



MILPITAS PLANNING COMMISSION AGENDA REPORT

PUBLIC HEARING

Meeting Date: January 27, 2010

APPLICATION: **SITE DEVELOPMENT PERMIT AMENDMENT NO. SA09-0002:**

**APPLICATION
SUMMARY:**

A request to relocate and expand a previously approved hillside home with modifications to the façade and landscape plan.

LOCATION:

Address (APN: 29-06-038)

**APPLICANT:
OWNER:**

Haresh Panchal, 134 Sweetberry Court, San Jose, CA 95136
Haresh Panchal, 134 Sweetberry Court, San Jose, CA 95136

RECOMMENDATION:

Staff recommends that the Planning Commission: Adopt Resolution No. 10-008, subject to the conditions of approval.

PROJECT DATA:

General Plan/

Zoning Designation:

Hillside Medium Density (HMD)/Single Family Residential with Hillside Combining District (R1-H)

Overlays:

Planned Unit Development (PUD # 23.5), Site and Architectural Review (-S)

Related Permits:

SZ2005-2, TE08-0003

CEQA Determination:

Categorically exempt pursuant to Section 15303 (Class 3 Section (a)) of the California Environmental Quality Act (CEQA).

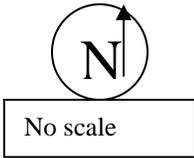
PLANNER:

Tiffany Brown

ATTACHMENTS:

- A. Resolution No. 10-008
- B. Approved Site Plan and floor plan
- C. Proposed Site Plans
- D. Approved Landscape Plan
- E. Proposed Landscape Plan

LOCATION MAP



BACKGROUND

In April of 2007, the Planning Commission approved an “S” Zone Permit (No. SZ2005-2) to allow for the construction of a 5,706 square foot single family hillside residence with landscape plan within the Calaveras Ridge Estates at 898 Calaveras Ridge Drive. The applicant applied and received approval by the Planning Commission for a Time Extension (TE08-0003) with related site improvements on November 12, 2008.

On January 1, 2009, Mike Teresi submitted an application requesting to relocate and expand the approved hillside home with modifications to the façade and landscape plan. This application is submitted pursuant to Title XI, Chapter 10, Section 57-.03 of the Municipal Code.

PROJECT DESCRIPTION

The project site and surrounding properties are zoned Single Family Residential Hillside with Site and Architectural Review Overlay District and apart of the Planned Unit Development No. 23.5 for Calaveras Ridge Estates. The applicant is proposing to relocate the home five feet further from the front yard property line, add 228 square feet to the approved 5,706 square foot dwelling, and detach the approved three car garage from the main dwelling and expand the garage to accommodate four cars. To see the difference in the site plan layout and floor plans see Attachment B for approved site plans and Attachment C for proposed site plans.

Development Standards

Table 1
Development Standards PUD 23.5
& Ordinance Section 45

Main Dwelling	Zoning Ordinance	Proposed
<u>Setbacks</u> (Minimum)		
Front yard:	40'	75'
Sides:	40'	40'
Rear:	40'	150'
<u>Lot Coverage</u> (Maximum impervious surface allowed)	8,000 square feet	5,669 square feet
<u>Floor Area Ratio</u> (Maximum)	6,000 square feet	5,934 square feet
<u>Building Height</u> (Maximum)	17'	17'
<u>Parking</u> (Minimum) <i>Located in the accessory structure: See Table 2 below</i>	3 car garage with additional parking in driveway	4 car garage with additional parking in driveway
<u>Colors/Materials/and Style</u>	Earth tones, and materials and style shall complement the building	Cream wall block, with beige stucco walls, gray trim, white columns, and red doors.

Table 2
Development Standards PUD 23.5
& Ordinance Section 45

<u>Accessory Structure</u> <u>(detached garage)</u>	<u>Zoning Ordinance</u>	<u>Proposed</u>
Front yard:	Shall be located on the rear one-half (1/2) of the lot	On the rear one-half (1/2) of the lot
Side:	3'	40'
Rear:	3'	86'
Distance from main dwelling (Minimum)	6'	10'
Floor Area Ratio (Maximum)	1,200 sq.ft.	1,200 sq.ft.
Building Height (Maximum)	17'	14'
<u>Colors/Materials/and Style</u>	Earth tones, and materials and style shall complement the building	Cream wall block, with beige stucco walls, gray trim, white columns, and red doors.

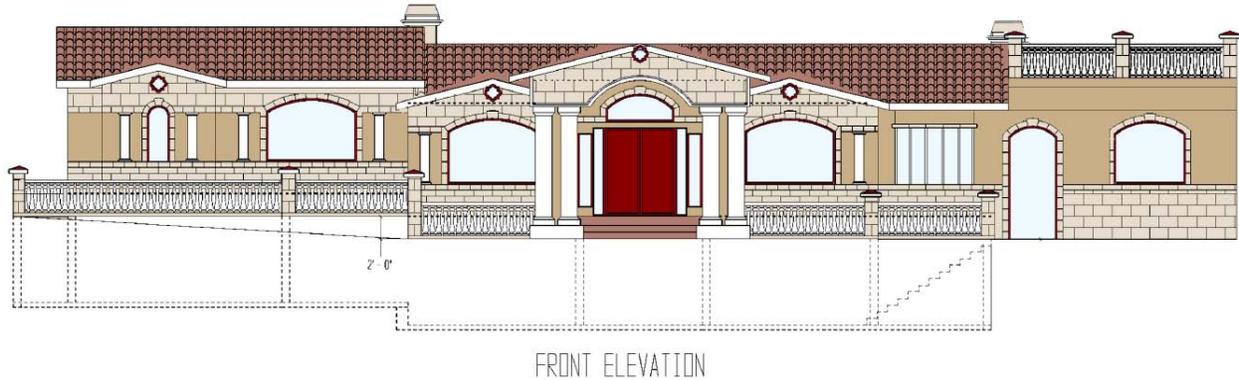
Architecture

The applicant is proposing minor façade changes to the home. The stone work is changing from the multi colored browns, light tan walls with brown trim to cream wall block with beige stucco walls, gray trim and red doors. See elevations below.

Approved Façade



Proposed Facade



Landscape Plan

Due to the additions and separation of the garage from the home, a modified landscape plan has been provided. Please see Attachment E.

ADOPTED PLANS AND ORDINANCES CONSISTENCY

General Plan

The table below outlines the project’s consistency with applicable General Plan Guiding Principles and Implementing Policies:

Table 3
General Plan Consistency

Policy	Consistency Finding
<i>2.a-I-16:</i> Limit new development in the Hillside Area to only Very Low Density Residential, open space and park uses.	Consistent.
<i>2.a-l-18:</i> Retains the natural character of the hillside by utilizing designs, colors, and materials that blends with the environment and terrain	Consistent.
<i>2.a-G-3:</i> Provide for a variety of housing types and densities that meet the needs of individuals and families.	Consistent.

The project proposal is consistent with the General Plan in that the addition and façade modifications to the approved hillside home still limit the Hillside area to very low density residential, the materials chosen are of earth tone colors and will help blend with the natural character of the hillside, and the home provides for a variety of housing types that meet the needs of individual families.

Zoning Ordinance

The additions and modifications to the hillside home are consistent with the Zoning Ordinance in that the layout of the site and design and landscaping are compatible and aesthetically harmonious with the adjacent and surrounding development. The project is also consistent with the Site and Architectural Guidelines within the Municipal Hillside Ordinance Section 45, see table below.

Table 4
Zoning Ordinance Consistency

Policy	Consistency Finding
<i>45.09-7(a): Avoid Unreasonable interference with Views and Privacy. The height, elevations and placement on the site of the proposed main or accessory structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy.</i>	Consistent.
<i>45.09-7(b): Preserve Natural Landscape. The natural landscape will be preserved insofar as practicable by designing structures to follow the natural contours of the site and minimizing tree and soil removal.</i>	Consistent.
<i>45.09-7(c): Minimize Perception of Excessive Bulk. The design of the proposed man and/or accessory structures(s) in relation to the immediate neighborhood should minimize the perception of excessive bulk.</i>	Consistent.
<i>45.09-7(d): Impairment of Light and Air. The proposed main or accessory structure(s) shall not unreasonably impair the light and air of adjacent properties nor unreasonably impair the ability of adjacent properties to utilize solar energy.</i>	Consistent.
<i>45.09-7(e): Grading. All grading shall be kept to an absolute minimum and shall comply with the grading ordinance criteria.</i>	Consistent.

ENVIRONMENTAL REVIEW

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt pursuant to Section 15303 (Class 3 Section (a)) of the California Environmental Quality Act (CEQA).

PUBLIC COMMENT/OUTREACH

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public.

CONCLUSION

The addition and the detachment of the garage from the main home, along with landscape changes comply with the General Plan Zoning Ordinance and is aesthetically harmonious with the hillside neighborhood.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission close the public hearing and adopt Resolution No. 10-008 approving Site Development Permit No. SA09-0002, subject to the Conditions of Approval.

Attachments:

- A. Resolution No. 10-008
- B. Approved Site Plan and floor plan
- C. Proposed Site Plans
- D. Approved Landscape Plan
- E. Proposed Landscape Plan

RESOLUTION NO. 10-008

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT NO. SA09-0002, A REQUEST TO RELOCATE AND EXPAND A PREVIOUSLY APPROVED HILLSIDE HOME WITH MODIFIED FAÇADE AND LANDSCAPE PLAN, LOCATED AT 898 CALAVERAS RIDGE.

WHEREAS, on January 1, 2009, an application was submitted by Mike Teresi, 2166 Palomino Way, Oakdale, CA 95361, to relocate and expand the approved hillside home with modifications to the façade and landscape plan at 898 Calaveras Ridge. The property is located within the Single Family Residential with Hillside Combining District (APN 029-06-038); and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project exempt; and

WHEREAS, on January 27, 2010, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

NOW THEREFORE, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The recitals set forth above are true and correct and incorporated herein by reference.

Section 2: The project is categorically exempt pursuant to Section 15303 (Class 3 Section (a)) of the California Environmental Quality Act (CEQA) in that the project merely consists of the construction and location of one new single-family residence.

Section 3: The project proposal is consistent with the General Plan Policies 2.a-I-16, 2.a-I-18, and 2.a-G3 in that the addition and façade modifications to the approved hillside home still limit the Hillside area to very low density residential, the materials chosen are of earth tone colors and will help blend with the natural character of the hillside, and the home provides for a variety of housing types that meet the needs of individual families.

