



## MILPITAS PLANNING COMMISSION AGENDA REPORT

### PUBLIC HEARING

Meeting Date: September 14, 2011

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**APPLICATION:** **SITE DEVELOPMENT PERMIT NO. SD11-0004**

**APPLICATION  
SUMMARY:**

A request for a 1,178 square foot two story addition for an existing hillside home

**LOCATION:**

1722 Pebble Beach Ct. (APN: 29-55-025)

**APPLICANT:**

Richard A. Hartman, Hometec Architecture, Inc., 619 North 1<sup>st</sup> Street, San Jose, CA 95112

**OWNER:**

James & Christine Hsia, 1722 Pebble Beach Ct., Milpitas, CA 95035

**RECOMMENDATION:**

**Staff recommends that the Planning Commission: Recommend approval to the City Council by adopting Resolution No. 11-046 subject to the attached conditions of approval.**

**PROJECT DATA:**

General Plan/

Zoning Designation:

Hillside Medium Density / Single Family Residential Hillside with Site and Architectural Review Overlay Districts

Related Permits:

PUD 21, and "S" Zone application for a Single Family Residence

CEQA Determination:

Categorically Exempt from further environmental review per Section 15301(e) for "Existing Facilities"

**PLANNER:**

Tiffany Brown, Assistant Planner

**ATTACHMENTS:**

- A. Resolution No. 11-046
- B. Site Plans

# LOCATION MAP



No scale

**BACKGROUND**

In the early 80’s a Planned Unit Development (PUD21 Summit Pointe) for 88 lots for single family detached homes were approved. Subsequent permits include the “S” Zone Application for the construction of a new 2,748 Single Family Hillside home at 1722 Pebble Beach Court.

On June 8, 2011, Richard Hartman with Homtec Architecture Inc, submitted an application for an addition to the existing hillside home. Additions for hillside homes require the review and approval of a Site Development Permit per the Municipal Code Chapter 10, Section 45 for Hillside Overlaying Districts.

**PROJECT DESCRIPTION**

The existing home was built on an 8,276 square foot lot within the Summit Pointe Residence located on the Milpitas Hillside. The existing home is a two story home (27.5 feet at tallest point) with three decks, one in front and two in back with a storage area under the first floor deck facing the rear of the property. The home includes on the first floor (common areas): one kitchen with breakfast nook, family room, dining room, bathroom, and living room along with a three car garage. The second floor includes three bedrooms and two bathrooms.

The applicant is proposing to add 542 square feet to the first floor on the west side of the home. The addition will include a game room and another bathroom. An additional 637 square feet will be added to the second story for the new master bedroom location with new walk in closet and remodeled bathroom. The space that was once used for a master bedroom will now become a family room for the second floor. No additional bedrooms are proposed that would require additional parking.

*Development Standards*

**Table 1**  
**Development Standards**

<b>Standard</b>	<b>PUD 21</b>	<b>Proposed</b>
<u>FAR</u> (Maximum)	6,000 sq.ft.	3,927 sq.ft.
<u>Setbacks</u> (Minimum)		
Front yard setback	20’	unchanged
West side yard setback (side with proposed addition)	5’ (min. 15’ between homes)	11’ (min. 15’ between homes)
East side yard setback	5’ (min. 15’ between homes)	unchanged
Rear yard setback	10’	unchanged
<u>Building Height</u> (Maximum)	2-story limit with max. of 30’ at eave line	2-story with max of 20’ at eave line
<u>Impervious Coverage</u> (Maximum)	8,000 sq.ft.	5,081 sq.ft.
<u>Parking</u> (Minimum) may be discussed in T&C/P section below	3 car garage with additional parking in front of garage	unchanged

Standard	PUD 21	Proposed
include additional table		

Architecture

The addition remains within the same character of the existing home. The colors and materials will match the existing building.

**ADOPTED PLANS AND ORDINANCES CONSISTENCY**

***General Plan***

The table below outlines the project’s consistency with applicable General Plan Guiding Principles and Implementing Policies:

**Table 2**  
**General Plan Consistency**

Policy	Consistency Finding
<i>2.a-l-14:</i> Encourage clustered housing and planned unit developments to reduce the visual impact as viewed from the Valley Floor, preserve natural topographic features, avoid geologic hazards and provide open space in residential areas	Consistent.
<i>2.a-G-3:</i> Provide for a variety of housing types and densities that meet the needs of individuals and families.	Consistent.

The project proposal is consistent with the General Plan in that the addition and façade modifications to the approved hillside home are apart of a Planned Unit Development which reduces the visual impacts as viewed form the Valley Floor and the materials chosen are of earth tone colors that help blend with the natural character of the hillside.

***Zoning Ordinance***

The additions and modifications to the hillside home façade are consistent with the Zoning Ordinance in that the layout of the site and design are compatible and aesthetically harmonious with the adjacent and surrounding development. The project is also consistent with the Site and Architectural Guidelines within the Municipal Hillside Ordinance Section 45, see table below.

**Table 3**  
**Zoning Ordinance Consistency**

Policy	Consistency Finding
<i>45.09-7(a): Avoid Unreasonable interference with Views and Privacy. The height, elevations and placement on the site of the proposed main or accessory structure, when considered with reference to the nature and location of residential structures</i>	<b>Consistent.</b> The home addition meets the required setback distance from neighboring properties and is under the maximum building height limitations.

