| 6 TRAVERTINE PAVING         | 1,410 S.F.   |
| 7 COLORED CONCRETE PAVING   | 397 S.F.     |
| 8 DECOMPOSED GRANITE        | 255 S.F.     |
| 9 RESIDENTIAL LIGHT WELL    | 465 S.F.     |
| 10 SPA                      | 77 S.F.      |
| 11 CONCRETE STAIRS          | 273 S.F.     |
| 12 WALL FOUNTAIN            | 24 S.F.      |
| 13 OUTDOOR COUNTER TOP      | 109 S.F.     |
| <b>TOTAL SQUARE FOOTAGE</b> | <b>3,010</b> |

**GENERAL LANDSCAPE MATERIALS**

| ITEM DESCRIPTION                      | AREA          |
|---------------------------------------|---------------|
| 14 LANDSCAPE LOW WALL                 | 647 L.F.      |
| <b>TOTAL LANDSCAPE SQUARE FOOTAGE</b> | <b>52,075</b> |





**IRRIGATION LEGEND**

| KEY | DESCRIPTION  |                                 |
|-----|--|---------------------------------|
| FOC | POINT OF CONNECTION (TEE-OFF WATER SERVICE LINE, VERIFY LOCATION IN FIELD)   |                                 |
| --- | SCHEDULE 40 PVC PRESSURE MAIN LINE (SIZE AS NOTED)                           |                                 |
| --- | SCHEDULE 40 PVC NON-PRESSURE SERVICE LINE UNDER PAVEMENT (2X SUBSIDISE PIPE) |                                 |
| --- | CLASS 200 PVC NON-PRESSURE LATERAL LINE (SIZE AS NOTED)                      |                                 |
| ⊕   | INDICATES CONTROLLER STATION   |                                 |
| ⊕   | INDICATES VALVE SIZE   |                                 |
| ⊕   | TERMINAL TOTAL CONTROL ELECTRIC CONTROLLER (TTC-74-BX-B)                     |                                 |
| ⊕   | ES220 - WIRED RAIN SENSOR  |                                 |
| ⊕   | BUCKNER BILT 3/4" QUICK-COUPLING VALVE W/ LOCKING CAP (PROVIDE 2 KEYS)       |                                 |
| ⊕   | TRISTRUK "600 SERIES ULTRA-FLOW" - ELECTRIC VALVE - (SIZE AS NOTED)          |                                 |
| ⊕   | AGREEM - 1" FILTER (15000) (ON BRITER LINE VALVE ONLY)                       |                                 |
| ⊕   | AGREEM - 1" CHECK VALVE - AVX50  |                                 |
| KEY | DESCRIPTION  |                                 |
| ⊕   | TORO 5/8" 4P-PRX-COIT-07-G-PC  | 4" LAWN POP-UP                  |
| ⊕   | TORO 5/8" 4P-PRX-COIT-07-TT1-PC  | 4" LAWN POP-UP                  |
| ⊕   | TORO 5/8" 4P-PRX-COIT-07-E-PC  | 4" LAWN POP-UP                  |
| ⊕   | TORO 5/8" 4P-PRX-COIT-07-G-PC  | 4" LAWN POP-UP                  |
| ⊕   | TORO 5/8" 4P-PRX-COIT-07-TT1-PC  | 4" LAWN POP-UP                  |
| ⊕   | TORO 5/8" 4P-PRX-COIT-07-E-PC  | 4" LAWN POP-UP                  |
| ⊕   | TORO 5/8" 4P-PRX-COIT-TVAN-17  | 4" LAWN POP-UP-ADJ. ARC         |
| ⊕   | AGREEM - DISBURS. CIRC. DISTRIBUTOR (8"PC-BL-6474-05)                        | 1/4" 24" SPACING BRITER LINE    |
| ⊕   | AGREEM - 90° ELBOW (1/2" 1/2")   | 1/2" THREADED BRITER CONNECTION |
| ⊕   | AGREEM - CEP-6202  | END PLUG                        |
| ⊕   | TORO 5/8" 6P-PRX-COIT-10-PC  | 6" POP-UP FLOOD BUMBLER         |

**IRRIGATION NOTES**

- SEE SPECIFICATION AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE ACTUAL SITE CONDITIONS AND THIS PLAN.
- THIS SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF 40 PSI. VERIFY WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND DOES NOT NECESSARILY INDICATE ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
- LOCATE ALL PIPING IN PLANTING AREAS WHERE EVER POSSIBLE.
- ADJUST ALL IRRIGATION HEADS TO INSURE PROPER COVERAGE AND AVOID EXCESSIVE OVERSPRAY.
- COORDINATE AUTOMATIC CONTROLLER ELECTRICAL HOOK-UP WITH PROJECT ELECTRICIAN.
- VERIFY TYPE AND LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH LOCAL JURISDICTION, PRIOR TO INSTALLATION.
- ALL IRRIGATION HEADS ARE REQUIRED TO HAVE CHECK VALVES TO PREVENT LOW-HEAD DRAINAGE.

**ANNUAL IRRIGATION REQUIREMENT**

42,028 SQUARE FEET TOTAL LANDSCAPE WITH IRRIGATION  
 56,393 GALLONS PER YEAR FOR ESTABLISHED PLANT MATERIAL  
 (PLANT WATER REQUIREMENT TO INCLUDE RAIN WATER).

**IRRIGATION PIPE SIZING CHART**

| CLASS 200   |           |  |
|-------------|-----------|--|
| 1/2"        | 0-4 GPM   |  |
| 3/4"        | 5-9 GPM   |  |
| 1"          | 10-16 GPM |  |
| 1-1/4"      | 17-26 GPM |  |
| 1-1/2"      | 27-35 GPM |  |
| 2"          | 36-55 GPM |  |
| SCHEDULE 40 |           |  |
| 1/2"        | 0-4 GPM   |  |
| 3/4"        | 5-8 GPM   |  |
| 1"          | 9-16 GPM  |  |
| 1-1/4"      | 16-22 GPM |  |
| 1-1/2"      | 23-30 GPM |  |
| 2"          | 31-50 GPM |  |



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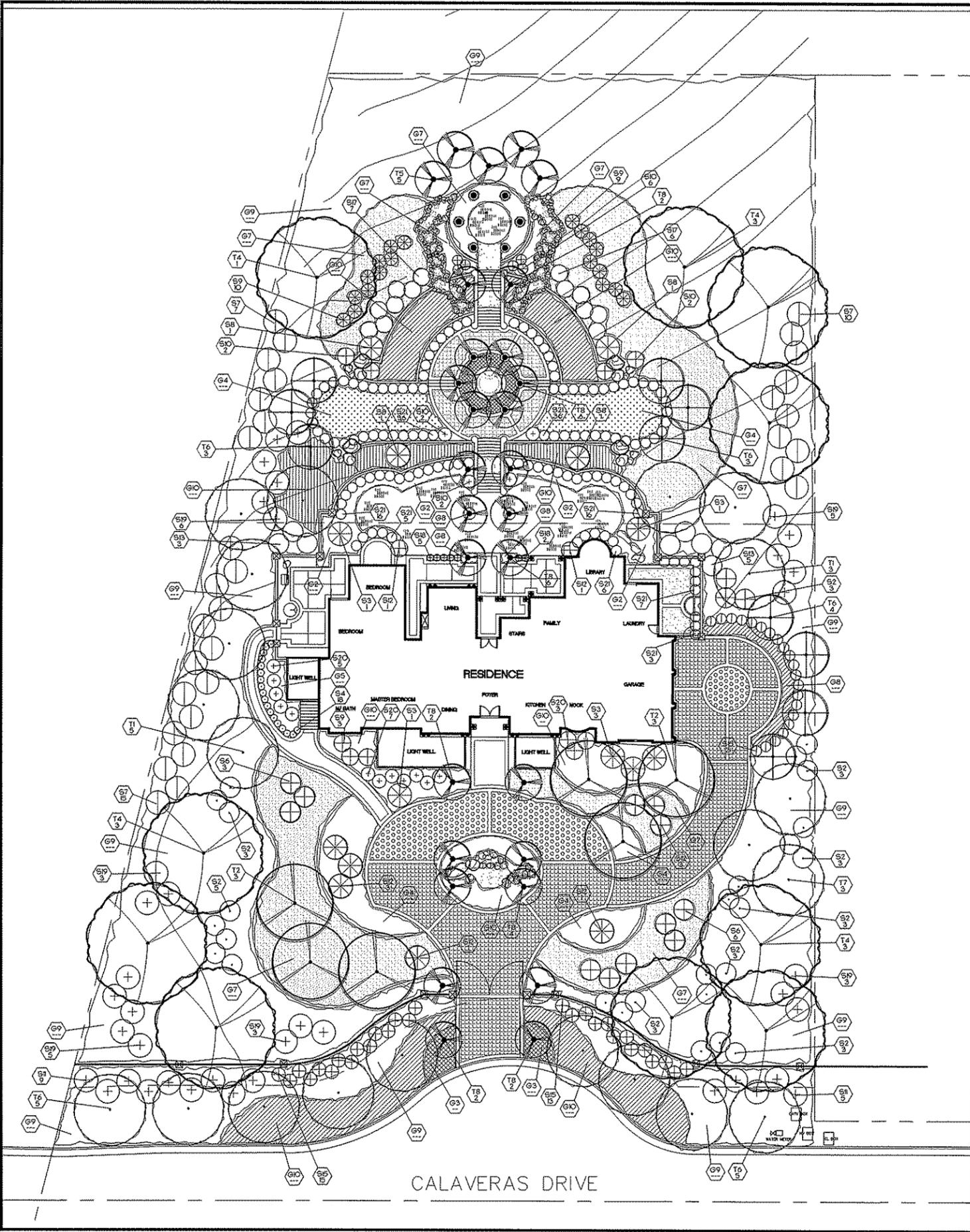