Section 4: The additions and modifications to the hillside home are consistent with the Zoning Ordinance in that the layout of the site and design and landscaping are compatible and aesthetically harmonious with the adjacent and surrounding development. The project is also consistent with the Site and Architectural Guidelines within the Municipal Hillside Ordinance Section 45.09-7.

Section 5: The Planning Commission of the City of Milpitas hereby approves SA09-0002, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Milpitas on January 27, 2010.

Chair

TO WIT:

I HEREBY CERTIFY that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on January 27, 2010, and carried by the following roll call vote:

COMMISSIONER	AYES	NOES	ABSENT	ABSTAIN
Cliff Williams				
Lawrence Ciardella				
Sudhir Mandal				
Gurdev Sandhu				
Steve Tao				
Noella Tabladillo				
Mark Tiernan				
Erik Larsen				

EXHIBIT 1

**CONDITIONS OF APPROVAL
SITE DEVELOPMENT PERMIT NO. SD09-0002**

A request to relocate and expand the approved hillside home with modifications to the façade and landscape plan.

898 Calaveras Ridge (APN: 029-06-038)

General Conditions

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on January 27, 2010, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. **(P)**

SD09-0002 shall become null and void if the project is not commenced within 18 months from the date of approval. Pursuant to Section 64.06(2) of the Zoning Ordinance of the City of Milpitas: If the project requires the issuance of a building permit, the project shall be deemed to have commenced when the date of the building permit is issued and/or a foundation is completed, if a foundation is a part of the project. If the project does not require the issuance of a building permit, the project shall be deemed to have commenced when dedication of any land or easement is required or complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.

2. Pursuant to Section 64.06(1), the owner or designee shall have the right to request an extension of SD09-0002 if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. **(P)**
3. Prior to the issuance of building permits, the owner or designee shall include within the four first pages of the working drawings for a plan check, a list of all conditions of approval imposed by the final approval of the project. **(P)**
4. Site Development Permit No. SD09-0002 is for the approval to relocate the home 5 feet northeast from the front yard property line (75' setback), add 228 square feet to the approved 5,706 square foot dwelling, and detach the approved 3 car garage from the main dwelling and expand the garage up to a maximum of 1,200 square feet to accommodate for 4 cars. **(P)**

5. Under no circumstance shall the main building exceed a height of seventeen feet and one story (excluding the basement) from the lowest finished grade to the highest ridgeline of building. **(P)**
6. The accessory structure (garage) shall not exceed seventeen feet from the lowest finished grade to the highest ridgeline of the building anywhere in the hillside. **(P)**
7. This approval is for the development of a 5,706 square foot single-family residence, landscaping, and grading, as shown on the approved plans, dated April 25, 2007, and as modified by these conditions of approval. Any modification to the project, as approved, will be subject to PUD 23.5 Development Standards and may require an 'S' Zone Approval-Amendment, pursuant to Section 42.00 of the Milpitas Zoning Ordinance, and may require Planning Commission and City Council review. **(P)**
8. Any addition to the residence shall comply with the findings and the recommendations of the Fault Investigation Report dated February 3, 2006.
9. The applicant shall comply with the findings and recommendations prepared Fault Investigation for Proposed Residential Development, John Coyle and Associates, February 3, 2006. To ensure compliance, the applicant shall submit a letter from a licensed geotechnical engineer certifying that all the recommendations have been incorporated into the submitted building and that a detailed site-specific soil investigation be performed to address the seismic slope stability issues as well as provide a recommendation for foundation design and other geotechnically related parameters prior to issuance of any building or grading permits. **(P)**
10. Prior to grading permit issuance, the applicant shall provide to City staff a biologic site assessment by a Biologist or Ecologist to determine the presence of burrowing owls on site. If the biologic assessment determines burrowing owls exist on-site, the site assessment recommendations shall be adhered to prior to onset of any grading activities. **(P)**
11. A letter by the Homeowner's Association approving the proposed wrought iron fence and gate along the front property line shall be included as part of the building permit submittal for the fence. **(P)**
12. The proposed project shall be conducted in compliance with all applicable federal, state, and local regulations. **(P)**
13. If, at the time of submittal for any building permits, there is a project job account balance due to the City for recovery of review fees, review of permits will not be initiated until the balance is paid in full. **(P)**
14. Prior to issuance of the grading permit, the applicant shall submit an erosion control plan to the approval of the Planning Division. Erosion control measures shall be in place prior to the start of any work and maintained until the completion of construction. **(P)**
15. During all construction activities on-site, the project applicant/developer shall adhere to the following Best Management Practices as suggested by BAAQMD:

- a. Watering all active construction areas twice daily and more often during windy periods. Active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
 - b. Cover all trucks hauling soil, sand, and other loose material or require all truck to maintain at least 2 feet freeboard level within their truck beds.
 - c. Pave, apply water three times daily or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction site.
 - d. Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
 - e. Sweep streets daily with water sweeper if visible soil material is carried onto adjacent public streets.
 - f. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - g. Suspend excavation and grading (all earthmoving or other dust-producing activities during periods of high winds when watering cannot eliminate visible dust plumes or when winds exceed 25 mph (instantaneous gusts).
16. Prior to certificate of occupancy all landscaping shall be installed. **(P)**
17. Prior to grading permit, the applicant shall record with the Santa Clara County Recorders office a hold harmless agreement with the deed for the property disclosing that the site is located within a landslide area, which may have higher than normal potential landslides. This agreement would hold harmless the City from future landslides resulting from development of a site within a landslide area. The City Attorney shall draft said agreement. **(P)**
18. Applicant shall comply with all previously approved conditions of approval for the "S" Zone Approval No. SZ 2005-2 approved by the Planning Commission at its meeting of April 25, 2007 and the Milpitas City Council at its meeting of May 15, 2007. **(E)**
19. Prior to building permit issuance developer shall satisfy the conclusions and recommendations of the *Soils Engineering and Geologic and Seismic Hazards Evaluation Reports* by Earth Systems Consultants dated 1981-1982, *Preliminary Geologic Assessment* by Terraresearch dated 6/8/2005, and *Fault Investigation* by John Coyle & Associates dated 2/3/2006. All residential construction, including the proposed light wells, shall be confined to the building envelop shown on the John Coyle & Associates report. Proposed site plan for building permit approval should show this building envelope and the plans must be reviewed by John Coyle & Associates to determine that the location of the proposed residential structure is within the established building envelope. **(E)**
20. The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the

issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)

21. At the time of building permit plan check submittal the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall analyze the existing and ultimate conditions and facilities. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to building permit issuance. (E)
22. Prior to building permit issuance developer shall satisfy the conclusions and recommendations of the *Soils Engineering and Geologic and Seismic Hazards Evaluation Reports* by Earth Systems Consultants dated 1981-1982, *Preliminary Geologic Assessment* by Terrasearch dated 6/8/2005, and *Fault Investigation* by John Coyle & Associates dated 2/3/2006. (E)
23. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to, connection fees (water, sewer and storm), treatment plant fee, plan check and inspection deposit, and 2.5% building permit automation fee. (E)
24. All existing on-site public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrub are permitted within City utility easements, where the easement is located within landscape areas. (E)
25. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing #405. Overall cumulative height of the grading, landscaping & signs as determined by sight distance shall not exceed 2 feet when measured from street elevation. (E)
26. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers to eliminate as much as possible pollutants entering our receiving waters. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)
27. The design of this project shall include adequate Best Management Practices (BMPs) to eliminate pollutant from entering the offsite drainage systems. (E)
28. The developer shall submit the following items with the building permit application and pay the related fees prior to building permit issuance:
 - A. Storm water connection fee of **\$3594**, water connection fee of **\$1910**, sewer connection fee of **\$1908** and wastewater treatment plant fee of **\$880**.
 - B. Water Service Agreement(s) for water meter(s) and detector check(s).

C. Sewer Needs Questionnaire and/or Industrial Waste Questionnaire.

29. Contact the Land Development Section of the Engineering Division at (408) 586-3329 to obtain the form(s). **(E)**
30. If the existing services (water, sewer and storm) are not adequately sized to serve this development, plans showing new services must be submitted and approved prior to building permit issuance. **(E)**
31. Prior to any work within public right of way or City easement, the developer shall obtain an encroachment permit from City of Milpitas Engineering Division. **(E)**
32. Apply applicable Guidelines for New Developments and Hillside Landscaping Water Conservation Policy (Resolution # 6066). **(E)**
33. Per Milpitas Municipal Code Chapter 2, Title X (Ord. No. 201), developer may be required to obtain a permit for removal of any existing tree(s). Contact the Street Landscaping Section at (408) 586-2601 to obtain the requirements and forms. **(E)**
34. The developer shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hrs prior to construction for location of utilities. **(E)**
35. At the time of building plan check submittal, the developer shall incorporate the changes shown on Engineering Services Exhibit "S"(dated 2/5/2007) in the design plans. **(E)**
36. It is the responsibility of the developer to obtain any necessary encroachment permits or approvals from affected agencies and private parties. Copies of these approvals or permits must be submitted to the City of Milpitas Engineering Division. **(E)**
37. The Flood Insurance Rate Map (FIRM) issued by the Federal Emergency Management Agency (FEMA) under the National Flood Insurance Program shows this site to be in Flood Zone "D". **(E)**

(P) = Planning
(B) = Building
(E) = Engineering
(F) = Fire Prevention



Planning
 Land Surveying
 Civil Engineering
 Construction Staking

SLOPE DENSITY CALCULATION JOB NO. 01020

APN 029-06-038
 898 Calaveras Ridge Drive, Milpitas
 TRACT NO. 7328, LOT NO. 4

$$S = \frac{100 \cdot I \cdot L}{A}$$

Where:
 I is contour interval in feet
 L is the combined length of the contours in feet
 A is the net area of the lot in square feet