Policy	Consistency Finding
<i>on adjacent lots, will avoid unreasonable interference with views and privacy.</i>	
<i>45.09-7(b): Preserve Natural Landscape. The natural landscape will be preserved insofar as practicable by designing structures to follow the natural contours of the site and minimizing tree and soil removal.</i>	<b>Consistent.</b> The addition will be built on the west side of the existing home and will follow that existing natural contour which will minimize soil removal.
<i>45.09-7(c): Minimize Perception of Excessive Bulk. The design of the proposed main and/or accessory structure(s) in relation to the immediate neighborhood should minimize the perception of excessive bulk.</i>	<b>Consistent.</b> The design of the existing home with proposed addition in relation to the immediate neighborhood does not give the perception of excessive bulk in that the architecture is consistent with the existing structure and the addition is on the side of the home.
<i>45.09-7(d): Impairment of Light and Air. The proposed main or accessory structure(s) shall not unreasonably impair the light and air of adjacent properties nor unreasonably impair the ability of adjacent properties to utilize solar energy.</i>	<b>Consistent.</b> The new addition is approximately 2.5 feet taller than the existing home and will be located no closer than 15' from any other home therefore will not unreasonably impair the light and air of adjacent properties. The location of the home will not impair the ability of adjacent properties to utilize solar energy.
<i>45.09-7(e): Grading. All grading shall be kept to an absolute minimum and shall comply with the grading ordinance criteria.</i>	<b>Consistent.</b> The addition to the existing home will follow the natural contour of the property which minimizes grading and is within the grading ordinance criteria.

**ENVIRONMENTAL REVIEW**

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt from further environmental review per Section 15301(e) for additions to existing facilities.

**PUBLIC COMMENT/OUTREACH**

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public.

**CONCLUSION**

The addition complies with the General Plan and Zoning Ordinance and is aesthetically harmonious with the hillside neighborhood.

**RECOMMENDATION**

**STAFF RECOMMENDS THAT** the Planning Commission close the public hearing after hearing testimony and adopt Resolution No. approving SD11-0004, subject to the attached Resolution and Conditions of Approval.

*Attachments:*

- A. Resolution No. 11-046
- B. Site Plans

**RESOLUTION NO. 11-046**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, RECOMMENDING APPROVAL TO THE CITY COUNCIL OF SITE DEVELOPMENT PERMIT NO. SD11-0004, HOME ADDITION, FOR A 1,178 SQUARE FOOT ADDITION TO THE EXISTING HILLSIDE HOME LOCATED AT 1722 PEBBLE BEACH CT.**

**WHEREAS**, on June 8, 2011, an application was submitted by A. Hartman, Hometec Architecture, Inc., 619 North 1<sup>st</sup> Street, San Jose, CA 95112, to allow A request for a 1,178 square foot two story addition for an existing hillside home at 1722 Pebble Beach Ct. The property is located within the Single Family Residential Hillside with Site and Architectural Review Overlay Districts Zoning district (APN 29-55-025); and

**WHEREAS**, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project exempt; and

**WHEREAS**, on September 14, 2011, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

**NOW THEREFORE**, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

**Section 1:** The recitals set forth above are true and correct and incorporated herein by reference.

**Section 2:** The project is categorically exempt from further environmental review per Section 15301(e) for minor additions or alterations to existing facilities.

**Section 3:** The project proposal is consistent with the General Plan Policies 2.a-I-14 and 2.a-G-3 in that the addition and façade modifications to the approved hillside home are part of a Planned Unit Development which reduces the visual impacts as viewed from the Valley Floor and the materials chosen are of earth tone colors that help blend with the natural character of the hillside.

**Section 4:** The additions and modifications to the hillside home façade are consistent with the Zoning Ordinance in that the layout of the site and design are compatible and aesthetically harmonious with the adjacent and surrounding development.

**Section 5:** The Planning Commission of the City of Milpitas hereby recommends approval by the City Council of Site Development Permit No. SD11-0004, Hillside Home Addition, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

**PASSED AND ADOPTED** at a regular meeting of the Planning Commission of the City of Milpitas on September 14, 2011.

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Chair

**TO WIT:**

**I HEREBY CERTIFY** that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on September 14, 2011, and carried by the following roll call vote:

<b>COMMISSIONER</b>	<b>AYES</b>	<b>NOES</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Lawrence Ciardella				
Sudhir Mandal				
Zeya Mohsin				
Gurdev Sandhu				
Steve Tao				
Noella Tabladillo				
Mark Tiernan				
John Luk				

**EXHIBIT 1**

**CONDITIONS OF APPROVAL  
SITE DEVELOPMENT PERMIT NO. SD11-0004**

A request for a 1,178 square foot two story addition for an existing hillside home  
1722 Pebble Beach Ct (APN: 29-55-025)

**General Conditions**

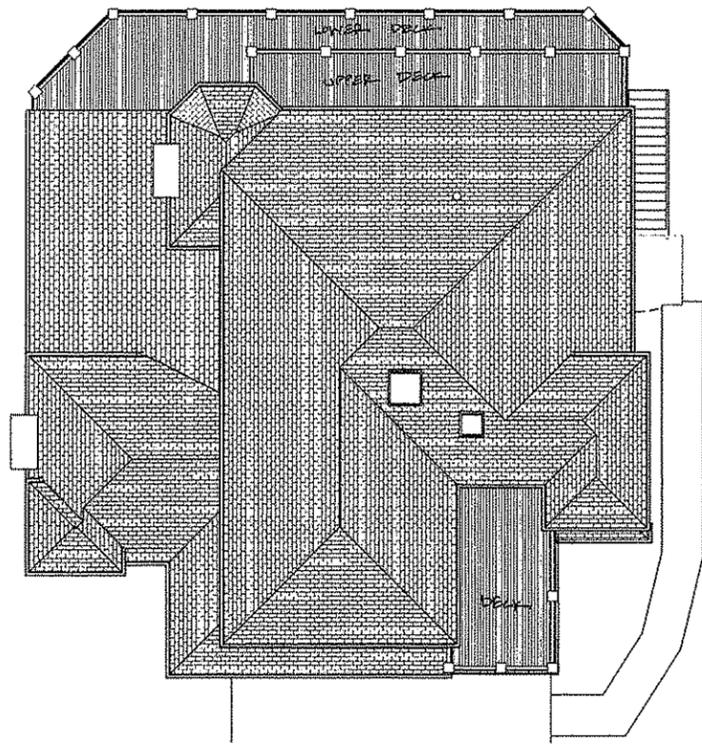
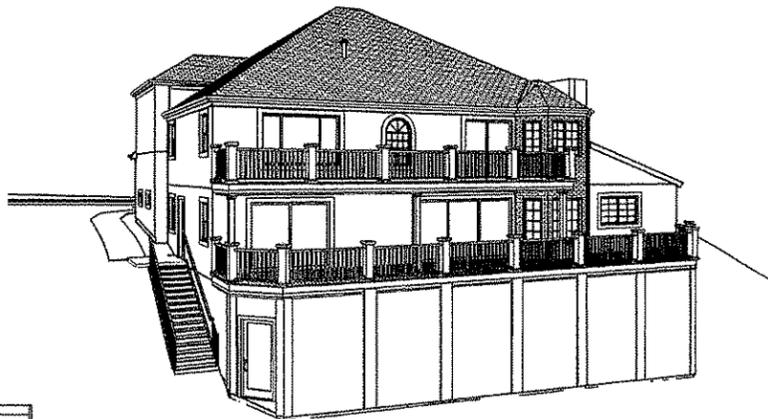
1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on **September 14, 2011**, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. **(P)**

