



MILPITAS PLANNING COMMISSION AGENDA REPORT

PUBLIC HEARING

Meeting Date: April 11, 2012

APPLICATION: Site Development Permit Amendment No. SA12-0003, Red Lobster

APPLICATION
SUMMARY:

A request for exterior façade changes to the existing building and an amendment to the Town Center sign program to allow for an additional sign elevation and flag pole sign.

LOCATION:
APPLICANT:
OWNER:

503 E. Calaveras Blvd. (APN 28-12-014)
Frank Carrera, 1000 Darden Center Drive, Orlando, FL 32837

RECOMMENDATION: Staff recommends that the Planning Commission:
Adopt Resolution No. 12-018 approving the project subject to conditions of approval.

PROJECT DATA:

General Plan/

Zoning Designation:

Overlay District:

Specific Plan:

Town Center (TWC) / Town Center (TC)
Site and Architectural Overlay
N/A

Site Area:

Total Allowable Sign Area:

Existing Sign Area:

Proposed Sign Area:

0.56 acres
280 s. f.
248 s.f
127 s.f

CEQA Determination:

Categorically exempt from further environmental review pursuant to Class 1, Section 15301 (a) and (g) (Existing Facilities) and Class 11, Section 15311 (a) of the California Environmental Quality Act.

PLANNER:

Cindy Hom

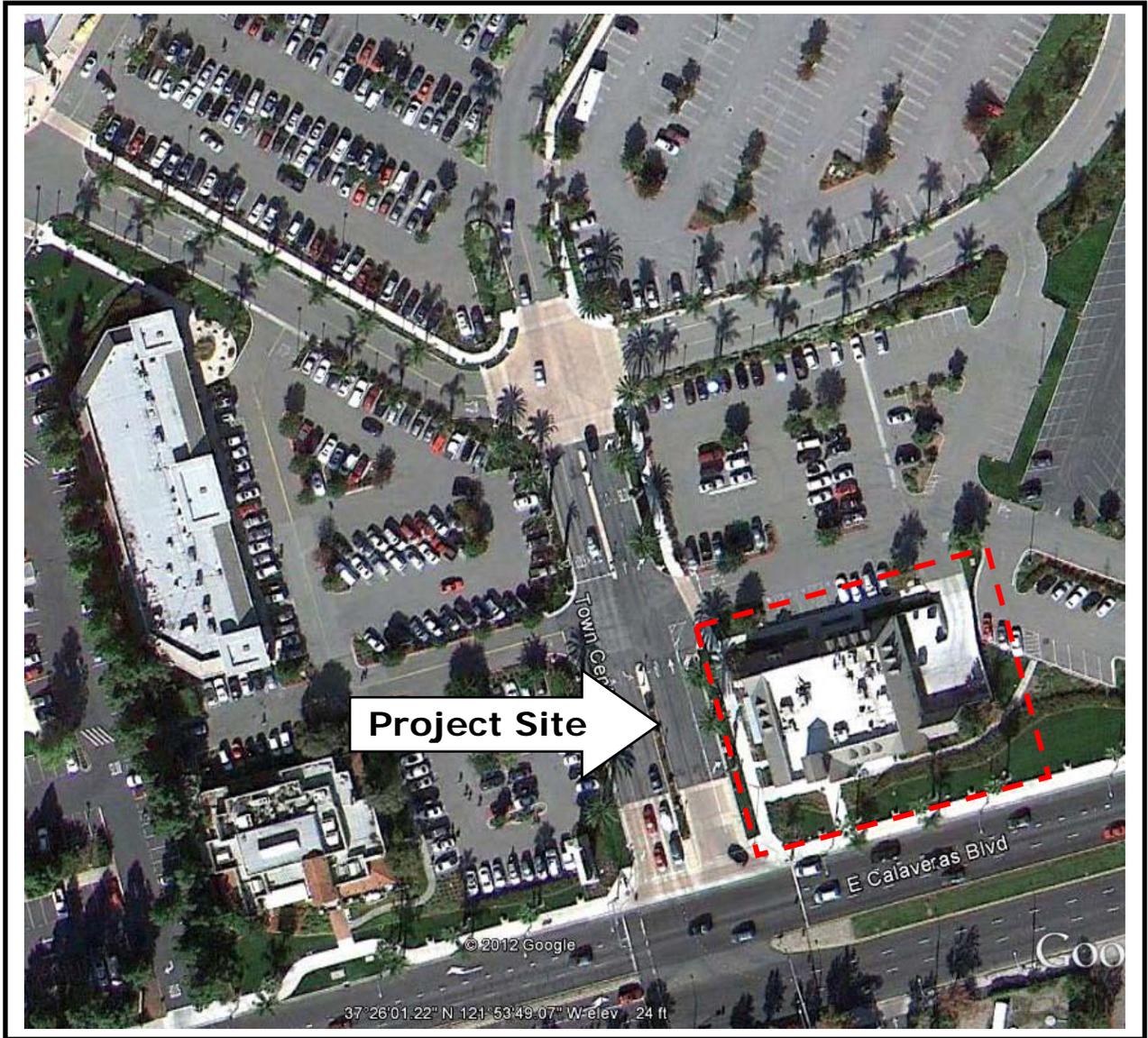
PJ:

2804

ATTACHMENTS:

A. Resolution No. 12-018
B. Project Plans
C. Sign Plans

LOCATION MAP



No scale

BACKGROUND

On February 17, 2012, Frank Carrera of N and D Restaurants Inc. submitted a site development permit amendment application to allow for exterior façade changes to the existing Red Lobster restaurant building and an amendment to the Town Center sign program for sign modifications. The only changes to the interior are limited to new furniture and finishes. The floor plan layout is to remain “as is”. The application is submitted pursuant to Milpitas Municipal Code XI-10-57.03 (J) (Modification and Amendments) which requires Planning Commission review and approval.

PROJECT DESCRIPTION

The project proposal entails exterior architectural modifications to the building which includes revising the existing entry tower, removing and replacing existing metal seam window awnings with slate tiles to match existing roof material, remove and replace existing wall light with new decorative scones, as well as the replacement of wall signage and installation of a new flag sign structure. The proposed changes would allow for consistency with Red Lobster’s corporate branding and style which consist of Cape Cod architecture utilizing stone veneer accents, lap siding, and slate tiled roof. The proposed building colors include a gray base, burgundy walls, and white trim. The applicant proposes an amendment to the Town Center Sign program to allow for one additional sign elevation and flag sign.

The project site is located within the Milpitas Town Center, a 34-acre lifestyle center that includes residential homes, various retail shops, restaurants, and commercial services. The project site is located at the northeast corner of the intersection at East Calaveras Boulevard and Town Center Drive and is surrounded by commercial uses and is adjacent to the Milpitas Civic Center. A vicinity map of the subject site location is included on the previous page.

Architectural Changes

Tower

The applicant proposes to reduce the height of the entry tower from 34 ½ -feet to 31-feet and add stone veneer on the front and sides of the tower, which is illustrated in Exhibit 1 below. The existing signs on the entry tower would be replaced with new signs. The sign over the front entrance would be replaced with a new logo cabinet sign. The cabinet sign consist of metal construction designed with an opaque black face. The critter (lobster logo) and lettering for Red Lobster would be internally illuminated individual channel letters attached to the face of the cabinet. The “Fresh Fish Live Lobster” sign copy would consist of routed out, back-lit letters. The signs on the side elevations of tower would be similar in that they internally illuminated channels letter are attached on a black metal backing.

Exhibit 1: Tower Entry and Front Elevation



Awnings

To provide design consistency with the Cap Cod architecture, the existing standing seam metal awnings would be replaced with slate tiles. The awnings are located over the front door entry and over windows on all four elevations. This condition is illustrated in Exhibit 2.

Exhibit 2: Awning along Left Side Elevation (facing Town Center Drive)*Roof Dormer*

A new dormer would be constructed on the northwest corner of the building and would create a new area for a sign on the rear elevation. The proposed dormer is consistent with the overall architecture of the building and roof form. It also provides for an architecturally integrated area for a new sign. The existing sign is not tied architecturally to the roof. This new sign location is appropriate given the rear fronts one of the Town Center Drive main drive roads. The dormer and signage is shown in the illustration below:

Exhibit 3: Dormer and Rear Elevation**Town Center Sign Program**

The Town Center sign program covers anchors and shop tenants. Red Lobster is an anchor tenant with the Milpitas Town Center. This application would provide for the additional sign at the rear of the building as it is not provided for in the Town Center sign program. The sign program currently does not show an approved sign area on the rear elevation for the sign program; however, there has been a sign on the rear elevation since the original architectural approval of the Red Lobster restaurant building. The second modification would include flag signs as a permitted sign type for this location. The Town Center currently allows for pan channel letter signs, logo cabinets, arcade signs for shop

tenants, and light pole banners. The applicant proposes a flag structure that will be designed as a nautical mast that will display three flags (USA, State, and Red Lobster flags). The height of flag pole would be approximately 27-feet tall and would be located near the southwest corner of the building within the landscaped area. Per the Milpitas Sign Ordinance development standards for flags, the size of each flag may not exceed 40 square feet and would not count against the sign area allocated to the center.