I = 5
 L = 1720 FT
 A = 55,322 sq ft

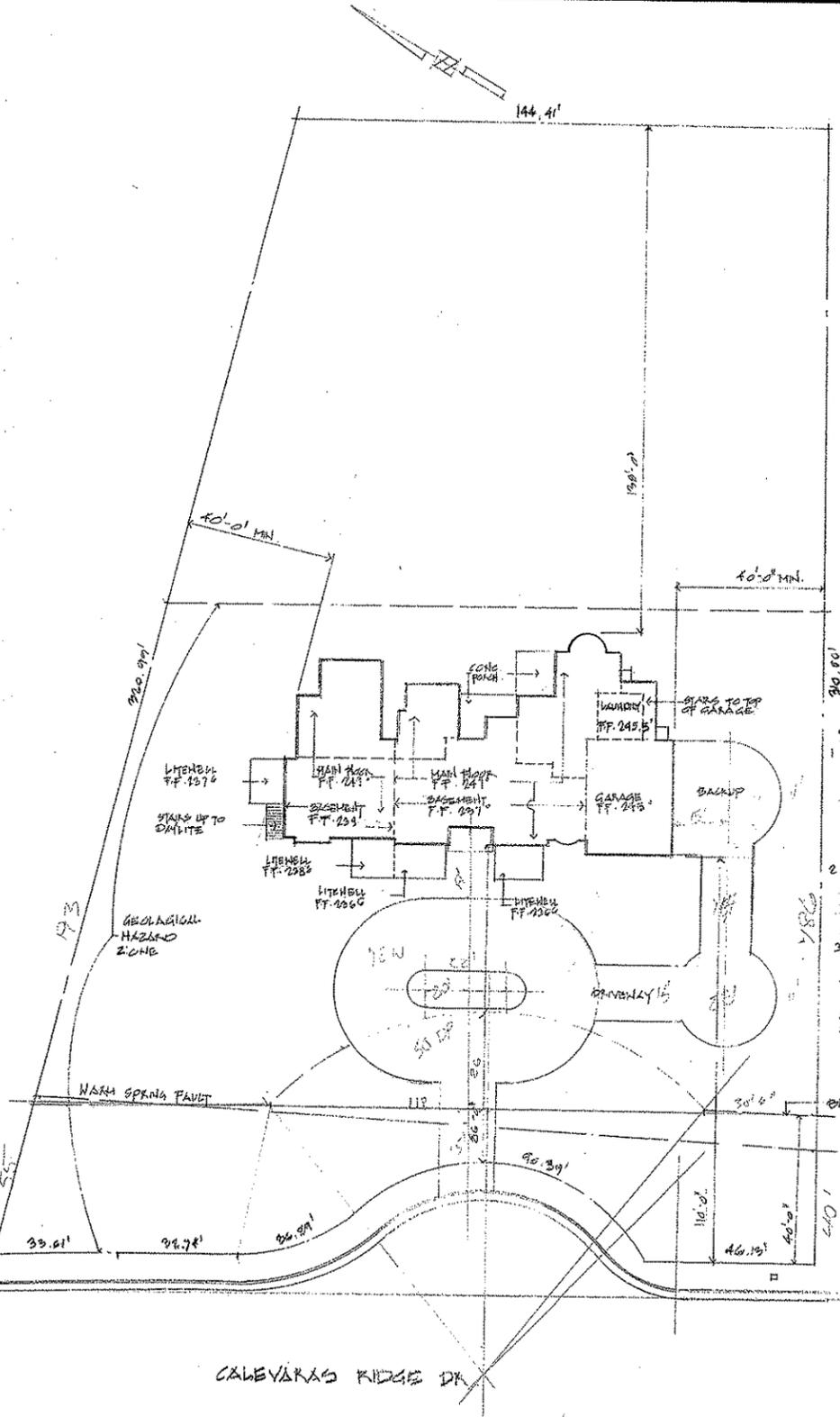
$$S = \frac{(100)(1720)(5)}{55,322} = 15.55\%$$



355 Reed Street, Santa Clara, California 95050-3107
 (408) 727-8282 Fax (408) 727-0285 mjs@ngong.com earthlink.net

RECEIVED
 OCT 31 2008
 CITY OF MILPITAS
 PLANNING DIVISION

- Fire apparatus access roads shall be provided for every building hereafter constructed when any portion of an exterior wall of the first story is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building, California Fire Code Section 902.2.1. Modifications to the entry drive and the turn-around are required. As a mitigating measure, the Milpitas Fire Department will accept an upgrade to the required automatic fire sprinkler system from NFPA 13D to a standard NFPA 13 system or other acceptable mitigation measure (acceptable to the Milpitas Fire Department).
- When and if a gate is proposed at driveway entrance, provide a KNOX lock on chain for Fire Department use. If the gate is provided with an electronic code, provide a Knox key over-ride for fire department access. Contact Fire Department at (408) 586-3365 for application.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all weather driving capabilities. Grass Pavers shall not be installed within the required Fire Department access road. The Fire Department requires all weather driving capabilities road. Grass Pavers may be used at the turn-around and the turn-out provided design and installation provides support for fire apparatus equipment (construction section shall be designed by a Civil Engineer. The minimum access width shall be 14' and the minimum vertical clearance shall be 13'-6". Access road shall show dimensions, and construction details at time of building permit submittal.
- The gradient for a fire apparatus access road shall not exceed 17%, the maximum approved by the Fire Chief. Specify the proposed grade for the driveway.
- The required fire apparatus access road, turn-around and the turn-out shall not be obstructed in any manner, including parking of vehicles. The minimum required widths and clearances shall be maintained at all times.
- All occupancies constructed hereafter in hillside area designated as Hazardous Fire Area, shall have installed an automatic fire sprinkler system meeting the minimum Life-Safety requirements for dwellings as specified in NFPA 13D, Appendix II-A UFC as amended by Section V-300-2.126 MMC.
- Fire Safety during construction, alteration or demolition shall be in conformance with the CFC Section 8704.
- Combustible construction shall not begin until fire apparatus access roads are installed and water mains and hydrants are operational. CFC Sections 8704.2 and 8704.3.
- Provide adequate clearance of brush and vegetative growth. CFC Section 1103.2.4.
- Provide a telephone prior to construction. CFC Section 8704.1.



GRADING NOTES

- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING TO BE SCHEDULED BY PUBLIC WORKS INSPECTION AND NOTIFY THE CITY OF MILPITAS PUBLIC WORKS INSPECTION AT LEAST 48 HRS. PRIOR TO ANY WORK. 908.586.2884
- PRIOR TO ANY WORK WITHIN THE CITY RIGHT OF WAY + EASEMENT, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE ENGINEERING SECTION
- CONTRACTOR SHALL SUBMIT COMPLETED SIGNED ENCROACHMENT PERMIT APPLICATION INCLUDING INSURANCE (CITY BUSINESS CONTRACTOR) INFORMATION TO LAND DEVELOPMENT SECTION FOR PROCESSING

HILLSIDE CONSTRUCTION

Hillside construction shall be designed for a basic wind speed of 80 mph and Exposure C. All structures located in the hillside shall conform to the requirements of Appendix Chapter 23, Milpitas Code sec. 11-3-2.10

HILLSIDE ROOFING

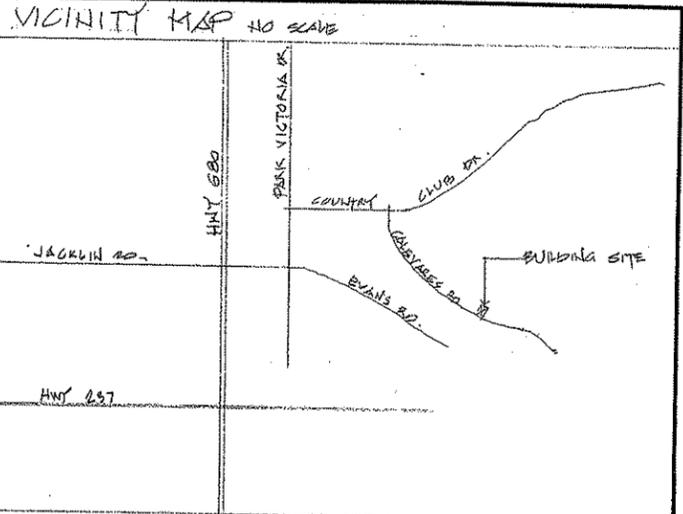
Class A or class B roof covering shall be required for all hillside construction. Milpitas Code sec. 11-3-2.08

LOT SURVEY REQUIRED

ALL PROPERTY LINES SHALL BE STAKED AND A WRITTEN STATEMENT CONFIRMING THE SURVEY RESULTS AND STAKING METHOD SHALL BE SUBMITTED PRIOR TO FOUNDATION INSPECTION (MMC 11-1-21.01)

SITE PLAN 1/8"=1'-0"

NOTES:
 GRADING PLAN RETAINING WALLS + DRIVEWAY DESIGN BY MISSION ENGINEERS
 LANDSCAPE PLAN BY REED ASSOCIATES



PROPERTY DESCRIPTION

898 CALAVERAS RIDGE DR. APN 029-06-038
 MILPITAS, SANTA CLARA CO., CALIFORNIA

AREAS

LOT AREA	55,322	SQ FT
MAIN FLOOR AREA	34,237.5	SQ FT
GARAGE	780.5	SQ FT
EASEMENT	1,501.75	SQ FT
TOTAL F.A.R.	5700	
COVERED PORCHES	299	SQ FT
LITE WELLS	342	SQ FT
DRIVEWAY + WALKS	3010	SQ FT
TOTAL IMP. COVERAGE	7855.25	SQ FT

GENERAL NOTES

- NO EXISTING STRUCTURES + FINISHES
- ADJACENT LOTS ON SOUTH SINGLE PAK. NORTH VACANT EAST OPEN SPACE
- SLOPE DENSITY 15.55%
- CUT PER BASEMENT 1613 CU. YD. EXPORT
- CUT PER SITE 780 CU. YD. FILL 780 CU. YD.
- ALL CONSTRUCTION SHALL CONFORM TO 2001 CBC, CMC, CPC, CFC, CUHC + 2004 CEC
- CONTRACTOR + ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS + CONDITIONS PRIOR TO START OF WORK
- WALLS SHOWN ARE 2" NOMINAL DIMENSION DO NOT SCALE, DIMENSIONS GOVERN
- LOT SURVEY IS REQUIRED FOR NEW CONSTRUCTION