**SD11-0004** shall become null and void if the project is not commenced within two (2) years from the date of approval unless in conjunction with a tentative map, then the project life coincides with the life of the map. Pursuant to Section 64.06(B) of the Zoning Ordinance of the City of Milpitas, commencement shall be:

- a. Completes a foundation associated with the project; or
  - b. Dedicates any land or easement as required from the zoning action; or
  - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
2. Pursuant to Section 64.06(1), the owner or designee shall have the right to request an extension of **SD11-0004** if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. **(P)**
  3. Prior to the issuance of building permits, the owner or designee shall include within the four first pages of the working drawings for a plan check, a list of all conditions of approval imposed by the final approval of the project. **(P)**

(P) = Planning



ROOF PLAN

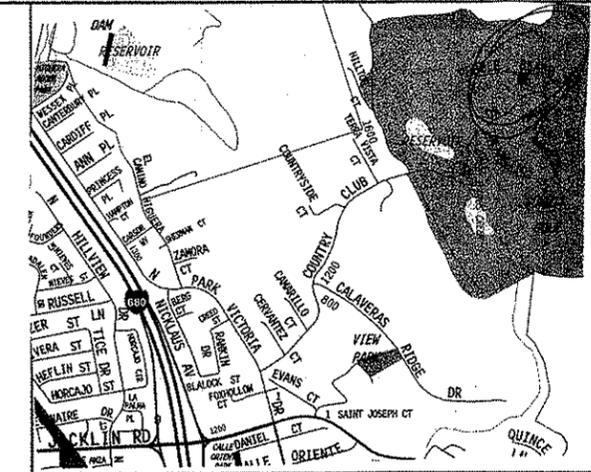
IMPERVIOUS COVERAGE	
HOUSE (+GARAGE)	2887
PORCH	97
DRIVE	1051
REAR DECK	525
FRONT WALK	30
SIDE YARD WALK	108
SIDE PATIO	94
SIDE STAIRS	58
REAR SIDEWALK	215
<b>TOTAL</b>	<b>5081 S.F.</b>

	EXISTING HOUSE:	ADDITION:	TOTAL:
FIRST FLOOR:	1,664 S.F.	542 S.F.	2,106 S.F.
SECOND FLOOR:	1,184 S.F.	637 S.F.	1,821 S.F.
TOTAL HOUSE:	2,748 S.F.	1,178 S.F.	3,927 S.F.

GARAGE: 733 S.F.  
 IMPERVIOUS 204, 5081 S.F.

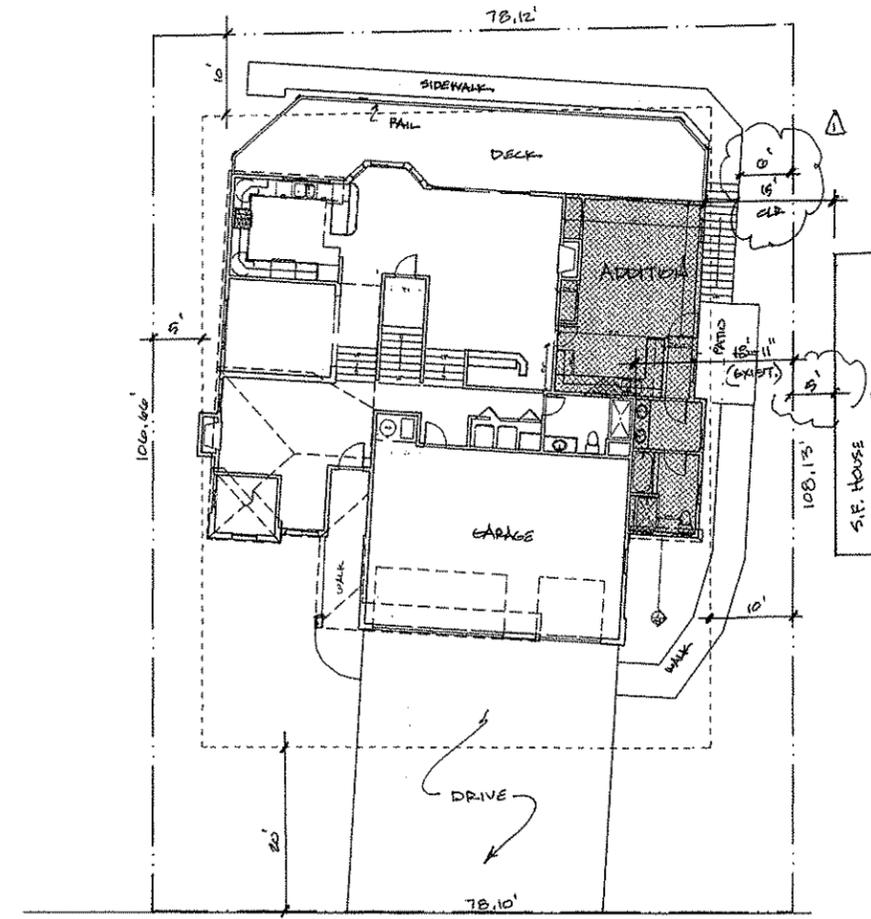
TYPE OF CONSTRUCTION: YB  
 OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2010 CBC, CMC, CPC, CEG, 2009 T-24 ENERGY CODE, AND LOCAL ORD.