The project is consistent with the sign program in terms of sign area. The proposed wall signs and flag sign complies with the maximum allowable sign area of 280 square feet. As proposed, the total sign area of the new wall sign and flag sign is approximately 127 square feet. Staff recommends a condition of approval that requires the owner or designee to submit an addendum that incorporates approved changes to Master Sign Program for the Milpitas Town Center. Furthermore, staff would also recommend the following sign criteria for flag pole signs:

1. Flag Pole Sign shall be limited to Red Lobster anchor only.
2. Flag Pole Sign must be design and constructed as a permanent structure and integrated into site layout; complements the architectural design theme and style of the building; and is reflective of the corporate branding.
3. No temporary flag pole banners shall be permitted.

ADOPTED PLANS AND ORDINANCES CONSISTENCY

General Plan

The table below outlines the project’s consistency with applicable General Plan Guiding Principles and Implementing Policies:

Table 1
General Plan Consistency

Policy	Consistency Finding
Implementing Policy 2.a-I-3 <i>Encourages economic pursuits, which will strengthen and promote development through stability and balance.</i>	Consistent. The proposed exterior remodel and new signage would help enhance the restaurant’s visibility and presence along the Calaveras corridor as well as provide attractive business identification.

Zoning Ordinance

The project is consistent with the Town Center Zoning ordinance in terms of land use and development standards. The proposed architectural changes provides for an aesthetic and harmonious development. Considering the project is a stand alone building, the proposed Cape Cod architecture appropriate and is specific to the branding and business identity for the Red Lobster Restaurant.

The proposed sign program amendment is consistent with the Milpitas Sign Ordinance in that it complies with the total allowable sign area and design guidelines. The additional sign band and flag sign complies with the total allowable sign area allocated to Red Lobster. The proposed sign type, letter and logo height, and appropriateness of the sign design are consistent with the Milpitas Town

Center Sign program requirements. The proposed signage is well integrated into the architecture of building in terms of colors, design, and scale.

ENVIRONMENTAL REVIEW

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt pursuant to Class 1, Section 15301, (Existing Facilities) and Class 11, Section 15311 (Accessory Structures) of the California Environmental Quality Act. The project entails minor exterior changes to the building, removal and replacement of existing signage, and installation of flag pole structure.

PUBLIC COMMENT/OUTREACH

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public.

CONCLUSION

The proposed exterior remodel and new signage for Red Lobster provide an updated building that would enhance the restaurant's visibility and presence along the Calaveras corridor as well as provide attractive business identity that complement with Milpitas Town Center.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission adopt Resolution No. 12-018 approving Site Development Permit Amendment No. SA12-0003, Red Lobster, subject to the attached Conditions of Approval.

Attachments:

- A. Resolution No. 12-018
- B. Project Plans
- C. Sign Plans

RESOLUTION NO. 12-018

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT AMENDMENT NO. SA12-0003, RED LOBSTER REMODEL TO ALLOW EXTERIOR ARCHITECTURAL CHANGES AND AN AMENDMENT TO THE TOWN CENTER SIGN PROGRAM AT 503 EAST CALAVERAS BOULEVARD.

WHEREAS, on February 17, 2012, an application was submitted by Frank Carrera of N and D Restaurants Inc. to allow for exterior façade changes and an amendment to the Town Center Sign Program for the Red Lobster restaurant located at 503 E. Calaveras Blvd. (28-12-014). The property is located in the Town Center Zoning district; and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project is categorically exempt; and

WHEREAS, on April 11, 2012, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

NOW THEREFORE, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The recitals set forth above are true and correct and incorporated herein by reference.

Section 2: The project is categorically exempt pursuant to Class 1, Section 15301, (Existing Facilities) and Class 11, Section 15311 (Accessory Structures) of the California Environmental Quality Act. The project entails minor exterior changes to the building, removal and replacement of existing signage, and installation of flag pole sign structure.

Section 3: The project is consistent with the Milpitas Zoning Ordinance in terms of land use and development standards. The proposed architectural changes provides for an aesthetic and harmonious development in that the building include design features such as stone veneer accents, lap siding, and slate tiled awning that enhances the appearance of the building.

Section 4: The project is consistent with the Milpitas Sign Ordinance in that sign program amendment and new signage provides for design consistency in terms of sign area, sign type, location, size, illumination, style, and scale as the existing Milpitas Town Center signs. The proposed flag pole sign is architectural integrated into the building and is compatible with building architecture and scale.

Section 5: With respect to the required findings for Sign Programs the project is consistent with the following:

- i. The provisions of the amended sign program ensure consistency in design and style of all new signs. The wall signage is in keeping with the internally illuminated pan channel letters, letter heights, and approved sign band locations. The flag pole sign is limited to the Red Lobster anchor tenant only and is integrated with the design theme of the building.
- ii. The provisions of the amended sign program address compatibility of the design and style of any existing signs on the building and site in that the owner or designee that only change to the sign program is the allowance for a flag sign and its design requirements for Red Lobster. All other elements of the sign program remain the same and in full force and effect.
- iii. As proposed all new signs within the sign program are in compliance with the design guidelines of the Zoning Code in that the Town Center signs and project provides for design consistency in terms of sign types, sizes, illumination, location good visibility and legibility, as well as compatibility of materials, styles, and designs.