INDEX

1	SITE PLAN	D1	DETAILS
2	INTERIOR ELEVATIONS, SCHEDULES	D2	DETAILS
3	MAIN FLOOR PLAN	D3	DETAIL
4	LOWER FLOOR PLAN	T2A	TITLE 2A
5	FOUNDATION PLAN		
6	MAIN FLOOR FINISH PLAN		
7	ROOF FINISH PLAN		
8	ROOF PLAN		
9	CROSS SECTIONS		
10	CROSS SECTIONS		
11	REFLECTED CEILING PLAN		
12	MAIN FLOOR ELECT. + MECH. LAYOUT		
13	LOWER FLOOR ELECT. + MECH. LAYOUT		
14	EXTERIOR ELEVATIONS		
15	EXTERIOR ELEVATIONS		

REVISIONS	BY

A NEW CUSTOM HOME FOR:
 MR. & MRS. HARRY PANCHAL
 898 CALAVERAS RIDGE DR. MILPITAS, CA

441 N. Central Ave. Campbell, CA 95008
 (408) 370-7880 Fax (408) 370-7883
 e-mail: @pdavis@earthlink.net



Date: 10/24/08
 Scale: 1"=20'-0"
 Drawn: [Signature]
 Job: 2403
 1 of 1 Sheets

OWNER
MR. HARRESH PANCHAL
 134 SWEETBERRY COURT
 SAN JOSE, CA 95136
 PHONE: 408-972-8745

STRUCTURAL DESIGN
JIM RASP P.E.
 5134 ELROSE AVE.
 SAN JOSE, CA
 PHONE: 408-448-6768

FAULT INVESTIGATION
JOHN COYLE & ASSOC. Inc.
 1449 MAIN ST. STE A
 FORTUNA, CA 95540
 PHONE: 707-725-3145

SLOPE STABILITY SCREENING ANALYSIS
POLLAK ENGINEERING INC.
 634 NO. SANTA CRUZ AVE. #114
 LOS GATOS, CA 95030
 PHONE: 408-354-0420

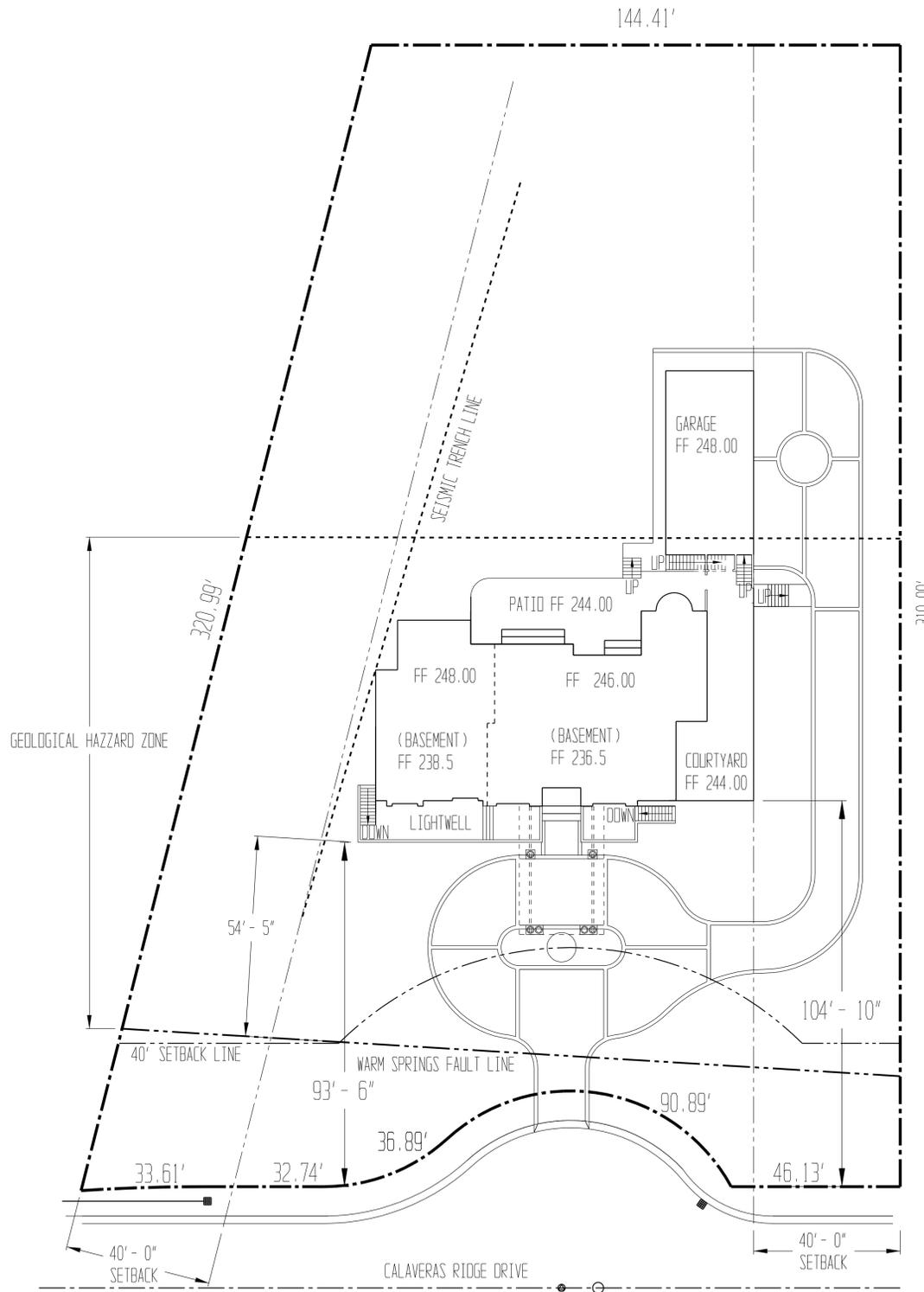
GEOTECHNICAL INVESTIGATION
AES
ALLIANCE ENVIRONMENTAL & SOIL ENGINEERING
 1400 COLEMAN AVE. STE C16-F
 SANTA CLARA, CA 95050
 PHONE: 408-970-8685

PROJECT ROSTER

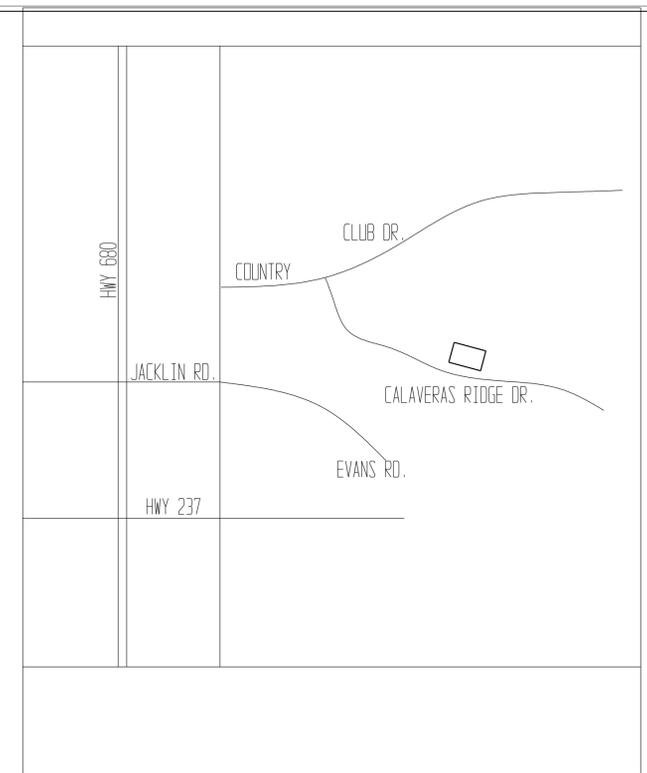
DEFERRED SUBMITTALS REQUIRED FOR: METAL GATE W/ OPERATOR, PRE-CAST CONCRETE FENCES, AND PRE-FAB ROOF TRUSSES PER REQUIREMENTS OF U.B.C., SECTION 106.3.4.2. DEFERRED TO ARCHITECT OR ENGINEER OF RECORD FOR REVIEW PRIOR TO SUBMITTAL TO BUILDING DEPT. ITEMS SHALL BE SUBMITTED W/ NOTATION OF DESIGN CONFORMANCE BY ARCHITECT OR ENGINEER OF RECORD.

NO DEFERRED SUBMITTAL ITEM SHALL BE INSTALLED UNTIL SUBMITTAL DOCUMENTS ARE APPROVED BY THE BUILDING OFFICIAL

DEFERRED SUBMITTALS



SITE PLAN



PROJECT HISTORY

PROJECT ADDRESS: 898 CALAVERAS RIDGE DRIVE
 MILPITAS, CA

ASSESSORS PARCEL NO.: 29-06-038
 PERMIT NO.: B-BP07-0358

LOT AREA: 56,259 SQ. FT.
 NEW BUILDING AREA:

MAIN FLOOR	3901 SQ. FT.
GARAGE	1200 SQ. FT.
BASEMENT FLOOR	2033 SQ. FT.
LIGHTWELLS	568 SQ. FT.
PATIO/COURTYARD PAVERS	1190 SQ. FT.
TOTAL NON-PERMEABLE	5669 SQ. FT.
TOTAL LIVING SQ. FT.	5934 SQ. FT.