SITE DATA

VICINITY MAP



PEBBLE BEACH CT.

SITE PLAN

1"=10'-0"

REVISIONS	BY
1. PREPARED	RAH
2. REVISED	RAH

RICHARD A. HARTMAN  
 ARCHITECTURE, INC. A.I.A.  
 619 NORTH FIRST STREET, SAN JOSE, CA 95112  
 TEL. 408.975.0406 FAX 408.975.4096

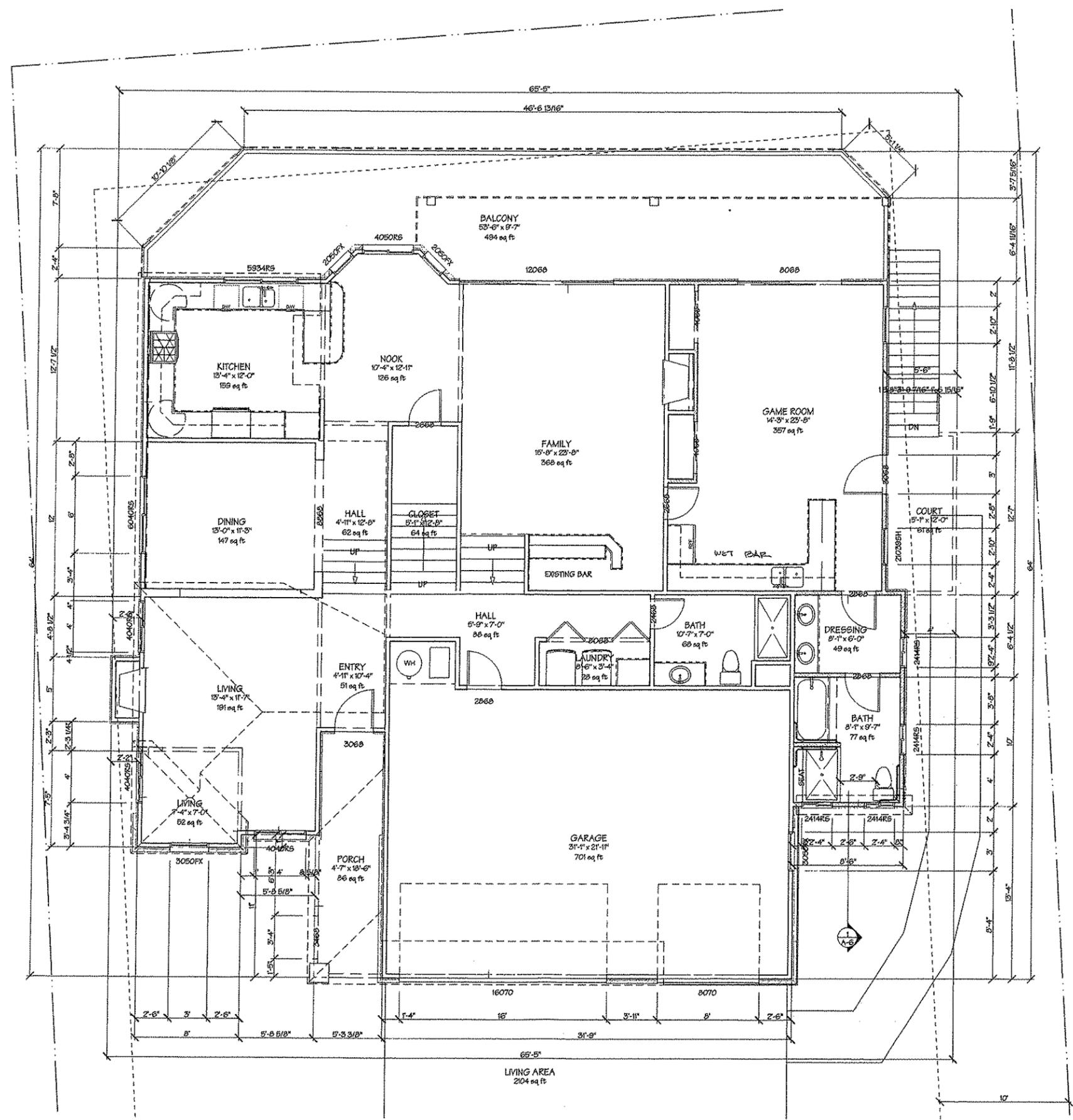
ADDITION & REMODEL FOR  
**JAMES & CHRISTINE HSIA**  
 1722 PEBBLE BEACH COURT, MILPITAS, CA 95035

Date: 5-25-11  
 Scale: 1/4" = 1'-0"  
 Drawn: RAH  
 Job: 11-009  
 Sheet: **A-1**  
 of 2 Sheets