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 Project No. 03.xx  
 Scale: 1"=16'-0" Issue Date: 06/20/05

**LANDSCAPE IRRIGATION PLAN**

L2.0

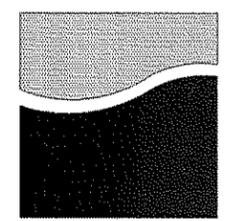


**PLANT LIST:**

| KEY                  | BOTANICAL NAME                     | COMMON NAME                | QTY.  | SIZE    | REMARKS     |
|----------------------|------------------------------------|----------------------------|-------|---------|-------------|
| <b>TREES</b>         |                                    |                            |       |         |             |
| T1                   | QUERCUS PALUSTRIS                  | PIN OAK                    | -     | 24"BO   | STANDARD    |
| T2                   | OLEA E. 'SWAN HILL'                | OLIVE                      | -     | 24"BO   | MULTI-TRUNK |
| T3                   | ABQUILUS CALIFORNICA               | CALIFORNIA BUCKEYE         | -     | 24"BO   | STANDARD    |
| T4                   | QUERCUS LOBATA                     | VALLEY OAK                 | -     | 24"BO   | STANDARD    |
| T5                   | COTYNEA COXYGRIA                   | SPICE TREE                 | -     | 18 GAL  | MULTI-TRUNK |
| T6                   | LAGERSTROEMIA L. 'TUSCANSORA'      | GRAPE MYRTLE               | -     | 24"BO   | STANDARD    |
| T7                   | KOELREUTERIA PANICULATA            | GOLDENRAIN TREE            | -     | 24"BO   | STANDARD    |
| T8                   | TRACHYCARPUS FORTUNEI              | WINDMILL PALM              | -     | 10 GIN  | WIDEN TRNK  |
| <b>SHRUBS</b>        |                                    |                            |       |         |             |
| S1                   | ABELIA X G. EDWARD GAUCHER         | GLOSSY ABELIA              | --    | 5 GAL   |             |
| S2                   | CEANOTHUS TILIA PHELPS             | CEANOTHUS                  | --    | 5 GAL   |             |
| S3                   | ARNICA UNEDO                       | STRAWBERRY TREE            | --    | 5 GAL   |             |
| S4                   | BUXUS M. J. 'GREEN BEAUTY'         | JAPANESE BOXWOOD           | --    | 1 GAL   |             |
| S5                   | ESCALLONIA TRADITUM                | FRADE'S ESCALLONIA         | --    | 5 GAL   |             |
| S6                   | DODONAEA VICCOZA                   | HORNBEED BUSH              | --    | 5 GAL   |             |
| S7                   | ELAEAGNUS P. VARIEGATA YELLOW      | YELLOW EDGE ELAEAGNUS      | --    | 5 GAL   |             |
| S8                   | FELOA BELLICULANA                  | PINEAPPLE GUAVA            | --    | 5 GAL   |             |
| S9                   | ROSEMARINUS TRIS 'JESSE'S UPRIGHT' | ROSEMARY                   | --    | 5 GAL   |             |
| S10                  | PERNISETTIA ALTISSIMA              | FOUNTAIN GRASS             | --    | 5 GAL   |             |
| S11                  | PHORADEND. T. 'APRICOTE QUEEN'     | HYBRID FLAX                | --    | 5 GAL   |             |
| S12                  | HYPERICUM CALIFORNICA              | PACIFIC WAX MYRTLE         | --    | 5 GAL   |             |
| S13                  | NANONIA D. 'COMPACTA'              | HEAVENLY BAMBOO            | --    | 5 GAL   |             |
| S14                  | ESCALLONIA COMPACTA                | NGN                        | --    | 5 GAL   |             |
| S15                  | FESTUCA GLAUCA                     | COMMON BLUE FESCUE         | --    | 5 GAL   |             |
| S16                  | PLUMBAGO AURICULATA                | CAPE PLUMBAGO              | --    | 5 GAL   |             |
| S17                  | ALICE NOBIS                        | ALICE                      | --    | 1 GAL   |             |
| S18                  | COTONASTER LACTEUS                 | NGN                        | --    | 5 GAL   |             |
| S19                  | RHAPHOLEPIUM U. MINOR              | NGN                        | --    | 5 GAL   |             |
| S20                  | ROSA WHITE CARPET                  | GROUND COVER ROSE          | --    | 5 GAL   |             |
| <b>GROUND COVERS</b> |                                    |                            |       |         |             |
| G1                   | ---                                | ---                        | ---   | ---     | ---         |
| G2                   | BUONTHUS F. 'COLORATA'             | PURPLE-LEAF WINTER CREEPER | PLATS | 18" OC. |             |
| G3                   | ASAPHANTUS TRICKSHELLI             | W. T. OF THE HILL          | 1 GAL | 24" OC. |             |
| G4                   | CEANOTHUS GLOIOSUS                 | POINT REYES CEANOTHUS      | 1 GAL | 48" OC. |             |
| G5                   | FRAGARIA CHILOENSIS                | BEACH STRAWBERRY           | PLATS | 17" OC. |             |
| G6                   | GAZANIA H. WHITE                   | TRAILING GAZANIA           | PLATS | 17" OC. |             |
| G7                   | COTONASTER D. 'L'CEFAST'           | BEARBERRY COTONASTER       | 1 GAL | 30" OC. |             |
| G8                   | LANTANA MONTEVIDENSIS              | TRAILING LANTANA           | 1 GAL | 24" OC. |             |
| G9                   | HYPERICUM CALYCINUM                | AARON'S BEARD              | PLATS | 24" OC. |             |
| G10                  | ROSEMARINUS Q. 'MANTINGTON CARPET' | ROSEMARY                   | 1 GAL | 36" OC. |             |
| <b>VINES</b>         |                                    |                            |       |         |             |
| V1                   | DISTICTIS BUCONATORIA              | BLOOD-RED TRUMPET VINE     | 5 GAL |         |             |

**PLANT NOTES:**

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED! USE TRIANGULAR SPACING.
- (S1 S) INDICATES PLANT KEY
  - (S1 S) INDICATES PLANT QUANTITY
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE SHALL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN).
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/2" FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLAN AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY VARY CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS.
- REFER TO CIVIL ENGINEER'S PLAN FOR OVERALL SITE GRADING AND DRAINAGE.
- NOO LAWN SHALL BE DUNE FESCUE BLEND.
- PRIOR TO ANY DIGGING, CALL UNDERGROUND SERVICE ALERT 1-800-4-A-DIG.
- (T) EXISTING TREE TO REMAIN



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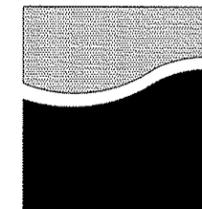
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**PLANTING PLAN**

**L3.0**



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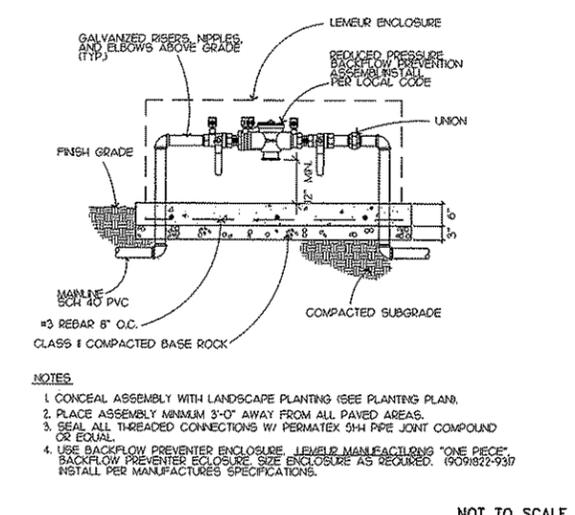


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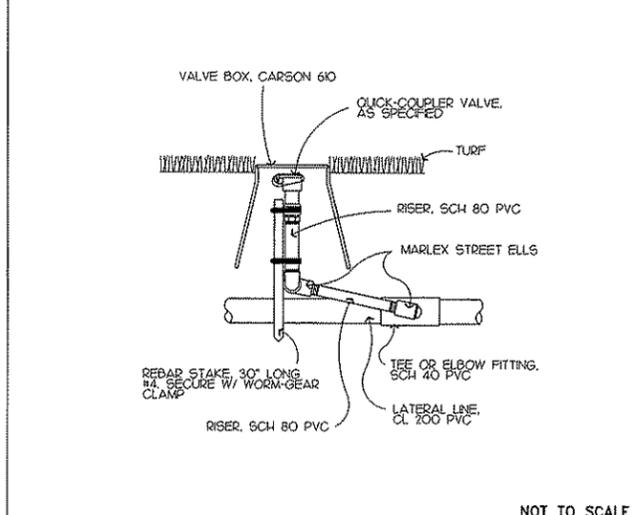
Approved: pjr  
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**LANDSCAPE  
DETAILS**