OCCUPANCY GROUP: R-1 CONSTRUCTION TYPE: 5-A
 F.A.R. 4652/56259=08

FIRE SPRINKLERS: INSTALLED PER N.F.P.A. 13, SEPARATE PERMIT IS REQ'D BY FIRE DEPARTMENT (DEFERRED SUBMITTAL)

CODES:	U.B.C.	2007
	U.M.C.	2007
	U.P.C.	2007
	N.E.C.	2007
	C.B.C. TITLE 24	2005

TABLE OF CONTENTS:

- 0 COVER SHEET
- 1 WINDOW/DOOR/FINISH SCHEDULES
- 2 ELECT. LOAD CALCS/PLUMBING/HEATING LOADS
- 3 FOUNDATION PLAN
- 4 BASEMENT FLOOR PLAN
- 5 MAIN FLOOR PLAN
- 6 FRONT/REAR ELEVATIONS
- 7 LEFT/RIGHT ELEVATIONS
- 8 FRONT/SIDE CROSS-SECTIONS
- 9 SECONDARY CROSS-SECTIONS
- 10 MAIN FLOOR ELECTRICAL LAYOUT
- 11 BASEMENT FLOOR ELECTRICAL LAYOUT
- 12 ROOF PLAN
- S1 STRUCTURAL NOTES
- S2 FRAMING HOLDOWN LAYOUT
- S3 SHEARWALL SCHEDULE
- S4 FOUNDATION DETAILS
- S5 STRUCTURAL DETAILS
- P1
- P2
- P3
- C1 GRADING & DRAINAGE NOTES & DETAILS
- C2 GRADING & DRAINAGE PLAN
- C3 EROSION CONTROL PLAN
- C4 STORMWATER CONTROL PLAN
- L1.0 LANDSCAPE LAYOUT PLAN
- L1.1 LANDSCAPE MATERIALS AREA TAKE-OFF
- L2.0 LANDSCAPE IRRIGATION PLAN
- L3.0 LANDSCAPE PLANTING PLAN
- L4.0 LANDSCAPE CONSTRUCTION DETAILS
- L4.1 LANDSCAPE CONSTRUCTION DETAILS
- L5.0 LANDSCAPE SPECIFICATIONS

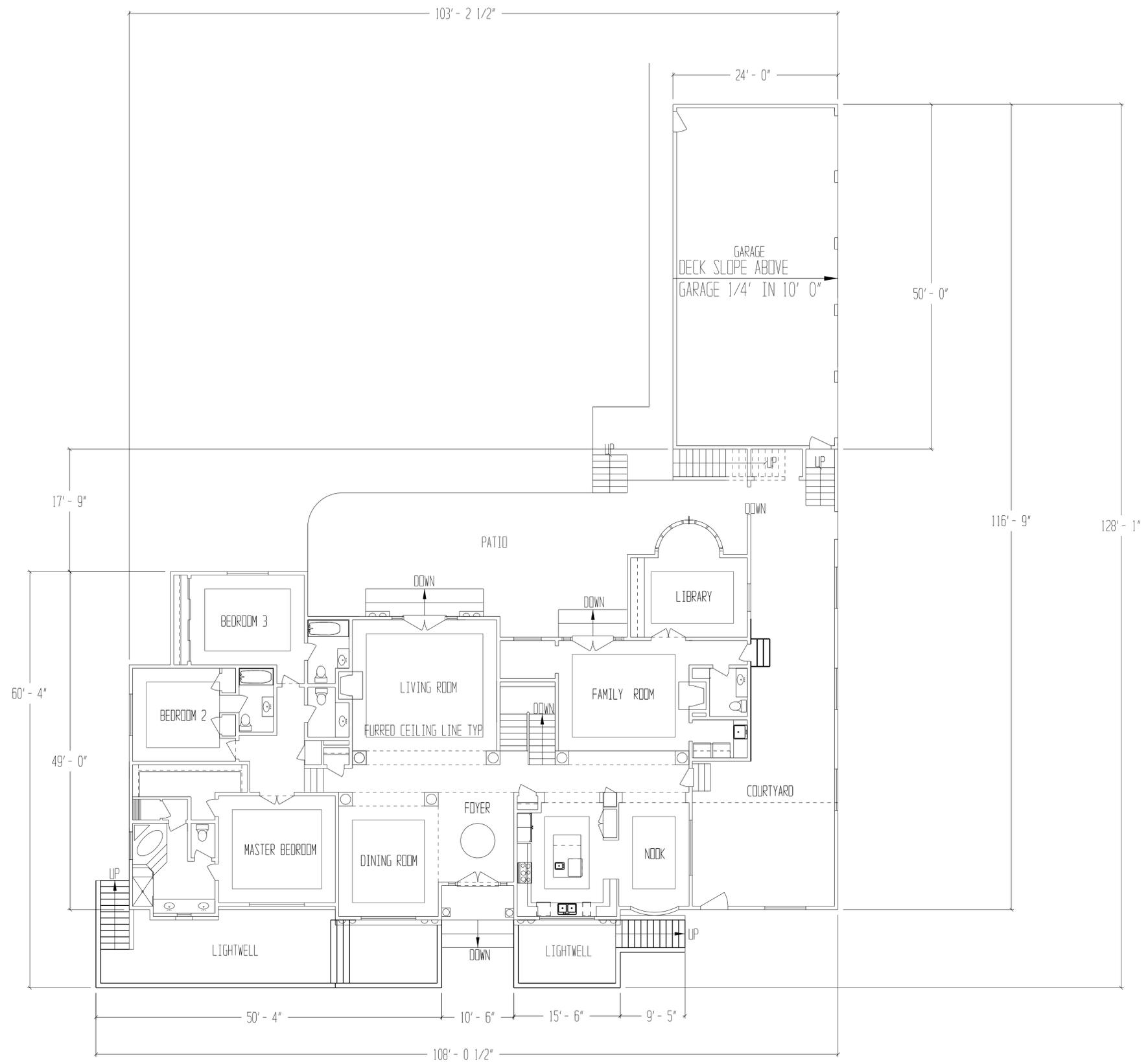
REVISIONS

CHARLIE DILL 2197 LAKEWOOD DR.
 SAN JOSE, CA 95132
 email: charles_dill@esbcglobal.net

NEW RESIDENCE FOR:
HARRY PANCHAL
 898 CALAVERAS RIDGE DRIVE MILPITAS, CA 95035

COVER SHEET AND SITEPLAN

DATE 9-27-05
 SCALE 1/4" = 1' 0"
 DRAWN CTD
 JOB
 SHEET 1
 OF SHEETS



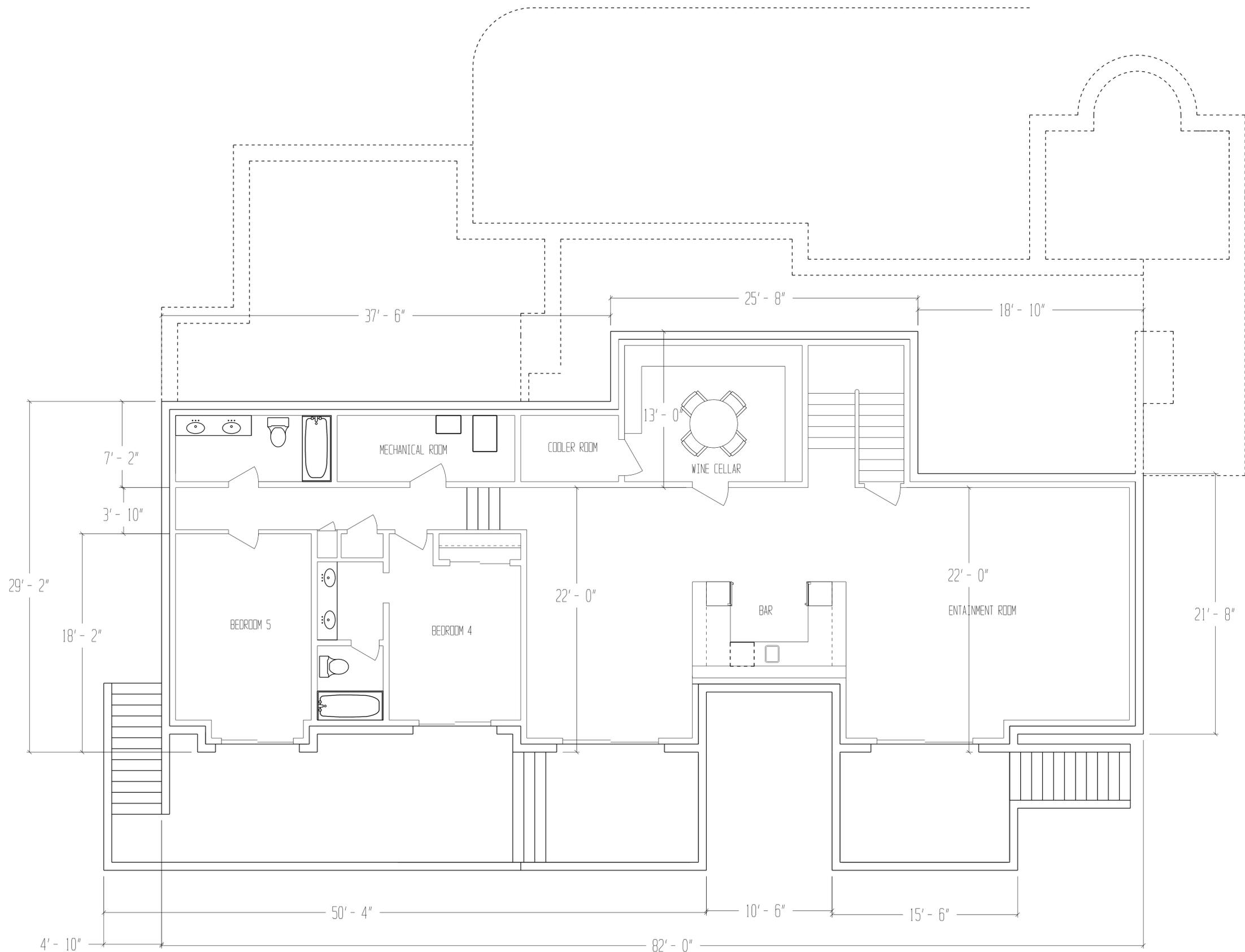
REVISIONS

CHARLIE DILL 2197 LAKEWOOD DR.
 SAN JOSE, CA 95132
 email: charles_dill@esbcglobal.net

NEW RESIDENCE FOR:
HARRY PANCHAL
 898 CALAVERAS RIDGE DRIVE MILPITAS, CA 95035

MAIN FLOOR PLAN

DATE 9-27-05
 SCALE 1/4" = 1' 0"
 DRAWN CTD
 JOB
 SHEET
 OF SHEETS



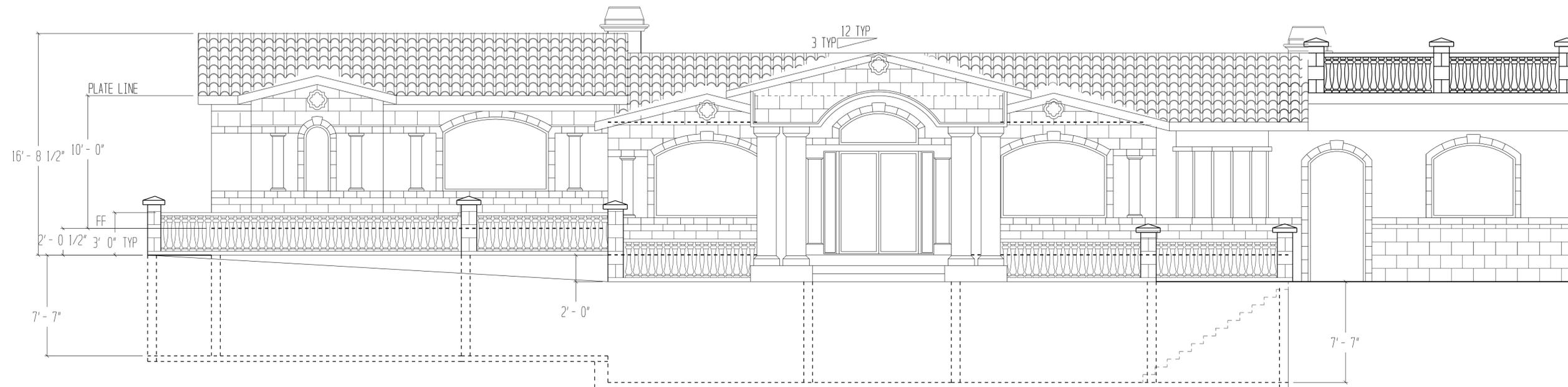
REVISIONS

CHARLIE DILL 2197 LAKEWOOD DR.
 SAN JOSE, CA 95132
 email: charles_dill@esbcglobal.net