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
2. ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE FIELD, WHERE APPLICABLE.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
4. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE POSTED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION
5. SLOPE FINISH GRADE AT 2% MIN. FOR 10' AWAY FROM HOUSE & 1% MIN. TO AN APPROVED FACILITY
6. PROVIDE NON-REMOVABLE BACK FLOW PROTECTION AT ALL EXTERIOR HOSE BIBBS
7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN. WINDOW OPENINGS OF 24" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA WITH 44" MAXIMUM TO BOTTOM
8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (I.E., DRYERS, BATH & UTILITY FANS, ETC.) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS)
9. ALL AIR DUCTS PENETRATING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GA. MINIMUM
10. ALL EXHAUST FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AT BATHS, TOILETS, AND LAUNDRY
11. ALL WATER CLOSETS SHALL BE MAXIMUM 1.6 GALLONS PER FLUSH
12. PROVIDE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET AT SHOWERS & TUBSHOWERS (NO GREEN BOARD) CBC 2509.2
13. SHOWER AND TUBSHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE ANTI-SCALD VALVES TO 120Y MAX WITH MAX 2.5 GAL PER MINUTE FLOW
14. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1024 SQUARE INCHES, SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH CIRCLE
15. ALL UNDERFLOOR PLUMBING CLEANOUTS SHALL BE WITHIN 20' OF THE UNDERFLOOR ACCESS, OR EXTENDED TO THE EXTERIOR
16. KITCHEN SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER, & TWO (2) 20 AMP CIRCUITS LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS.
17. FOR ELECTRIC DRYERS AND COOKTOPS PROVIDE WIRES WITH INSULATED NEUTRAL AND 4-PRONG OUTLET
18. LAUNDRY ROOM AND BATHROOM OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT
19. ALL ELECTRIC SWITCHES SHALL BE OF THE SCREW-TYPE GROUND.
20. ALL CIRCUITS IN ALL ROOMS OTHER THAN KITCHEN & BATHS SHALL BE PROTECTED BY COMBINATION ARCH-FAULT CIRCUIT INTERRUPTERS (C.E.C. 240.12.B)
21. LIGHT FIXTURES LOCATED OVER TUBS OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"
22. A PERMANENT LABEL SHALL IDENTIFY EACH LITE OF SAFETY GLAZING
23. T-24 INSTALLATION CERTIFICATE (CF-6R) AND INSTALLATION CERTIFICATE OF INSULATION (C-I) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.
24. RECESSED LUMINAIRES IN INSULATED CEILINGS SHALL BE I.C. RATED, ELECTRONIC BALLAST AND AIR-TIGHT
25. DRYER EXHAUST VENTS SHALL BE MAX. 14' IN LENGTH
26. JOINTS AND SEAMS OF DUCT SYSTEMS SHALL BE SEALED WITH UL 181 LISTED DUCT TAPE.
27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTIC, UNDERFLOORS, ECT.) SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ECT. SHALL BE CAULKED WITH A RESIDENTIAL FIRE RATED CAULK WITH AN ASTM E158 OR E914 RATING
29. EGRESS WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH.
30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION
31. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND AT AREAS LEADING TO BEDROOMS.
32. ALL 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES



NEW FIRST FLOOR PLAN

**SYMBOLS & LEGEND**

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REPLACED
	WALLS TO BE REMOVED
	NEW WALLS
	1-HOUR FIRE WALLS
	DUPLEX OUTLET
	220V OUTLET
	GFCI PROTECTED OUTLET
	GFCI PROTECTED WEATHERPROOF OUTLET
	WALL SWITCH (FLUORES. ONLY)
	WALL SWITCH, MANUAL ON, AUTO OFF (INCANDES. FIXTURES)
	DIMMER WALL SWITCH (INCANDES.)
	3-WAY WALL SWITCH (FLUORES. ONLY)
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	CEILING MOUNT FLUORES. LIGHT
	UNDER CAB, FLUORES. LIGHT
	RECESSED FLUORES. LIGHT
	HEATER REGISTER
	SMOKE DETECTOR (A/C, D/C) INTERCONNECTED
	CARBON MONOXIDE DETECTOR (A/C, D/C)
	EXHAUST FAN
	EXHAUST FAN/FLUORES. LIGHT
	CEILING FAN

REVISIONS	BY

**HOMETEC**  
ARCHITECTURE, INC.

RICHARD A. HARTMAN  
A.I.A.

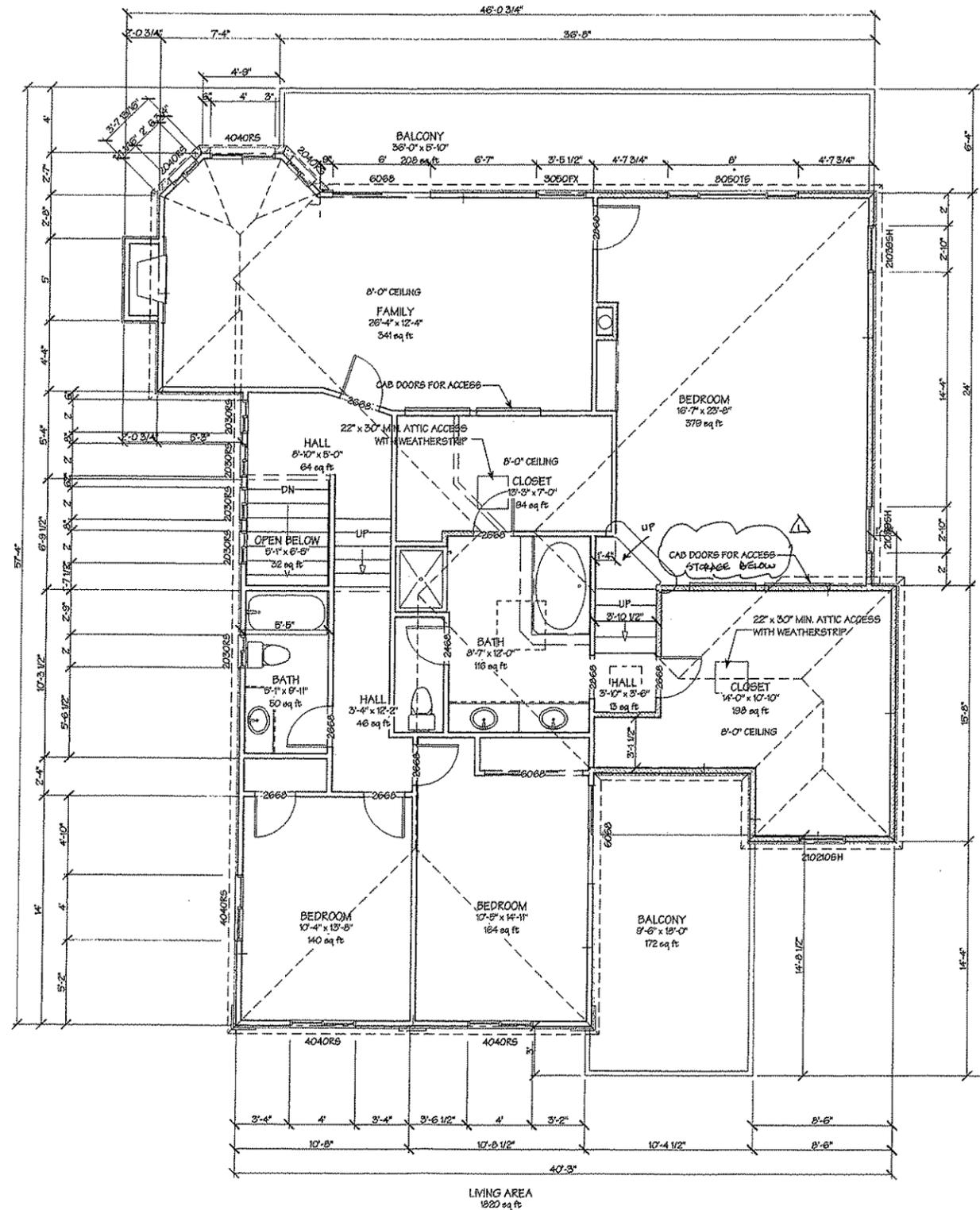
TEL. 408.995.0495 FAX. 408.995.0498  
619 NORTH FIRST STREET, SAN JOSE, CA 95112