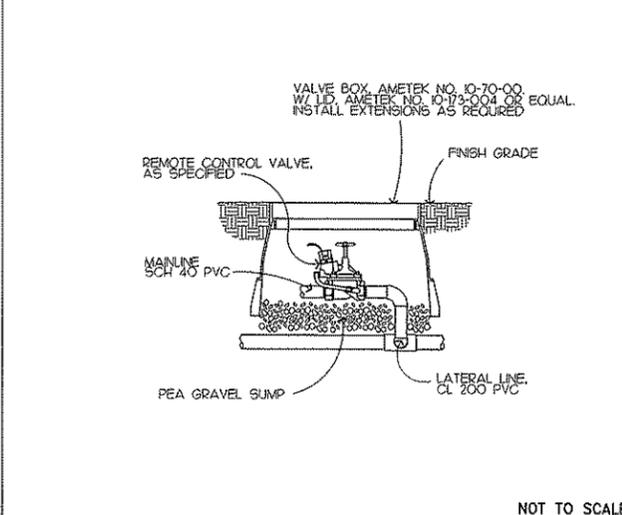
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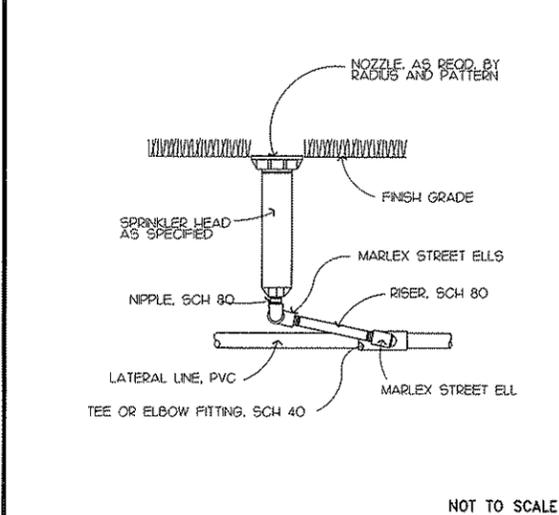
4 BACKFLOW PREVENTER DETAIL