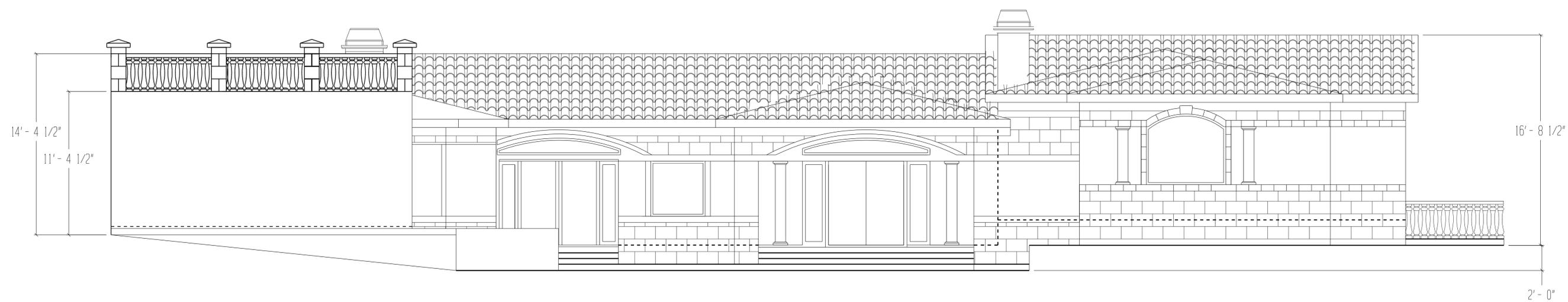
NEW RESIDENCE FOR:
HARRY PANCHAL
 888 CALAVERAS RIDGE DRIVE MILPITAS, CA 95035

BASEMENT FLOORPLAN

DATE	9-27-05
SCALE	1/4" = 1' 0"
DRAWN	CTD
JOB	
SHEET	4
OF SHEETS	



FRONT ELEVATION



REAR ELEVATION

REVISIONS

CHARLIE DILL 2197 LAKEWOOD DR.
SAN JOSE, CA 95132
email: charles_dill@esbcglobal.net

NEW RESIDENCE FOR:
HARRY PANCHAL
898 CALAVERAS RIDGE DRIVE MILPITAS, CA 95035

FRONT AND REAR ELEVATIONS

DATE 9-27-05

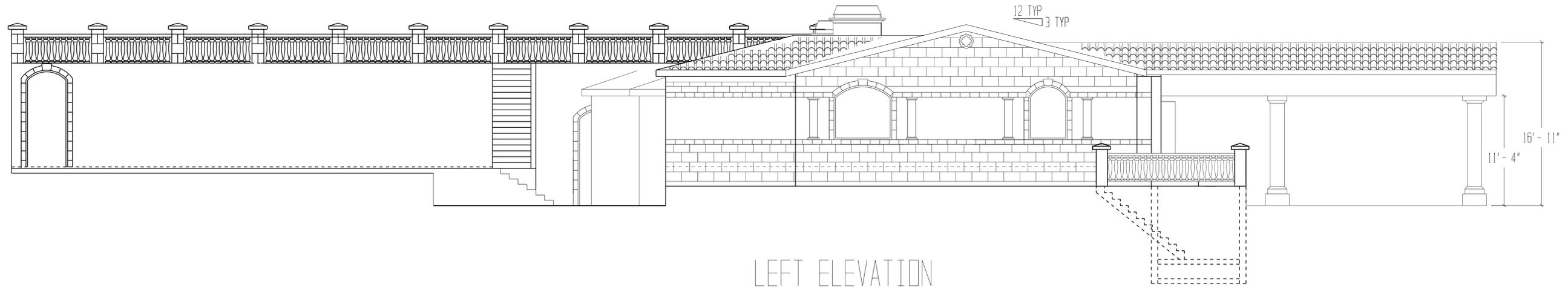
SCALE 1/4" = 1' 0"

DRAWN CTD

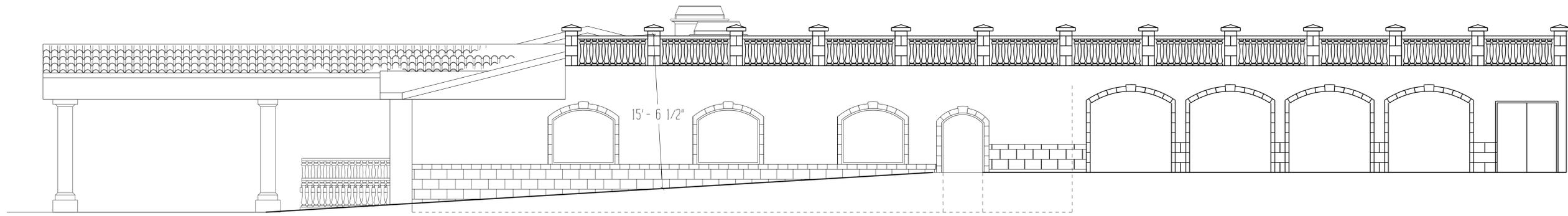
JOB

SHEET

6 OF SHEETS



LEFT ELEVATION



RIGHT ELEVATION

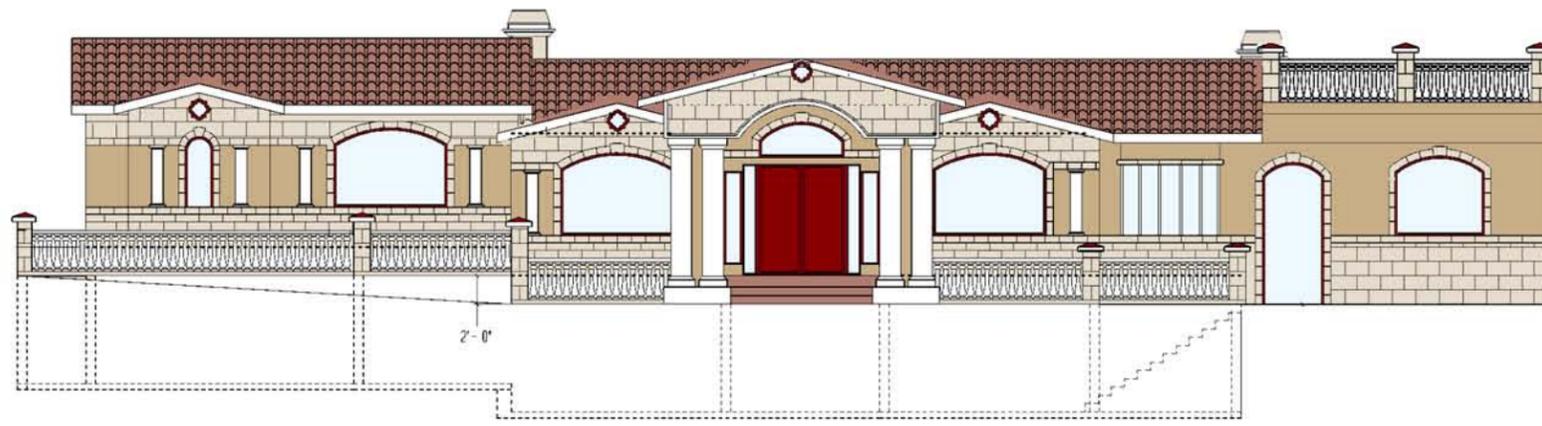
REVISIONS

CHARLIE DILL 2197 LAKEWOOD DR.
 SAN JOSE, CA 95132
 email: charles_dill@esbcglobal.net