ADDITION & REMODEL FOR:  
**JAMES & CHRISTINE HSIA**  
1722 PEBBLE BEACH COURT, MILLITAS, CA. 95035

Date	5-20-11
Scale	1/4" = 1'-0"
Drawn	RAH
Job	11-009
Sheet	A-3
of	Sheets

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6. PROVIDE NON-REMOVABLE BACK FLOW PROTECTION AT ALL EXTERIOR HOSE BIBBS
7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS, MIN. WINDOW OPENINGS OF 24" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA WITH 44" MAXIMUM TO BOTTOM
8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (I.E. DRYERS, BATH & UTILITY FANS, ECT.) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS)
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12. PROVIDE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET AT SHOWERS & TUBSHOWERS (NO GREEN BOARD) CDC 2509.2
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21. LIGHT FIXTURES LOCATED OVER TUBS OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"
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25. DRYER EXHAUST VENTS SHALL BE MAX. 14' IN LENGTH
26. JOINTS AND SEAMS OF DUCT SYSTEMS SHALL BE SEALED WITH UL 181 LISTED DUCT TAPE.
27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTICS, UNDERFLOORS, ECT.) SHALL BE CHALKED, GASKETED, WEATHERSTRIPPED, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ECT. SHALL BE CHALKED WITH A RESIDENTIAL FIRE RATED CAULK WITH AN ASTM E263 OR E264 RATING
29. EGRESS WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH.
30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION
31. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND AT AREAS LEADING TO BEDROOMS.
32. ALL 15-AMP AND 20-AMP DRILLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES



LIVING AREA  
1820 sq ft

SECOND FLOOR PLAN

SYMBOLS & LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REPLACED
	WALLS TO BE REMOVED
	NEW WALLS
	1-HOUR FIRE WALLS
	DUPLEX OUTLET
	220V OUTLET
	GFCI PROTECTED OUTLET
	GFCI PROTECTED WEATHERPROOF OUTLET
	WALL SWITCH (FLUORES. ONLY)
	WALL SWITCH, MANUAL ON, AUTO OFF (INCANDES. FIXTURES)
	DIMMER WALL SWITCH (INCANDES.)
	3-WAY WALL SWITCH (FLUORES. ONLY)
	WALL MOUNT LIGHT
	CEILING MOUNT LIGHT
	CEILING MOUNT FLUORES. LIGHT
	UNDER CAB. FLUORES. LIGHT
	RECESSED FLUORES. LIGHT
	HEATER REGISTER
	SMOKE DETECTOR (A/C, D/C) INTERCONNECTED
	CARBON MONOXIDE DETECTOR (A/C, D/C)
	EXHAUST FAN
	EXHAUST FAN/FLUORES. LIGHT
	CEILING FAN

REVISIONS	BY
7-21-11	RAH

RICHARD A. HARTMAN  
A.I.A.  
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TEL: 408.995.9499 FAX: 408.975.0588

ADDITION & REMODEL FOR:  
**JAMES & CHRISTINE HSIA**  
1722 PEBBLE BEACH COURT, MILPITAS, CA 95035

Date	5-20-11
Scale	1/4" = 1'-0"
Drawn	RAH
Job	11-009
Sheet	A-4



REVISIONS	BY
PLANNING 7-21-11	1

**HOMETEC**  
ARCHITECTURE, INC.  
RICHARD A. HARTMAN  
A.I.A.  
619 NORTH FIRST STREET, SAN JOSE, CA 95112  
TEL. 408.955.4496 FAX 408.955.4498