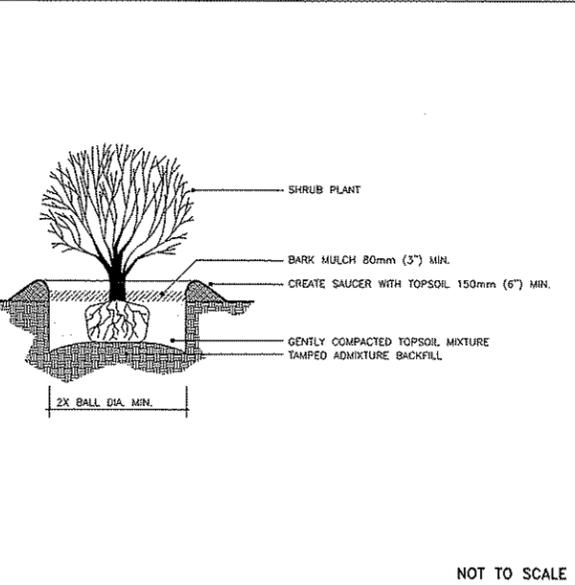
3 QUICK-COUPLER DETAIL



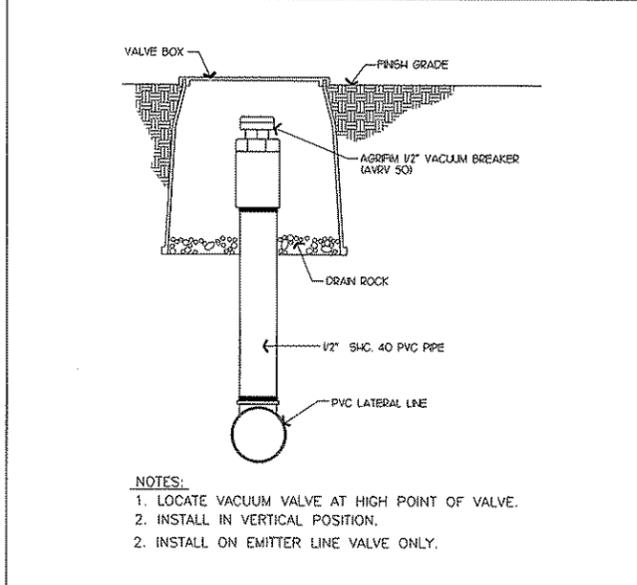
2 CONTROL VALVE DETAIL



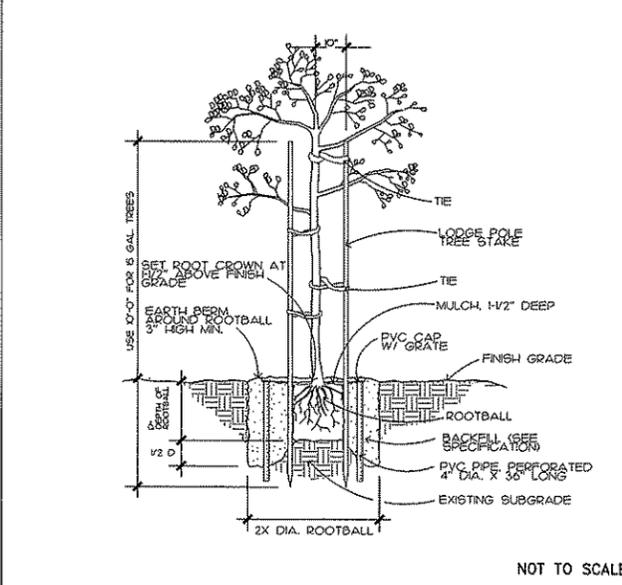
1 IRRIGATION HEAD DETAIL



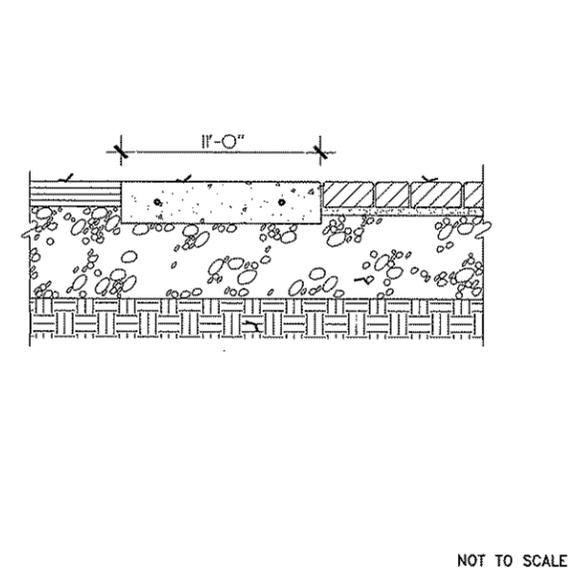
8 SHRUB PLANTING DETAIL



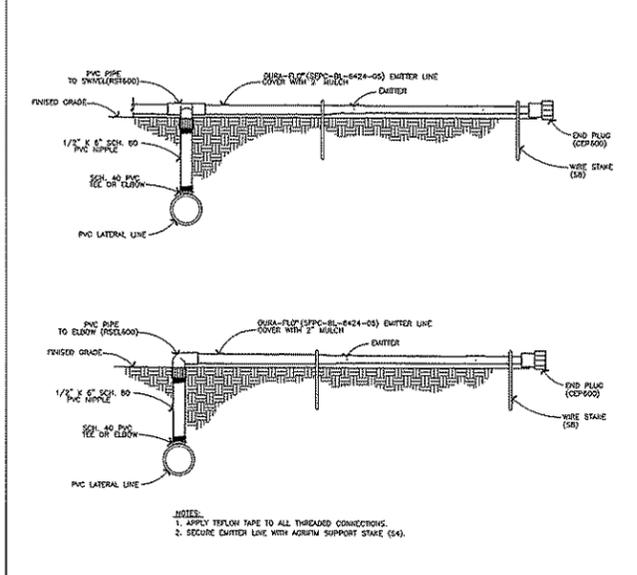
7 EMITTER LINE VACUUM VALVE DETAIL



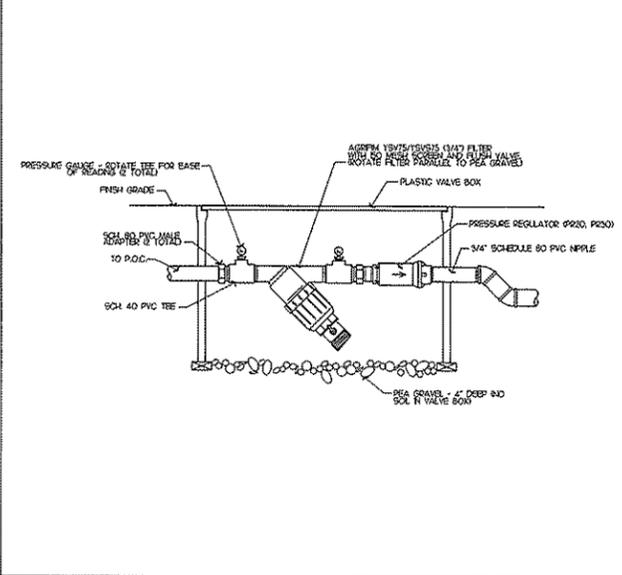
6 TREE PLANTING DETAIL



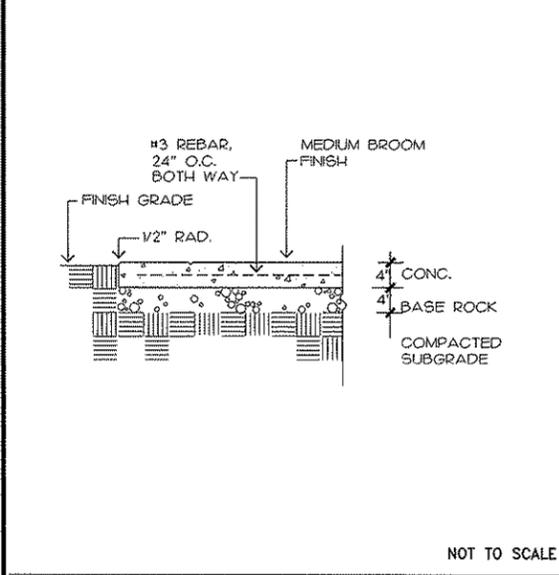
12 PERVIOUS CONCRETE PAVERS



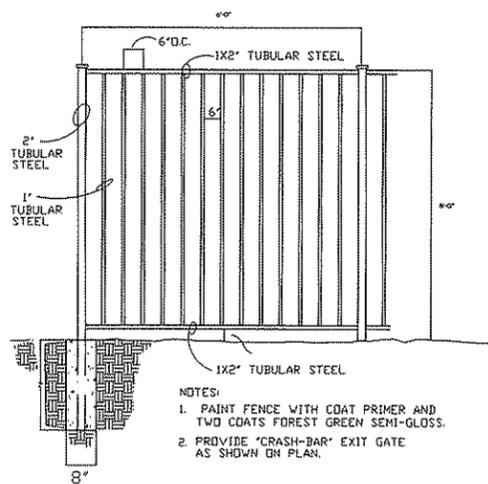
11 AGRIFIM-'DURA-FLO-PC' EMITTER LINE



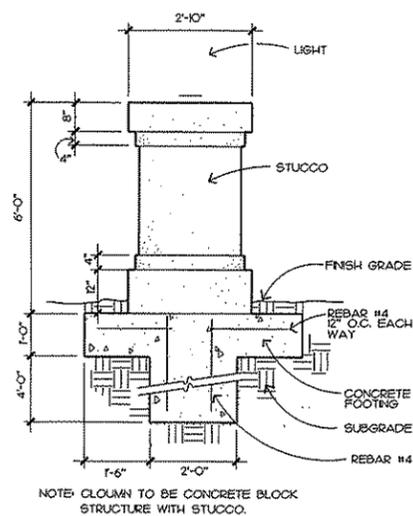
10 'Y'- FILTER DETAIL



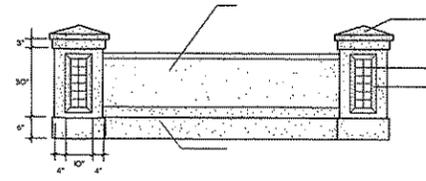
9 CONCRETE STEPPING PADS 3'-0" SQ.



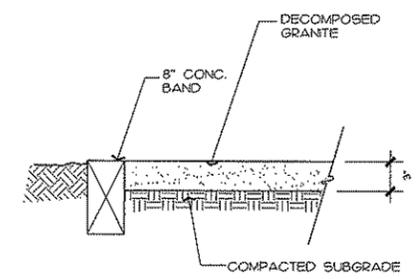
**1 WROUGHT IRON FENCE** NOT TO SCALE



**2 STUCCO COLUMN** NOT TO SCALE

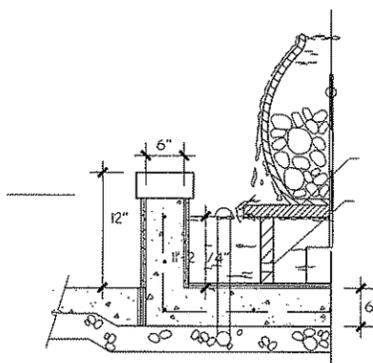


**3 LOW WALL / LOW COLUMN** NOT TO SCALE

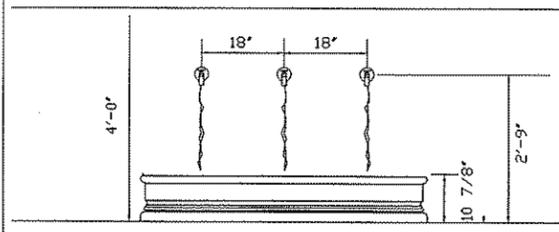


- NOTES**
- D.G. TO BE "CALIFORNIA GOLD FINES".
  - MIX D.G. WITH STABILIZER, ROLL AREA FOR COMPACTION, MIST WITH WATER TO SET.

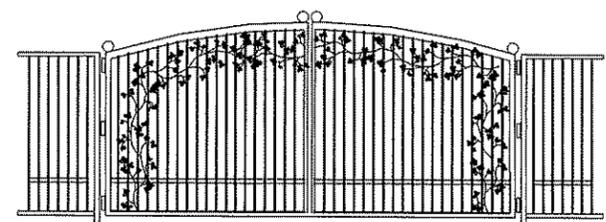
**4 DECOMPOSED GRANITE** NOT TO SCALE



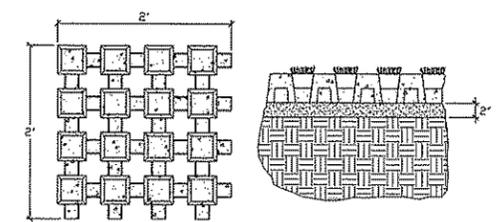
**5 FOUNTAIN** NOT TO SCALE



**6 FRONT WALL FOUNTAIN** NOT TO SCALE

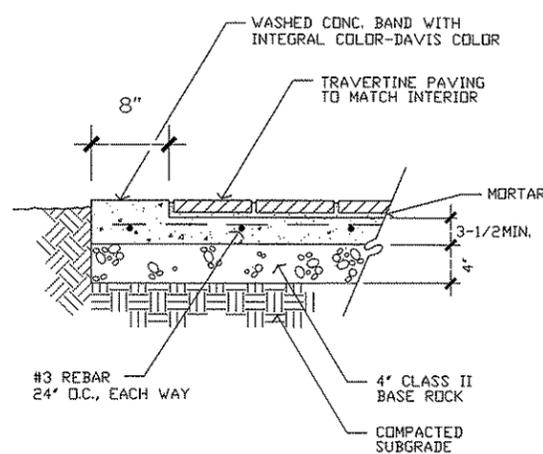


**7 GATE DETAIL** NOT TO SCALE

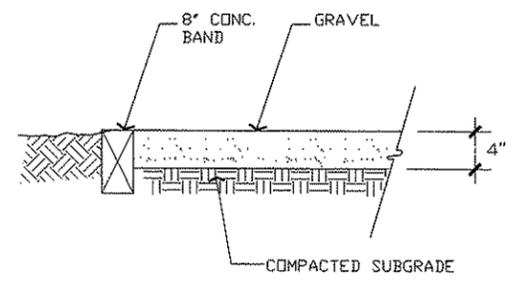


- Notes:**
- Base for Pavers shall be either undisturbed earth or fill compacted to 95% maximum dry density as determined by the Modified Proctor Test ASTM D-1557-64 + (plus 4% or minus 2% optimum moisture).
  - Remove from the setting bed rock or other materials which would create uneven bearing.
  - Place sand in a 2" compacted layer over the base to present a true and even grade over entire area to receive pavers.
  - Set pavers and line up to abut.
  - Thoroughly mix fertilizer and other additives with the topsoil and spread loosely to fill void in Pavers.
  - Water with a mist spray to settle.
  - Add additional topsoil mix to bring the topsoil flush with top of the Paver.
  - Seed at slightly less than normal rate and mulch.

**8 TURFBLOCK DETAIL** NOT TO SCALE

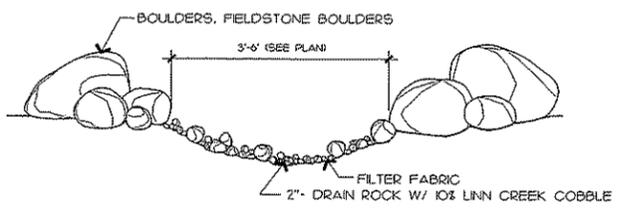


**9 TRAVERTINE PAVING** NOT TO SCALE



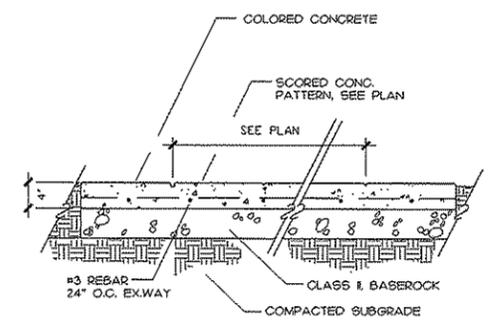
- NOTES**
- GRAVEL TO BE PAMI PEBBLE 3/8" DIA. / 4" DEEP

**10 GRAVEL PAVING** NOT TO SCALE



- BOULDERS TO BE NAPA FIELDSTONE OR EQUAL.
- SIZES: 33% - 3' X 2' X 2'  
33% - 2' X 2' X 2'  
34% - 2' X 1 1/2' X 1 1/2'
- SUBMIT SAMPLE TO OWNER FOR APPROVAL.

**11 DRY STREAM BED** NOT TO SCALE



- NOTE:**
- PROVIDE EXPANSION JOINT AT 10' O.C.
  - CONC. COLOR TO BE DAVIS CANYON.
  - PROVIDE MEDIUM BROOM FINISH.