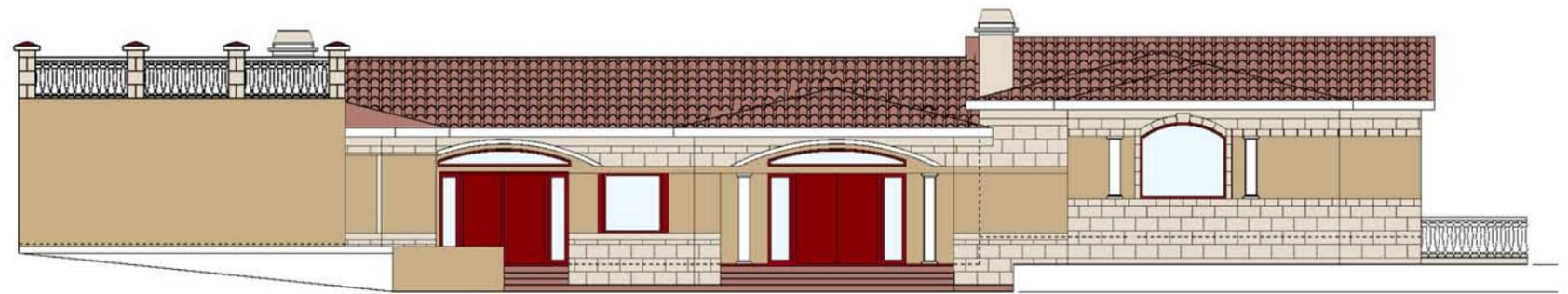
NEW RESIDENCE FOR:
HARRY PANCHAL
 898 CALAVERAS RIDGE DRIVE MILPITAS, CA 95035

END ELEVATIONS

DATE 9-27-05
 SCALE 1/4" = 1' 0"
 DRAWN CTD
 JOB
 SHEET
 7
 OF SHEETS



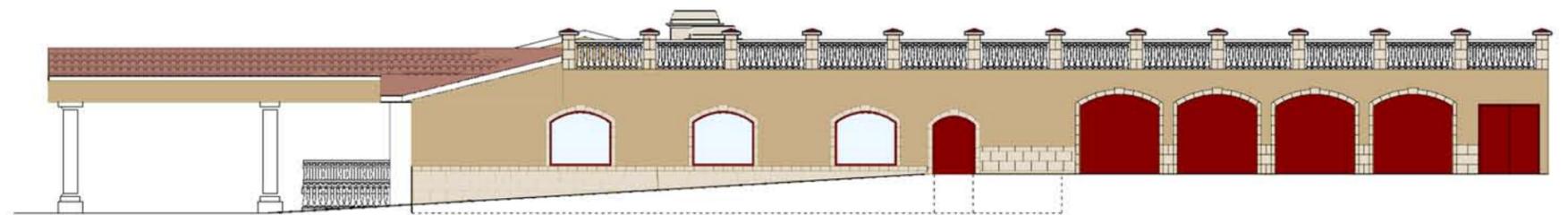
FRONT ELEVATION



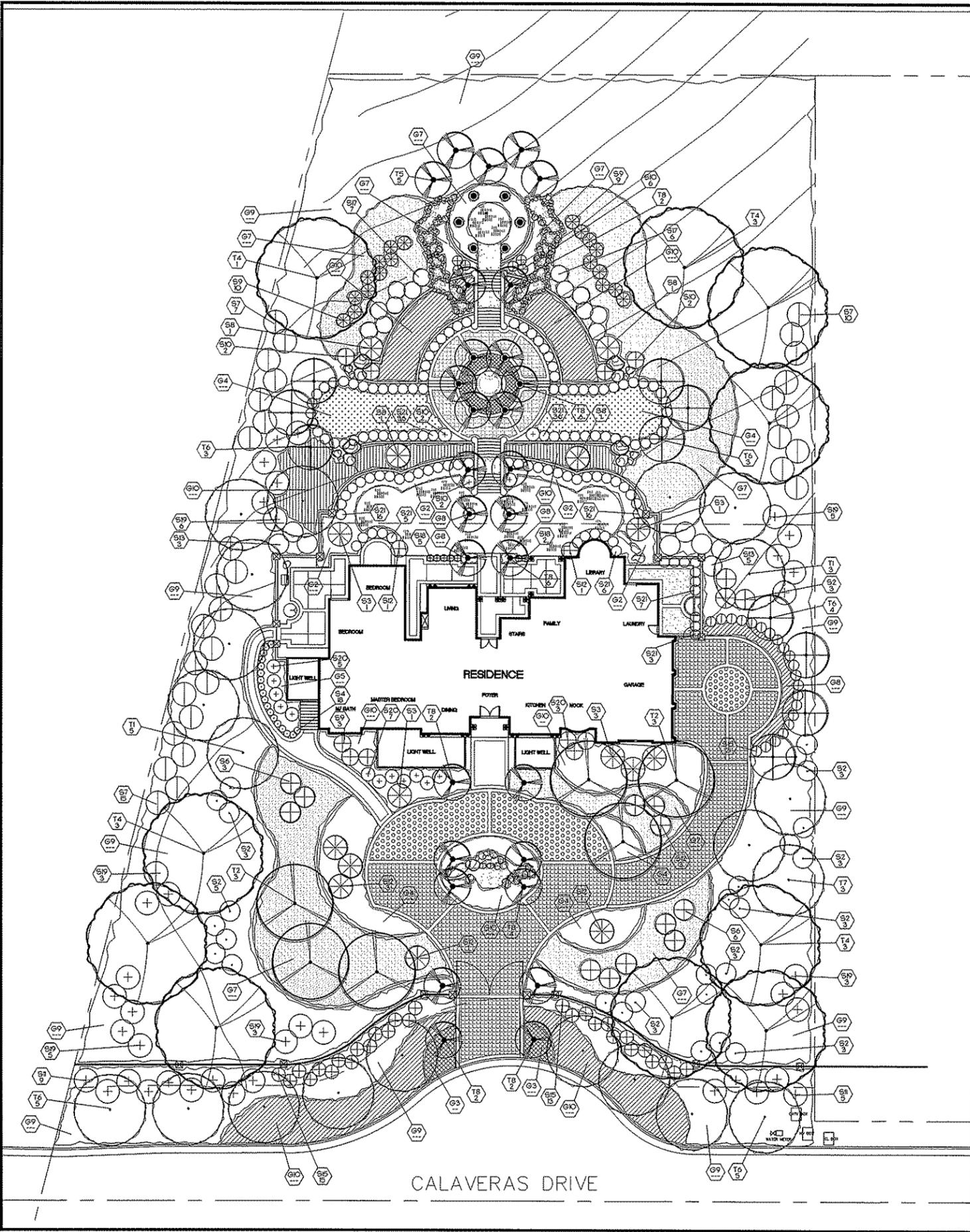
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

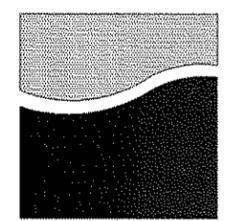


PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
T1	QUERCUS PALUSTRIS	PIN OAK	--	24"DBH	STANDARD
T2	OLEA B. 'SWAN HILL'	OLIVE	--	24"DBH	MULTI-TRUNK
T3	ABUTILON CALIFORNICA	CALIFORNIA BUCKEYE	--	24"DBH	STANDARD
T4	QUERCUS LOBATA	VALLEY OAK	--	24"DBH	STANDARD
T5	COTINUS COCKYTONIA	POCKLE TREE	--	18" GAL	MULTI-TRUNK
T6	LAGERSTROMIA L. 'DISCARORA'	ORANGE MYRTLE	--	24"DBH	STANDARD
T7	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	--	24"DBH	STANDARD
T8	TRACHYCARPUS FORTUNEI	WINDMILL PALM	--	10' DBH	WIDEN TRUNK
SHRUBS					
S1	ABELIA X G. EDWARD GAUCHER	GLOSSY ABELIA	--	15 GAL	
S2	CEANOTHUS TAUZIA PHELPS	CEANOTHUS	--	15 GAL	
S3	ARBUS UNEDO	STRAWBERRY TREE	--	15 GAL	
S4	BUXUS M. J. 'GREEN BEAUTY'	JAPANESE BOXWOOD	--	1 GAL	
S5	ESCALLONIA TRADERSII	FRADER'S ESCALLONIA	--	15 GAL	
S6	DODONAEA VIGGOSA	HORNED BUSH	--	15 GAL	
S7	ELAEAGNUS P. 'VAREGATA YELLOW'	YELLOW EDGE ELAEAGNUS	--	15 GAL	
S8	PELLOA BELLOLUNA	PINEAPPLE GUAVA	--	15 GAL	
S9	ROSEMARINUS 'MISS JESSUP'S UPRIGHT'	ROSEMARY	--	15 GAL	
S10	PERNETTYA ALTOUCRY	FOUNTAIN GRASS	--	15 GAL	
S11	PHLOX OVATA	SUNSHINE	--	15 GAL	
S12	PHLOX-SILF T. 'APRICOT QUEEN'	HYBRID FLAX	--	15 GAL	
S13	MYRTICA CALIFORNICA	PACIFIC WAX MYRTLE	--	15 GAL	
S14	NANDINA P. 'COMPACTA'	HEAVENLY BAMBOO	--	15 GAL	
S15	ESCALLONIA 'COMPACTA'	NGN	--	15 GAL	
S16	PESTICIA GLAUCO	COMMON BLUE FESCUE	--	1 GAL	
S17	PLUMBAGO AURICULATA	CAPE PLUMBAGO	--	15 GAL	
S18	ALICE MOBLES	ALICE	--	1 GAL	
S19	COTONASTER LACTEUS	NGN	--	15 GAL	
S20	RHAPHOLEPIUM L. 'MINOR'	NGN	--	15 GAL	
S21	ROSA 'WHITE CARPET'	GROUND COVER ROSE	--	15 GAL	
GROUND COVERS					
G1	---	---	---	---	---
G2	EUCENTHUS P. 'COLORATA'	PURPLE-LEAF WINTER CREEPER	FLATS	18" O.C.	
G3	ACAPANTHUS TRICKSEBELI	WAX-OF-THE-NILE	1 GAL	24" O.C.	
G4	CEANOTHUS GLORIOSUS	POINT REYES CEANOTHUS	1 GAL	48" O.C.	
G5	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	FLATS	18" O.C.	
G6	GAZANIA L. 'WHITE'	TRAILING GAZANIA	FLATS	18" O.C.	
G7	COTONASTER D. 'L'CEFAST'	BEARSBERRY COTONASTER	1 GAL	36" O.C.	
G8	LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 GAL	24" O.C.	
G9	HYPERICUM CALYCEUM	AARON'S BEARD	FLATS	24" O.C.	
G10	ROSEMARINUS D. 'MANTINGTON CARPET'	ROSEMARY	1 GAL	36" O.C.	
VINES					
V1	DICTYOTA BUCINATORIA	BLOOD-RED TRUMPET VINE	15 GAL		

PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED! USE TRIANGULAR SPACING.
- (S12) INDICATES PLANT KEY
 - (S12/5) INDICATES PLANT QUANTITY
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE SHALL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3% SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 10% SLOPE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN).
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/2" FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. ANY DAMAGE TO UTILITIES, STRUCTURES OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY VARY CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS.
- REFER TO CIVIL ENGINEER'S PLAN FOR OVERALL SITE GRADING AND DRAINAGE.
- ROOF LAWN SHALL BE DRAINAGE BLEND.
- PRIOR TO ANY DIGGING, CALL UNDERGROUND SERVICE ALERT 1-800-4-A-SHIELD.
- (T8) EXISTING TREE TO REMAIN



REED ASSOCIATES
LANDSCAPE ARCHITECTURE
477 SOUTH TAAFFE STREET
SUNNYVALE, CALIFORNIA 94086
408.481.9025 / 408.481.9022 FAX
web: www.raia.net / email: reed@raia.com