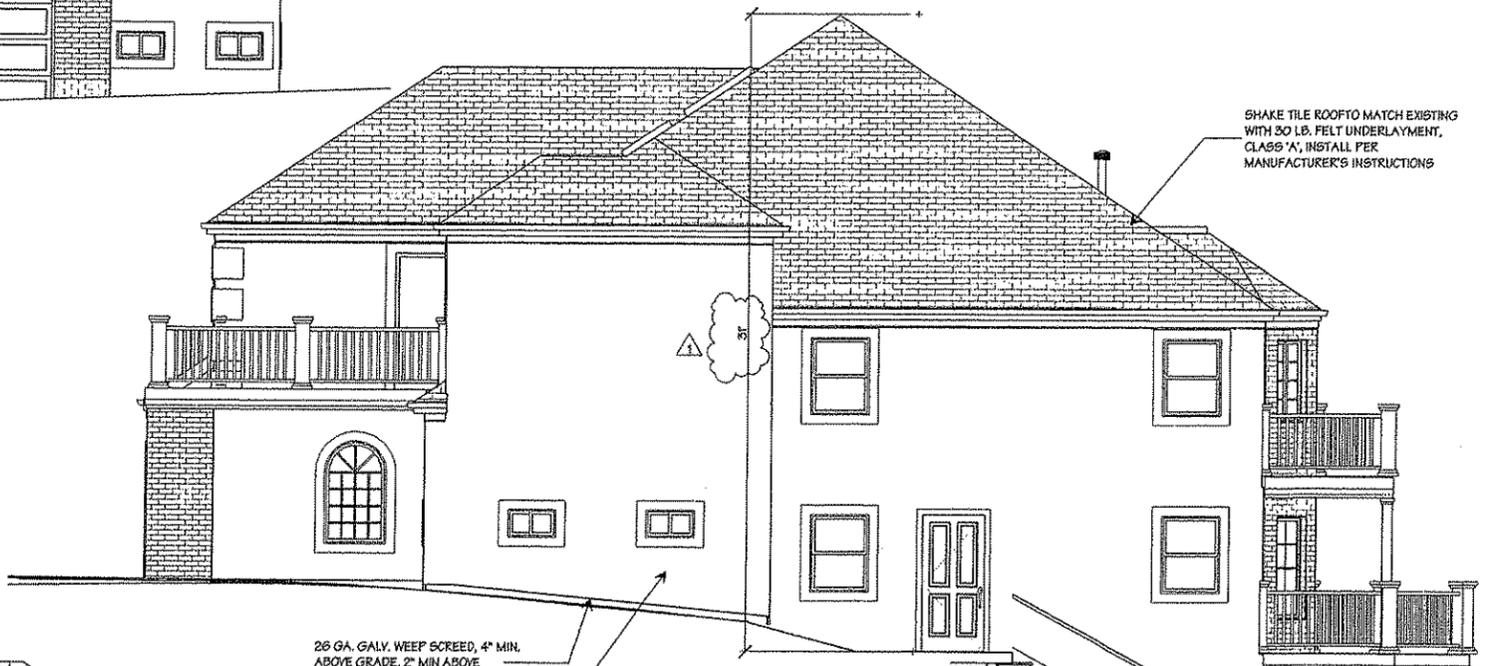
ADDITION & REMODEL FOR:  
**JAMES & CHRISTINE HSIA**  
1722 PEBBLE BEACH COURT, MILPITAS, CA 95035

Date	7-21-11
Scale	1/4" = 1'-0"
Drawn	RAH
Job	11-009
Sheet	A-5
of	Sheets



**NORTH ELEVATION**

MIN. 4" TALL STREET ADDRESS  
NUMERALS OF CONTRASTING COLOR  
TO BACKGROUND.



**WEST ELEVATION**

SHAKE TILE ROOFTO MATCH EXISTING  
WITH 30 L.B. FELT UNDERLAYMENT,  
CLASS 'A', INSTALL PER  
MANUFACTURER'S INSTRUCTIONS

26 GA. GALV. WEEP SCREED, 4" MIN.  
ABOVE GRADE, 2" MIN ABOVE  
CONCRETE (TYP.)

7/8" (3) COAT STUCCO OVER METAL  
LATH OVER (2) LAYERS GRADE "D"  
BUILDING PAPER (PER C.B.C. 2512)

3/6" CONCRETE LANDING AS REQUIRED, 4" MIN.  
7" MAX. STEP DOWN WITH 3/4" MAX.  
THRESHOLD @ SLIDERS & 1/2" MAX.  
THRESHOLD @ DOORS