**12 COLORED CONCRETE** NOT TO SCALE

**REED ASSOCIATES**  
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Approved: pjr  
Drawn: JRB Reviewed: xx  
Project No. 03.xx  
Scale: NTS Issue Date: 06/20/05

**LANDSCAPE DETAILS**

L4.1

LANDSCAPE SPECIFICATIONS

IRRIGATION SPRINKLER SYSTEM AND LANDSCAPE PLANTING

1.0 GENERAL

- A. THE WORK INCLUDES LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE WORK INDICATED IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS.
1. PERFORM WORK IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES, AND UNDER CONTINUOUS SUPERVISION OF A COMPONENT FOREMAN CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.
B. PRIOR TO CONSTRUCTION, VERIFY THAT CONTRACT DOCUMENTS REFLECT LATEST REVISIONS, INCLUDING PLAN CHECK REQUIREMENTS.
C. CONSTRUCT IRRIGATION SYSTEM USING MATERIALS AND METHODS CONFORMING TO APPLICABLE PROVISIONS OF UNIFORM PLUMBING CODE, PUBLISHED BY WESTERN PLUMBING OFFICIALS ASSOCIATION, NATIONAL ELECTRICAL CODE AND OTHER CODES PROPERLY GOVERNING THESE ACTIVITIES AT THE LOCATION OF THE WORK.
1. VERIFY LOCATIONS OF EXISTING UTILITIES WHETHER OR NOT SHOWN IN DRAWINGS. ASSUME RESPONSIBILITY FOR THEIR PROTECTION.
D. THE CONTRACT DOCUMENTS ARE NOT INTENDED TO CONFLICT WITH REQUIREMENTS OF GOVERNING ORDINANCES. WHEN DRAWINGS AND SPECIFICATIONS DESCRIBE MATERIALS, WORKMANSHIP OR CONSTRUCTION OF BETTER QUALITY, HIGHER STANDARD, PROVISIONS OF DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE.
E. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED FOR THE WORK.
F. BEFORE PROCEEDING WITH THE WORK, VERIFY DIMENSIONS AND QUANTITIES. IMMEDIATELY INFORM LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS, AND ACTUAL CONDITIONS. COMMENCE WORK IN AREAS OF DISCREPANCY ONLY AFTER RECEIVING INSTRUCTIONS FROM LANDSCAPE ARCHITECT.
G. DIMENSIONS INDICATED IN DRAWINGS ARE APPROXIMATE. PROVIDE OFFSETS, FITTINGS, SLEEVES, ETC., REQUIRED TO COMPLETE THE PROJECT. PERFORM SIMILAR OPERATIONS FOR LIKE CONDITIONS WITHOUT ADDITIONAL COST TO OWNER.

1.1 SUBSTITUTIONS

- A. FURNISH MATERIALS IN QUANTITIES, SIZE, AND MANUFACTURE INDICATED IN DRAWINGS AND SPECIFICATIONS.
B. FOR A PERIOD OF 30 DAYS AFTER EXECUTION OF CONTRACT, LANDSCAPE ARCHITECT WILL CONSIDER FORMAL REQUESTS FROM CONTRACTOR FOR SUBSTITUTION OF PRODUCTS IN PLACE OF THOSE SPECIFIED ONLY UNDER THESE CONDITIONS.
1. WHEN SPECIFIED PRODUCTS ARE NOT AVAILABLE THROUGH NO FAULT OF SUB-CONTRACTOR.
2. WHEN IT IS CLEARLY SEEN, IN THE JUDGMENT OF OWNER, THAT A SUBSTITUTION WILL BE TO OWNER'S BEST INTERESTS IN TERMS OF TIME, COST, OR OTHER CONSIDERATIONS.
C. SUBMIT A SEPARATE REQUEST FOR EACH SUBSTITUTION. PROVIDE COMPLETE DATA SUBSTANTIATING COMPLIANCE OF PROPOSED SUBSTITUTION, INCLUDING PRODUCT IDENTIFICATION, MANUFACTURER'S NAME AND ADDRESS, MANUFACTURER'S LITERATURE, AND SAMPLES AS APPLICABLE.
D. MANUFACTURER'S WARRANTIES WILL NOT RELIEVE SUB-CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE, UNLESS SUPPLEMENT THE GUARANTEE.

1.2 RECORD DRAWINGS

- A. FURNISH OWNER WITH A SET OF RECORD DRAWINGS (REPRODUCIBLE VELLUMS) OF IRRIGATION SPRINKLER SYSTEM AT CONCLUSION OF THE INSTALLATION.
1. OBTAIN VELLUMS FROM LANDSCAPE ARCHITECT AT COST OF REPRODUCTION PLUS 25 PERCENT.
B. INDICATE IN RECORD DRAWINGS ALL CHANGES MADE TO IRRIGATION SYSTEM DESIGN.

1.3 EXTRA MATERIALS

- A. FURNISH OWNER WITH 2 EACH OF THE FOLLOWING MATERIALS FOR EACH TYPE OF VALVE AND SPRINKLER HEAD INSTALLED IN THE SYSTEM:
1. VALVE KEYS.
2. SERVICE WRENCHES.
3. QUICK COUPLER VALVE KEYS.
4. HOSE SWIVELS COMPATIBLE WITH QUICK COUPLER VALVES.
5. KEYS TO OPEN AUTOMATIC CONTROL CABINET.

1.4 WARRANTY

- A. FURNISH OWNER WITH GUARANTEE THAT IRRIGATION SPRINKLER SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, WORKMANLY AND WITHOUT UNUSUAL ABUSE, OR NEGLIGENCE ACCEPTED.
B. PROVIDE GUARANTEE FOR REPAIR OR REPLACEMENT OF DEFECTS IN MATERIAL OR WORKMANSHIP, SETTLING OF BACKFILLED TRENCHES, AND TO REPAIR OR REPLACE DAMAGE RESULTING FROM THE REPAIRS OR REPLACEMENTS OF DEFECTS WITHOUT ADDITIONAL COST TO OWNER.
C. MAKE REPAIRS OR REPLACEMENTS, INCLUDING COMPLETE RESTORATION OF DAMAGED PLANTING, PAVING, OR OTHER IMPROVEMENTS OF ANY KIND, WITHIN A REASONABLE TIME AS DETERMINED BY OWNER AFTER RECEIPT OF WRITTEN NOTICE.
D. IN THE EVENT OF FAILURE BY CONTRACTOR TO MAKE REPAIRS OR REPLACEMENTS WITHIN A TEN DAY PERIOD AFTER RECEIPT OF WRITTEN NOTICE, REPAIRS OR REPLACEMENTS WILL BE MADE BY OTHERS AT THE EXPENSE OF SUB-CONTRACTOR.
E. WARRANTY PERIOD FOR IRRIGATION SPRINKLER SYSTEM, 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER.

1.5 LANDSCAPE MAINTENANCE AND GUARANTEE

- A. PROVIDE MAINTENANCE FOR PLANTING AND IRRIGATION FOR 60 CALENDAR DAYS AFTER STAGE ACCEPTANCE.
1. WORK INCLUDES, BUT IS NOT LIMITED TO, WATERING, WEEDING, MOWING, FERTILIZING, CULTIVATING, SPRAYING, CUTTING, AND PRUNING NECESSARY TO KEEP PLANTS IN A HEALTHY GROWING CONDITION, AND TO KEEP PLANTED AREAS NEAT AND ATTRACTIVE IN APPEARANCE THROUGHOUT MAINTENANCE PERIOD.
2. IMMEDIATELY REPLACE DAMAGED, UNHEALTHY, OR DEAD TREES, SHRUBS, AND GROUND COVERS WITH SIZE AND KIND INDICATED IN DRAWINGS.
3. PRIOR TO END OF MAINTENANCE PERIOD, APPLY FERTILIZED 'D' (15-2-6) AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET UNIFORMLY OVER ALL PLANTING AREAS.
4. UPON COMPLETION OF INITIAL 60 DAY MAINTENANCE PERIOD, NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DATE OF INITIAL INSPECTION.
B. GUARANTEE THAT PLANTS AND PLANTING AREAS ARE IN HEALTHY, THRIVING CONDITION FOR AN ADDITIONAL 90 DAYS AFTER INITIAL ACCEPTANCE OF PROJECT BY LANDSCAPE ARCHITECT.
1. FINAL ACCEPTANCE MAY BE GRANTED AT THIS TIME AS DETERMINED BY LANDSCAPE ARCHITECT.

2.0 PRODUCTS

2.1 IRRIGATION SPRINKLER MATERIALS

- A. PVC PLASTIC PIPE AND FITTINGS
1. MAIN LINE (PRESSURE) PIPING, TYPE 1120-1220 SCHEDULE 40, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
A. MAIN LINE PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED.
2. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1120-1220 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
A. LATERAL PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED, LASCO, SLOAN, OR APPROVED EQUAL.
3. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 80 PVC THREADED NIPPLES IN RISER ASSEMBLIES.
4. USE ONLY PVC PLASTIC PIPE FREE FROM BUSTERS, INTERNAL STRAIGHTENS, DENTS, WRINKLES, CRACKS, HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS-LIKE APPEARANCE.
A. CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE, MATERIAL, SIZE, SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION.
B. GALVANIZED PIPE AND FITTINGS
1. WHERE INDICATED IN DRAWINGS, USE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE GALVANIZED, WITH MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON FITTINGS.
A. GALVANIZED COUPLINGS MAY BE MERCHANT COUPLING.