RESIDENCE FOR
MR. & MRS. PANCHAL

898 CALAVERAS RIDGE ROAD
MILPITAS, CA

ISSUE	DATE



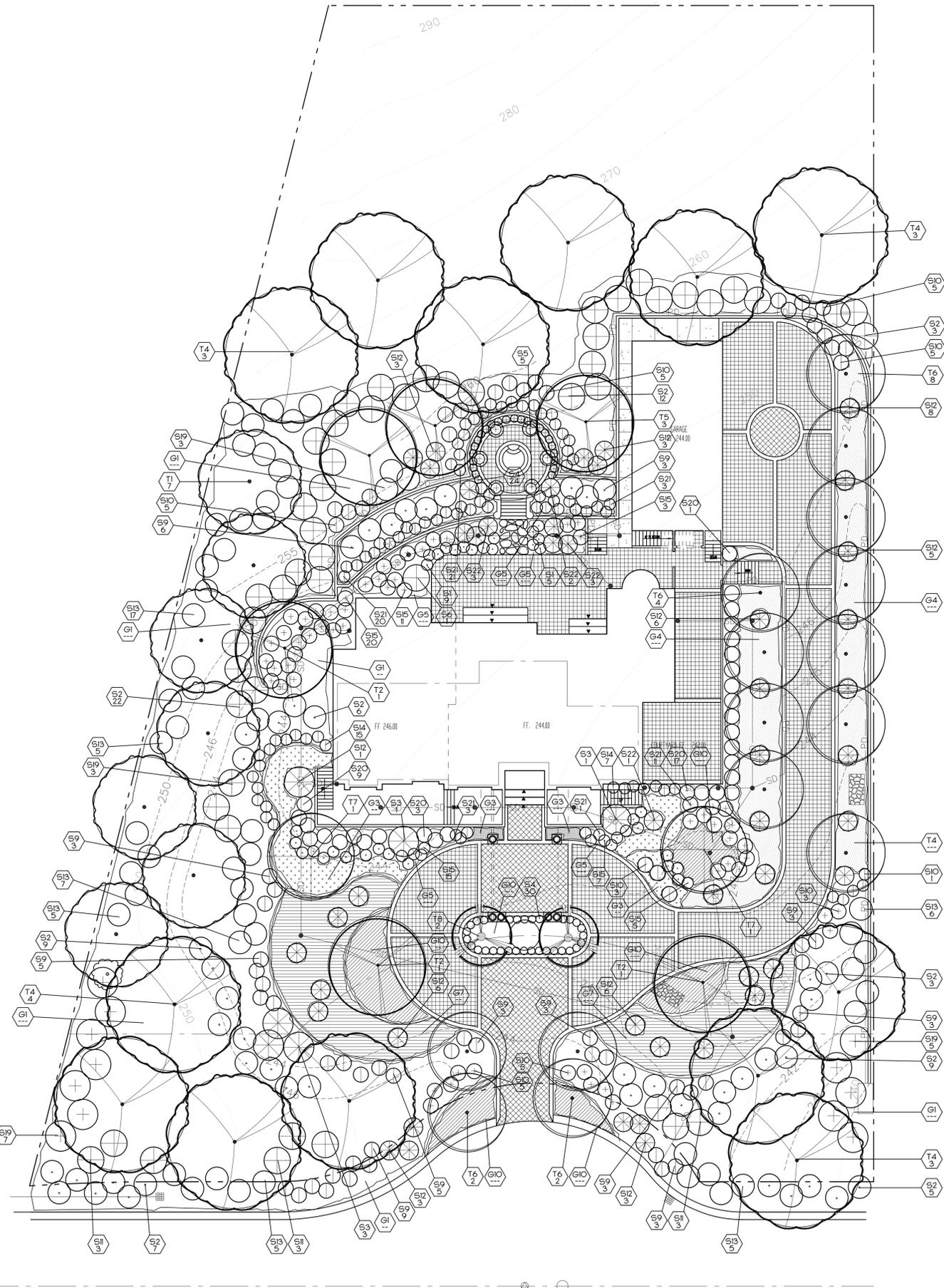
OWNERSHIP AND USE OF DOCUMENTS
All Drawings, Specifications and copies thereof furnished by Reed Associates Landscape Architecture are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for purposes in connection with the Project is not to be construed as publication in derogation of Reed Associates Landscape Architecture, common law copyright or other reserved rights.

Approved: pjr
Drawn: JRB Reviewed: xx
Project No. 03.xx
Scale: 1"=16'-0" Issue Date: 06/20/05



PLANTING PLAN

L3.0

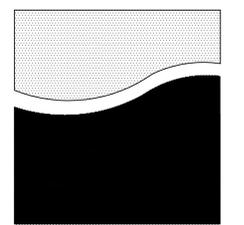


PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
T1	QUERCUS PALUSTRIS	PIN OAK	---	24" BOX	STANDARD
T2	OLEA E. 'SIUAN HILL'	OLIVE	---	24" BOX	MULTI-TRUNK
T3	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	---	24" BOX	STANDARD
T4	QUERCUS LOBATA	VALLEY OAK	---	24" BOX	STANDARD
T5	COTINUS COGGYGRIA	SMOKE TREE	---	15 GAL	MULTI-TRUNK
T6	LAGERSTROEMIA I. 'TUSCARORA'	CRAPPE MYRTLE	---	24" BOX	STANDARD
T7	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	---	24" BOX	STANDARD
T8	TRACHYCARPUS FORTUNEI	WINDMILL PALM	---	FLD GRN	W/BROWN TRUNK
SHRUBS					
S1	AGAPANTHUS 'INKERBELL'	DWARF VARIEGATED AGAPANTHUS	---	1 GAL	
S2	CEANOTHUS 'JULIA PHELPS'	CEANOTHUS	---	5 GAL	
S3	ARBUTUS UNEDO	STRAWBERRY TREE	---	15 GAL	
S4	BUXUS M. J. 'GREEN BEAUTY'	JAPANESE BOXWOOD	---	1 GAL	
S5	DIETES G. 'VARIEGATA'	STRIPED FORTNIGHT LILY	---	5 GAL	
S6	DOXONAEA YUCCOSA	HOPSEED BUSH	---	5 GAL	
S7	ELAEAGNUS P. 'VARIEGATA YELLOW'	YELLOW EDGE ELAEAGNUS	---	5 GAL	
S8	---	---	---	15 GAL	
S9	ROSEMARINUS 'MISS JESSUPS UPRIGHT'	ROSEMARY	---	5 GAL	
S10	FENISSETUM A. 'MOUDRY'	FOUNTAIN GRASS	---	5 GAL	
S11	RHUS OVATA	SUGAR BUSH	---	5 GAL	
S12	PHORMIUM T. 'APRICOTE QUEEN'	HYBRID FLAX	---	5 GAL	
S13	MYRTIA CALIFORNICA	PACIFIC WAX MYRTLE	---	5 GAL	
S14	NANDINA D. 'COMPACTA'	HEAVENLY BAMBOO	---	5 GAL	
S15	ESCALLONIA 'COMPACTA'	NCN.	---	5 GAL	
S16	FESTUCA GLAUCA	COMMON BLUE FESCUE	---	1 GAL	
S17	---	---	---	5 GAL	
S18	ALOE NOBILIS	ALOE	---	1 GAL	
S19	COTONEASTER LACTEUS	NCN.	---	5 GAL	
S20	RHAPHIGLIERIS U. 'MINOR'	NCN.	---	5 GAL	
S21	ROSA 'WHITE CARPET'	GROUND COVER ROSE	---	5 GAL	
S22	PHORMIUM 'YELLOW WAVE'	HYBRID FLAX	---	5 GAL	
GROUND COVERS					
G1	ARCTOSTAPHYLOS E. 'CARMEL SUR'	LITTLE SUR MANZANITA	---	1 GAL	5'-0" O.C.
G2	EUCENTHUS F. 'COLORATA'	PURPLE-LEAF WINTER CREEPER	---	FLATS	18" O.C.
G3	AGAPANTHUS 'INKERBELL'	LILY-OF-THE-NILE	---	1 GAL	24" O.C.
G4	CEANOTHUS GLOIOSUS	POINT REYES CEANOTHUS	---	1 GAL	48" O.C.
G5	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	---	FLATS	12" O.C.
G6	GAZANIA H. 'WHITE'	TRAILING GAZANIA	---	FLATS	12" O.C.
G7	COTONEASTER D. 'LOUFAST'	BEARBERY COTONEASTER	---	1 GAL	36" O.C.
G8	LANTANA MONTEVIDENSIS	TRAILING LANTANA	---	1 GAL	24" O.C.
G9	HYPERICUM CALYCLINUM	AARON'S BEARD	---	FLATS	24" O.C.
G10	ROSMARINUS O. 'HUNTINGTON CARPET'	ROSEMARY	---	1 GAL	36" O.C.
VINES					
V1	DISTICTIS BUCCINATORIA	BLOOD-RED TRUMPET VINE	---	5 GAL	

PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED; USE TRIANGULAR SPACING.
- INDICATES PLANT KEY
 - INDICATES PLANT QUANTITY
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN)
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/80 FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS.
- REFER TO CIVIL ENGINEER'S PLAN FOR OVERALL SITE GRADING AND DRAINAGE.
- 80D LAWN SHALL BE DWARF FESCUE BLEND.
- PRIOR TO ANY DIGGING, CALL UNDERGROUND SERVICE ALERT 1800.642.2444.



REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 477 SOUTH TAAFFE STREET
 SUNNYVALE, CALIFORNIA 94086
 408.481.9020 / 408.481.9022 FAX
 web: www.rala.net / email: reed@rala.com

RESIDENCE FOR MR. & MRS. PANCHAL

898 CALAVERAS RIDGE ROAD
 MILPITAS, CA

ISSUE	DATE
PLANT QUANTITIES	nov. 4, 2008
SITE ADJUSTMENTS	APR. 3, 2009
SITE ADJUSTMENTS	10/05/09



OWNERSHIP AND USE OF DOCUMENTS
 All Drawings, Specifications and copies thereof furnished by Reed Associates Landscape Architecture are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for purposes in connection with the Project is not to be construed as publication in derogation of Reed Associates Landscape Architecture, common law copyright or other reserved rights.

Approved: pjr
 Drawn: dgs
 Project No. 00.00
 Scale 1"=16'-0" Issue Date 06/11/08



LANDSCAPE PLANTING PLAN



L3.0