CONC. STEPS ON GRADE



**SOUTH ELEVATION**

SLOPE FINISH GRADE AT 5% MIN. FOR 10'  
AWAY FROM HOUSE & 1% MIN. TO AN  
APPROVED FACILITY

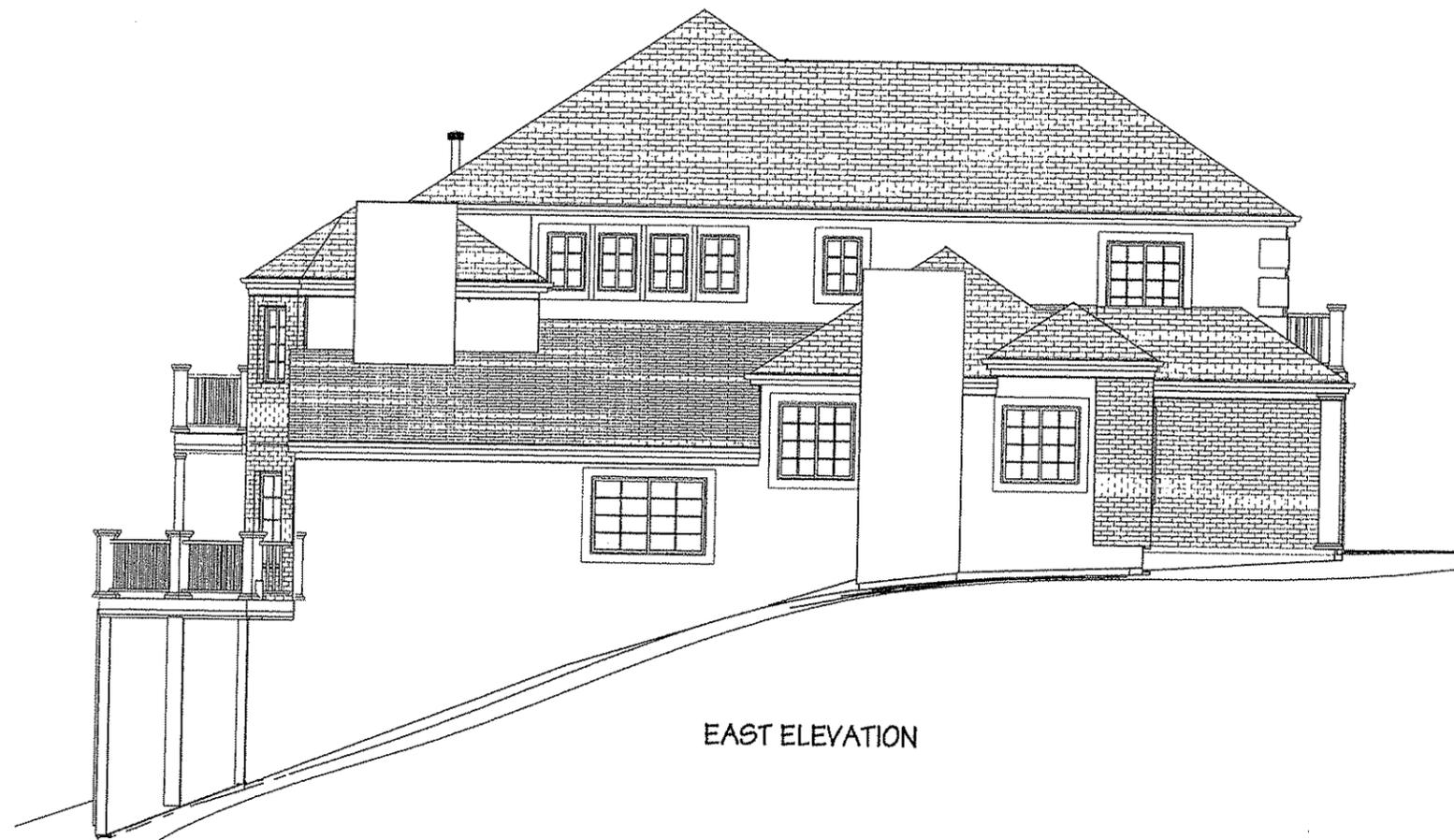
REVISIONS	BY
PLANNING 7-21-11	△

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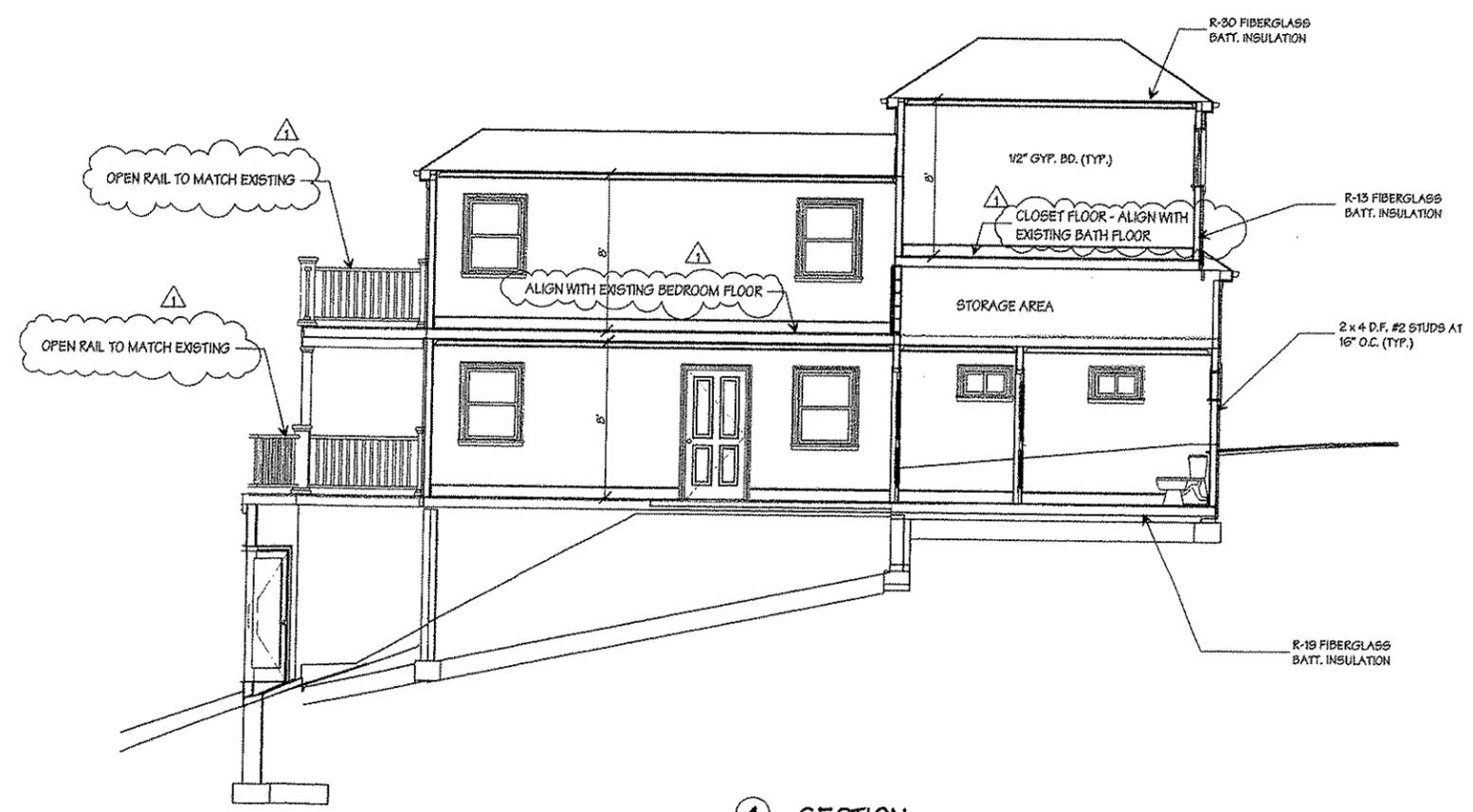
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Scale 1/4" = 1'-0"  
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Sheet  
**A-6**  
of Sheets



EAST ELEVATION



① SECTION