C. CONTROL WIRE

- 1. DIRECT BURIAL REMOTE CONTROL WIRES, U.L. APPROVED TYPE U.F. MINIMUM OF 4/8" INCH VINYL INSULATION, CONSULT VALVE MANUFACTURER'S CURRENT WIRE SIZING CHART FOR REQUIRED WIRE SIZES.
2. COMMON RETURN WIRE = WHITE, PILOT WIRE = RED, ORANGE, OR BLACK.
3. MAKE SPLICES WITH "SCOTCH LOCK" NO. 3577 CONECTOR SEALING PACKS, OR APPROVED EQUAL.

D. SPRINKLER HEADS, REMOTE CONTROL VALVES, AUTOMATIC CONTROLLER, QUICK COUPLER

- 1. TYPE, SIZE, AND LOCATION INDICATED IN DRAWINGS.
2. LOCATE REMOTE CONTROL VALVES AND QUICK COUPLERS A MAXIMUM OF 12 INCHES FROM CURB, WALK, OR HEADBOARD.

E. BACKFLOW PREVENTION

- 1. BACKFLOW PREVENTERS AS INDICATED IN DRAWINGS OR AS APPROVED BY LOCAL GOVERNING BODY.
2. DO NOT LOCATE IN LAWN AREAS.
3. SCREEN UNIT WITH PLANT MATERIAL SHOWN ON PLANTING PLAN IN LOCATION OF BACKFLOW PREVENTER OR ELSEWHERE ON SITE WHEN DIRECTED BY LANDSCAPE ARCHITECT.
4. AVOID USING PVC PIPING IN BACKFLOW PREVENTER ASSEMBLIES.

F. VALVE BOXES

- 1. CONTROL VALVE BOXES, AMETEK NO. 10-70-00 WITH GREEN COVER LID NO. 10-173-004, OR EQUAL. PROVIDE EXTENSIONS IF REQUIRED.

2.2 LANDSCAPE PLANTING MATERIALS

- A. SOIL
1. EXISTING SURFACE SOIL, UNLESS OTHERWISE INDICATED IN DRAWINGS, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, ROCKS, STICKS, BRUSH OR OTHER DELETERIOUS MATERIALS.
2. NATIVE SOIL MATERIAL EXCAVATED FROM PLANTING HOLES, FREE FROM ROCK OVER 1/2 INCH IN DIAMETER.
3. IMPORTED SOIL, IF REQUIRED, SANDY LOAM TEXTURE.
A. SUBMIT SOIL SAMPLES AND ANALYSIS OF IMPORTED SOIL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY TO PROJECT SITE.
B. SHOULD LANDSCAPE ARCHITECT REJECT ANY PORTION OF DELIVERED SOIL FOR ANY REASON, SELECT SOIL MATERIAL FROM A DIFFERENT SOURCE AND RESUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL WITHOUT ADDITIONAL COST TO OWNER.
B. FERTILIZERS AND SOIL AMENDMENTS
1. COMMERCIAL GRADE FERTILIZERS AND SOIL AMENDMENTS, UNIFORM IN COMPOSITION, DRY AND FREELY DELIVERED TO SITE IN ORIGINAL, UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
2. MATERIAL WHICH BECOMES CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL BE REJECTED.
A. FERTILIZER 'A': FERTILIZER FOR GENERAL SOIL FERTILITY IMPROVEMENT IN ALL TURF AND PLANTING AREAS SHALL BE PELLETED TYPE HAVING A N8-P20-K20 FORMULA.
B. FERTILIZER 'B': FERTILIZER TO BE APPLIED TO LAWN AREAS PRIOR TO SEEDING OR SODDING SHALL BE PELLETED TYPE HAVING N8-P2-K0 (WITH 1% IRON).
C. FERTILIZER 'C': FERTILIZER TO BE INCORPORATED IN EACH PLANT PIT SHALL BE A FLANT TAB WITH FORMULA N20-P10-K5, SUCH AS AGRIFORM.
D. FERTILIZER 'D': FERTILIZER TO BE APPLIED TO LAWN AREAS AFTER TURF IS ESTABLISHED AND AROUND INSTALLED CONTAINER PLANTS DURING THE MAINTENANCE PERIOD SHALL BE PELLETED TYPE COMBINATION CHEMICAL ORGANIC FORMULA N15-P2-K6.
E. SOIL AMENDMENT: NITROLIZED REDWOOD SAWDUST WHICH SHALL BE BULK, TREATED WITH A REACTIVE FORM OF NITROGEN (NH3), OR RECYCLED COMPOST MATERIAL W/ SOIL ANALYSIS APPROVED IN ADVANCE,

F. IRON SULFATE: STANDARD COMMERCIAL BRAND.

C. WOOD CHIP MULCH

- 1. ALL PLANTED AREAS, EXCEPT TURF, SHALL RECEIVE A TOP DRESSING OF MULCH CONSISTING OF RECYCLED, DYED WOOD CHIPS OR FIR CHIPS, MEDIUM GRIND 3/8" TO 3/4" DIAMETER. SHREDED BARK IS UNACCEPTABLE.

D. PLANT MATERIAL

- 1. CONFORM PLANT MATERIAL, INDICATED IN DRAWINGS BY THE LISTED NAMES TO STANDARD PLANT NAMES SECOND EDITION, EXCEPT FOR NAMES NOT INCLUDED, FOLLOW THE ESTABLISHED CUSTOMS OF THE NURSERY TRADE.
2. ALL PLANTS SHALL BE TRUE TO NAME. TAG ONE OF EACH BUNDLE OR LOT WITH THE NAME AND SIZE OF THE PLANT, IN ACCORDANCE WITH STANDARDS OF PRACTICE RECOMMENDED BY AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF FEDERAL, STATE, AND COUNTY LAWS, REQUIRING INSPECTION FOR PLANT DISEASES AND INSECT INFESTATIONS.
4. PLANTS SHALL BE SYMMETRICAL, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES, INSECT PESTS, OR OTHER EGGS, WITH HEALTHY, NORMAL ROOT SYSTEMS, WELL FILLING THEIR CONTAINERS, BUT NOT TO THE POINT OF BEING ROOT BOUND.
5. USE ONLY PLANT MATERIALS THAT ARE FIRST CLASS REPRESENTATIVE OF THE SPECIES AND CULTIVARS SPECIFIED AND THAT CONFORM TO ALL STATE AND LOCAL LAWS GOVERNING THE SALE, TRANSPORTATION, AND INSPECTION OF PLANT MATERIALS.
6. PROVIDE ONLY PLANTS WITH STRAIGHT, SINGLE TRUNKS, UNLESS OTHERWISE INDICATED IN DRAWINGS.
7. THOSE SPECIFIED TO BE MULTI-TRUNK SHALL HAVE AT LEAST THREE MAIN LEADERS FROM THE BASE.
8. PLANTS THAT HAVE ENCIRCLING ROOTS, NOT ROOT BOUND, SHALL HAVE ROOTBALLS LIGHTLY SLASHED ON A MINIMUM OF 3 SIDES TO STOP ENCIRCLING ROOT GROWTH.
9. THE HEIGHT AND SPREAD OF PLANT MATERIALS SHALL BE MEASURED WITH BRANCHES IN THEIR NORMAL POSITION. MEASURE SIZES OF PLANTS ON THE PLANT LIST.
A. 5 AND 15 GALLON CAN CONTAINER STOCK SHALL HAVE BEEN GROWN IN THAT CONTAINER NOT LESS THAN SIX (6) MONTHS, BUT SHALL NOT HAVE BEEN OVERGROWN BY THE CONTAINER SO AS TO HAVE BECOME ROOT BOUND.
B. 15 GALLON CAN CONTAINER STOCK SHALL HAVE A PLANTED HEIGHT OF 6 FEET WITH 1 INCH CALIPER TRUNK.

2.3 SOURCE QUALITY CONTROL

- A. PERFORM INSPECTIONS OF CONSTRUCTION FOR THE FOLLOWING PARTS OF THE WORK:
1. INSPECTION UPON COMPLETION OF PRELIMINARY FINISH GRADING AND IRRIGATION SPRINKLER SYSTEM.
2. INSPECTION OF PLANTS PRIOR TO LAYOUT.
3. LAYOUT INSPECTION OF SPOTTED PLANTS.
4. INITIAL INSPECTION UPON COMPLETION OF PLANTING AND TREE STAKING, PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD.
5. FINAL INSPECTION AT CONCLUSION OF ADDITIONAL 60 DAY LANDSCAPE MAINTENANCE PERIOD.
B. LISTED INSPECTIONS WILL BE MADE BY LANDSCAPE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE.
1. REQUEST INSPECTION BY LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF TIME INSPECTION IS REQUIRED.
3.0 EXECUTION
3.1 IRRIGATION SPRINKLER SYSTEM
A. PREPARATION
1. COORDINATE INSTALLATION OF SPRINKLER MATERIALS, INCLUDING PIPE, TO ELIMINATE INTERFERENCE WITH, OR DIFFICULTY IN PLANTING SHRUBS, TREES, GROUND COVER, EXISTING OR PROPOSED UTILITIES, AND OTHER CONSTRUCTION. RESTORE TO ORIGINAL CONDITIONS AND ESTABLISHED GRADES CHANGED DURING COURSE OF THE WORK.

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B. INSTALLATION

- 1. PRIOR TO INSTALLATION, LAYOUT AND STAKE PRESSURE SUPPLY LINES, LATERAL LINES, AND LOCATION OF SPRINKLER HEADS. OBTAIN APPROVAL LAYOUT FROM LANDSCAPE ARCHITECT.
A. IF EQUIPMENT IS INCORRECTLY LOCATED WITHOUT APPROVAL, RELOCATE PER DIRECTIONS OF LANDSCAPE ARCHITECT WITHOUT ADDITIONAL COST TO OWNER.
2. CONNECT SPRINKLER IRRIGATION SYSTEM TO POINT OF CONNECTION (P.O.C.) INDICATED IN DRAWINGS.
A. MAKE CONNECTIONS AT APPROXIMATE LOCATIONS SHOWN IN DRAWINGS.
B. ASSUME RESPONSIBILITY FOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.

C. TRENCHING & BACKFILLING

- 1. EXCAVATION INCLUDES REMOVAL OF WATER AND MATERIALS, OR OBSTRUCTIONS OF ANY NATURE THAT WOULD INTERFERE WITH THE WORK.
2. REMOVE FROM THE SITE EXCESS AND WASTE MATERIAL RESULTING FROM TRENCHING OPERATIONS.
3. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF DITCH.
A. LAY PIPE TO AN EVEN GRADE. FOLLOW LAYOUT FOR TRENCHING EXCAVATION INDICATED IN DRAWINGS AND AS NOTED.
4. COVERAGES
A. PROVIDE MINIMUM COVER OF 18 INCHES FOR PRESSURE SUPPLY LINES.
B. PROVIDE MINIMUM COVER OF 15 INCHES FOR ALL NON-PRESSURE LINES INDICATED IN DRAWINGS.
C. PROVIDE MINIMUM COVER OF 24 INCHES OVER PIPE UNDER VEHICULAR WAYS.
D. PROVIDE MINIMUM COVER OF 18 INCHES FOR CONTROL WIRING.
E. PROVIDE 3 INCH SAND BACKFILL, ALL SIDES OF PVC PIPE, WHERE SOILS CONTAIN GREATER THAN 50% ROCKS OR OTHER MATERIAL 1/2 INCH OR LARGER IN DIAMETER WITHIN NATIVE BACKFILL MATERIAL.

D. COMPACTION

- 1. COMPACT BACKFILL FOR TRENCHING TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL IN PLANTING AREAS AND TO 90% IN PAVED AREAS.
2. CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS, OR OTHER IRREGULARITIES.
3. PLACE INITIAL BACKFILL ON ALL LINES OF A FINE GRANULAR MATERIAL.
4. FOREIGN MATTER LARGER THAN 1/2 INCH IN SIZE WILL NOT BE PERMITTED.
5. IF SETTLEMENT OCCURS AND ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING, OR OTHER CONSTRUCTION ARE NECESSARY, MAKE REQUIRED ADJUSTMENTS WITHOUT ADDITIONAL COST TO OWNER.

E. HANDLING OF PIPE

- 1. INSTALL PVC PIPE ALLOWING A SMALL AMOUNT OF EXCESS LENGTH IN THE LINE TO COMPENSATE FOR CONTRACTION OR EXPANSION OF THE PIPE.
A. ACCOMPLISH EXCESS LENGTH BY "SNAKING" THE LINE IN THE TRENCH DURING TIME OF INSTALLATION.
2. HANDLE AND ASSEMBLE PIPE, FITTINGS, AND ACCESSORIES BY SKILLED TRADESMEN USING APPROVED METHODS AND TOOLS. EXERCISE CARE TO PREVENT DAMAGE TO MATERIALS OR EQUIPMENT.
A. KEEP INTERIOR OF PIPES, FITTINGS, AND ACCESSORIES CLEAN AT ALL TIMES. CLOSE OPENINGS IN PIPING RUNS AT THE END OF WORK EACH DAY TO PREVENT ENTRY OF FOREIGN MATERIALS.
B. BENDING OF GALVANIZED STEEL PIPE WILL NOT BE PERMITTED.
3. PERFORM JOINING BY COMPETENT TRADESMEN SPECIALLY TRAINED IN THE TYPE OF WORK REQUIRED, USING TOOLS AND EQUIPMENT RECOMMENDED BY THE MANUFACTURERS OF THE PIPE, FITTINGS, OR EQUIPMENT.
A. TAKE EVERY PRECAUTION TO SECURE A PERMANENT, WATER-TIGHT JOINT BETWEEN EACH LENGTH OF PIPE.
B. JOINING PROCEDURES AND METHODS ADOPTED BY CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH RECOMMENDATIONS OF MANUFACTURER OF JOINING MATERIAL USED.

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- C. CUT PIPE CUT STRAIGHT AND TRUE.
D. AFTER CUTTING, REAM OUT ENDS TO THE FULL INSIDE DIAMETER OF THE PIPE.
E. IN CHANGING PIPE DEPTHS, USE 45° ELBOWS.

F. SPRINKLER HEADS

- 1. INSTALL TURF HEADS, WHERE ADJACENT TO FIXED OBJECTS SUCH AS HEADERBOARDS, CURBS, OR INDIVIDUAL SPRINKLERS, SO POWERED SOGGING TOOLS CAN PASS BETWEEN TURF HEAD AND FIXED OBJECT WITHOUT DIFFICULTY.
2. LOCATE SHRUB HEADS MINIMUM 12 INCHES FROM BACK OF CURBS AND EDGE OF WALKWAYS WHEN SHRUB HEAD IS MOUNTED ABOVE GRADE ON A RISER.

G. CONTROL VALVES

- 1. INSTALL ELECTRIC, NORMALLY CLOSED ANGLE CONTROL VALVES AS INDICATED IN DRAWINGS AND AS SPECIFIED BY MANUFACTURER.
2. SET VALVES IN VERTICAL POSITION, HOUSED IN AMETEK OR EQUAL VALVE BOX WITH REMOVABLE COVER, FLUSH WITH FINISHED GRADE. WHEREVER POSSIBLE, INSTALL IN A SHRUB AREA.

H. ELECTRICAL WORK

- 1. PERFORM ELECTRICAL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE STATE OF CALIFORNIA ELECTRICAL SAFETY ORDERS, OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
2. ASSUME RESPONSIBILITY FOR THE COORDINATION OF ALL ELECTRICAL SERVICE CONNECTIONS TO THE CONTROLLER.

I. FIELD QUALITY CONTROL

- 1. FLUSH PIPES BY REMOVING HEADS AND OPERATING THE SYSTEM AT FULL PRESSURE UNTIL ALL RUST, SCALE, SAND, ETC., IS REMOVED.
A. DIVERT FLUSHING WATER TO PREVENT PONDING OR SOIL EROSION.
2. TEST PIPING UNDER FULL PRESSURE, WITH RISERS CAPPED FOR A PERIOD OF TWO HOURS.
3. INSPECT PIPE FOR LEAKS.
A. CORRECT ANY LEAKAGE DISCOVERED DURING TESTS.
4. REPEAT TESTS UNTIL SATISFACTORY.
5. TEST SPRINKLER HEADS:
A. TO DETERMINE THAT THEY FUNCTION ACCORDING TO MANUFACTURER'S DATA, AND
B. TO DETERMINE THAT THE INSTALLATION WILL PROVIDE DESIGN COVERAGE.
6. ALLOW OR CAUSE WORK TO BE COVERED UP OR ENCLOSED ONLY AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY LANDSCAPE ARCHITECT.
A. SHOULD ANY WORK BE CLOSED OR COVERED UP BEFORE INSPECTION AND TESTS ARE SATISFACTORY, UNCOVER THE WORK, AND AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED, MAKE ALL REPAIRS WITH MATERIALS AS MAY BE NECESSARY TO RESTORE DISTURBED WORK TO ITS ORIGINAL AND PROPER CONDITION WITHOUT ADDITIONAL COST TO OWNER.

3.2 LANDSCAPE PLANTING PROCEDURES

- A. CLEARING & GRUBBING
1. PRESERVE EXISTING TREES IN AN UNDISTURBED CONDITION.
2. ROUGH GRADE EARTHEN MOUNDS TO CONTOURS INDICATED IN DRAWINGS.
3. CONSTRUCT MOUNDS WITH ENOUGH EXCESS MATERIAL TO ALLOW FOR FUTURE SETTLEMENT.
A. FINAL LOCATION OF MOUNDS SHALL NOT CONFLICT WITH EXISTING UTILITIES, UTILITY BOXES, VALVE BOXES, ETC.
4. NO CONSTRUCTION WILL BE ALLOWED, EXCEPT FOR NORMAL GRADING AND SHAPING OPERATIONS.
5. UPON COMPLETION OF GRADING OPERATIONS, SPREAD EXCESS MATERIAL IN AREAS DIRECTED BY LANDSCAPE ARCHITECT.
B. SOIL CONDITIONS
1. CULTIVATE PLANTED AREAS TO A LIGHT AND FRIBLE CONSISTENCY. UNIFORMLY TILL THE

FOLLOWING MATERIAL, PER 1,000 SQUARE FEET, INTO THE TOP 6 INCHES OF SOIL USING A ROTOTILLER OR SIMILAR MACHINE, THEN THOROUGHLY WATER.

- 8 CU. YDS. - NITROGEN STABILIZED SAWDUST (SOIL AMENDMENT)
25 LBS. - FERTILIZER 'A'
15 LBS. - SOIL SULPHUR
2. CULTIVATE EXISTING PLANTING AREAS WITH HAND TOOLS.
3. PREPARED SOIL MIX FOR BACKFILL IN PITS FOR TREES, VINES, AND SHRUBS, CONSISTING OF THE FOLLOWING:
1/3 YD. - NITROGEN STABILIZED SAWDUST (SOIL AMENDMENT)
1/3 YD. - NATIVE SOIL
1/3 YD. - IRON SULPHATE
AND FERTILIZER 'C' AS FOLLOWS
1 GAL: 1-TAB
5 GAL: 2-TABS
15 GAL: 4-TABS
6-8 TABS FOR BOXED MATERIAL
4. CONDUCT SOIL PREPARATION AND PLANTING OPERATIONS ONLY UNDER FAVORABLE WEATHER CONDITIONS. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET.
A. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO STOP WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.

C. PLANTING TREES, SHRUBS, & VINES

- 1. DIG PITS FOR PLANTS SQUARE PER DETAIL IN DRAWINGS.
A. LEVEL SIZE OF PITS SHALL BE 2 TIMES DIAMETER OF ROOT BALL AND ONE-HALF AGAIN AS DEEP AS THE DEPTH OF ROOT BALL.
B. SOIL AT SIDES AND BOTTOMS SHALL BE LOOSENED BY SCARIFYING TO ENSURE ROOT PENETRATION. AVOID SMOOTH CIRCULAR SIDES.
2. BACKFILL PITS WITH "PREPARED SOIL" TO THE BOTTOM OF THE ROOT BALL. THEN SET THE PLANT IN AN UPRIGHT POSITION IN CENTER OF HOLE. BACKFILL SPACE AROUND IT WITH PLANTING MIX.
A. WHEN THE BACKFILL AROUND THE PLANT IS APPROXIMATELY TWO-THIRDS COMPLETED, THOROUGHLY WATER. BACKFILL COMPLETE TO THE GRADE OF THE SURROUNDING AREA.
B. THE CROWN OF THE PLANT SHALL BE 1-1/2 INCHES ABOVE (MINIMUM) FINISHED GRADE.
3. PREPARE A SOIL RING AT LEAST 3 INCHES HIGH AND AS WIDE AS ROOT BALL AROUND EACH PLANT (NOT IN A TURF AREA) TO RETAIN WATER.
A. WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
B. REMOVE TURF IN A 24 INCH DIAMETER RING AROUND EACH TREE BASE IN TURF AREAS.

D. PLANTING GROUND COVERS

- 1. PLANTING SHALL TAKE PLACE IN THE EXISTING PREPARED MOIST AND FRIBLE SOIL, NEVER DRY OR WET AND SOGGY.
A. THE MOIST CONDITION SHALL EXTEND TO THE FULL DEPTH OF CULTIVATION.
2. SPACE GROUND COVER PLANTS AS INDICATED IN DRAWINGS AND IN THE PLANT LIST.
3. PLANT IN EVENLY SPACED ROWS WITH STAGGERED TRIANGULAR SPACING AND AROUND SHRUBS AND TREES TO WITHIN ONE FOOT.
4. NO GROUND COVER SHALL BE PLANTED LESS THAN ONE-HALF OF THE SPECIFIED SPACING FROM ANY CURB OR WALKWAY.

E. PLANTING TURF GRASS

- 1. AFTER ALL SOIL AMENDMENT AND FERTILIZERS HAVE BEEN APPLIED AND CULTIVATED INTO SOIL, FINE GRADE ALL AREAS.
2. REMOVE RIDGES AND DEPRESSIONS. AREAS SHALL BE SMOOTH, CONTINUOUS, FIRM PLANES THAT ENSURE PROPER SURFACE DRAINAGE.
3. REMOVE ROCKS, SOIL LUMPS, AND DELETERIOUS MATERIALS LARGER THAN 1 INCH, RAKE AND COMPACT AREAS WITH A 200 POUND ROLLER.
4. AVOID ADDITIONAL COMPACTION OF THE SOIL AFTER TREATMENT. DO NOT PERMIT VEHICULAR OR EQUIPMENT TRAFFIC OVER AREAS.

- A. IN THE EVENT OF SUCH COMPACTION, CONTRACTOR WILL BE REQUIRED TO RECULTIVATE COMPACTED AREAS.
5. SODDING: RAKE AREAS TO FINISH GRADE ELEVATION TO 1 INCH LOWER THAN ADJACENT PAVING TO ACCOMMODATE SOD THICKNESS.
A. SPREAD 20 POUNDS PER 1,000 SQUARE FEET OF FERTILIZER 'B' ON SOIL SURFACES PRIOR TO SODDING. THEN HEAVILY INSTALL SOD SLABS.
B. STAGGER END JOINTS, TIGHTLY JOINTED WITH NO VISIBLE SPACES.
C. LIGHTLY WATER AND ROLL ENTIRE AREAS. THEN HEAVILY WATER TO ASSURE WATER PENETRATION OF AT LEAST 1/2 INCHES.
6. SEEDING: APPLY FERTILIZER 'B' TO FINISH GRADED SURFACES AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET.
A. USE ONLY SEED THAT IS WEED FREE, FRESH, RECLEANED, GRADE A, NEW CROP CONSISTING OF THE PERCENTAGE OF MIX AS DESCRIBED IN DRAWINGS.
B. LABEL SEED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT PRESENTLY IN EFFECT AND SHALL BE DELIVERED TO PROJECT SITE IN BAGS BEARING DEALER'S LABEL AND GUARANTEED ANALYSIS.
C. SOW SEED IN 2 DIRECTIONS AT A TOTAL COMBINED RATE OF 10 POUNDS PER 1,000 SQUARE FEET.
D. SOW SEED BY EXPERIENCED PERSONNEL AT A TIME WHEN LITTLE OR NO WIND IS BLOWING.
E. LIGHTLY RAKE INTO TOP 1/8 INCH OF SOIL.
F. DO NOT MOW UNTIL TURF IS 2-1/2 INCHES HIGH, AND FOR INITIAL MOWING DO NOT MOW LOWER THAN 1-1/2 INCHES. REMOVE ALL CLIPPINGS.
7. FERTILIZING DURING MAINTENANCE: APPLY FERTILIZER 'B' 30 CALENDAR DAYS AFTER PLANTING, AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET.
A. REPEAT EVERY 30 DAYS THROUGH MAINTENANCE.

F. WEED CONTROL, PEST CONTROL, & MULCHING

- 1. WEED CONTROL MATERIAL SHALL BE A PRE-EMERGENT HERBICIDE, TRIFLURLOLIN (TRIFLAN) OR DIFLUFENICAN (DYMID) OR EQUAL, APPLIED ON PLANTED AREAS. DON'T APPLY TO TURF DEVELOPED AREAS.
2. CONSIDER IF PART OF CONTRACTOR'S WORK TO CONTROL ON-SITE OR NEARBY PESTS THAT ARE DISTURBING THE CONDITION OF LANDSCAPE IMPROVEMENTS.
3. CONTROL OF PESTS INCLUDES, BUT IS NOT LIMITED TO RODENTS, RABBITS, INSECTS, DEER, ETC.
4. REPAIR DAMAGE THAT OCCURS TO THE ORIGINAL CONDITION OF IMPROVEMENTS, INCLUDING REPLACEMENT OF PLANT MATERIAL WHEN REQUIRED, WITHOUT ADDITIONAL COST TO OWNER.
5. SPREAD BARK CHIP MULCH EVENLY OVER ENTIRE PLANTED AREA, EXCEPT TURF DEVELOPED AREAS, TO A MINIMUM DEPTH OF 2".
G. PRELIMINARY INSPECTION AND STAGE ACCEPTANCE
1. UPON COMPLETION OF PLANTING WORK, NOTIFY LANDSCAPE ARCHITECT THAT PROJECT IS READY FOR INSPECTION.
2. UPON INSPECTION, IF LANDSCAPE ARCHITECT FINDS ENTIRE PROJECT COMPLETE AND IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, STAGE ACCEPTANCE WILL BE GRANTED.
3. IF ASPECTS OF PROJECT ARE INCOMPLETE OR IMPROPERLY INSTALLED, CONTRACTOR SHALL BE NOTIFIED AND HAVE 5 WORKING DAYS IN WHICH TO CORRECT OR COMPLETE THE WORK.
4. STAGE ACCEPTANCE WILL BE GIVEN ONLY WHEN ALL WORK IS CORRECT AND COMPLETE.
5. THE STAGE ACCEPTANCE BY LANDSCAPE ARCHITECT OF LANDSCAPE PROJECT WILL ESTABLISH THE BEGINNING OF PLANT MAINTENANCE PERIOD.

3.3 CLEANING

- A. UPON COMPLETION OF WORK, REMOVE EXCESS MATERIALS, RUBBISH, DEBRIS, AND SUB-CONTRACTOR'S CONSTRUCTION AND INSTALLATION EQUIPMENT FROM THE PREMISES.
B. FINAL INSPECTION OF THE WORK WILL BE MADE BY LANDSCAPE ARCHITECT IN THE PRESENCE OF THE SUB-CONTRACTOR WHEN WORK IS COMPLETED. NOTIFICATION SHALL BE MADE BY THE CONTRACTOR 48 HOURS IN ADVANCE OF SUCH INSPECTION.

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LANDSCAPE SPECIFICATIONS

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