Section 6: The proposed use is consistent with the Milpitas General Plan in that it meets General Plan Policy 2.a-I-3. The proposed remodel of the Red Lobster building and sign modifications help enhance the restaurant’s visibility and presence along the Calaveras corridor as well as provide attractive business identification

Section 7: The Planning Commission of the City of Milpitas hereby approves Site Development Permit Amendment No. SA12-0003, Red Lobster Remodel, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Milpitas on April 11, 2012

Chair

TO WIT:

I HEREBY CERTIFY that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on April 11, 2012, and carried by the following roll call vote:

COMMISSIONER	AYES	NOES	ABSENT	ABSTAIN
Lawrence Ciardella				
John Luk				
Rajeev Madnawat				
Sudhir Mandal				

COMMISSIONER	AYES	NOES	ABSENT	ABSTAIN
Zeya Mohsin				
Gurdev Sandhu				
Steve Tao				
Garry Barbadillo				

EXHIBIT 1

CONDITIONS OF APPROVAL

Site Development Permit Amendment NO. SA12-0003

A request to for exterior façade changes and amendment to the Town Center Sign Program for sign modifications.

503 E. Calaveras Blvd. (APN: 86-12-014)

General Conditions

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on April 11, 2012, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. **(P)**

Site Development Permit Amendment No. SA12-0003 shall become null and void if the project is not commenced within two (2) years from the date of approval. Pursuant to Section 64.06(B) of the Zoning Ordinance of the City of Milpitas:

- a. Completes a foundation associated with the project; or
 - b. Dedicates any land or easement as required from the zoning action; or
 - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
2. Pursuant to Section 64.06(1), the owner or designee shall have the right to request an extension of Site Development Permit No. SD10-0015 if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. **(P)**
 3. Prior to the issuance of building permits, the owner or designee shall include within the four first pages of the working drawings for a plan check, a list of all conditions of approval imposed by the final approval of the project. **(P)**
 4. If, at time of building permit review, there is an outstanding project job account balance due to the City for recovery of review fees, review of permits will not be initiated until the balance is paid in full. **(P)**
 5. Prior to building permit issuance, the owner or designee shall submit an addendum that incorporates the following approved changes to Master Sign Program for the Milpitas Town Center:
 - a. Flag Pole Sign shall be limited to Red Lobster anchor only.

- b. Flag Pole Sign must be design and constructed as a permanent structure and integrated into site layout; complements the architectural design theme and style of the building; and is reflective of the corporate branding.
- c. No temporary flag pole banners shall be permitted.

(P) = Planning

(B) = Building

(E) = Engineering

(F) = Fire Prevention

OWNER FURNISHED SCHEDULE

OWNER SUPPLIED ITEM	RECEIVED	INSTALLED	FINAL CONNECTION	NOTES
BOOTHS, TABLES, CHAIRS, BAR STOOLS, WAITING BENCHES	CONTRACTOR	CONTRACTOR	-	A1.2
EXTERIOR SIGNS	OWNER	OWNER	OWNER	AS.1-AS.4
DECOR	CONTRACTOR	CONTRACTOR	-	A2.2
CARPET	CONTRACTOR	OWNER	-	A1.1
LIGHT FIXTURES BY NAUTICAL FURNISHINGS	CONTRACTOR	CONTRACTOR	CONTRACTOR	A2.1
FLAGPOLE ASSEMBLY	CONTRACTOR	CONTRACTOR	CONTRACTOR	SP1.1
ROLL DOWN SHADES/BLINDS/WINDOW VALANCE	OWNER	OWNER	OWNER	A1.2
FLAT SCREEN TV	CONTRACTOR	CONTRACTOR	CONTRACTOR	A2.1
ADT	OWNER	OWNER	OWNER	

DRAWING SYMBOLS LEGEND:

EXISTING FULL HEIGHT WALLS
REF WALL TYPES

PARTITION FRAMING TO STRUCTURE ABOVE
REF WALL TYPES

NEW LOW WALL / LOW PARTITION
REF WALL TYPES

EXISTING LOW WALL / LOW PARTITION
REF WALL TYPES

WALL SECTION OR BUILDING SECTION KEY

DETAIL KEY
REFER SECTION KEY FOR DESIGNATION INFORMATION

ELEVATION VIEW KEY
REFER SECTION KEY FOR DESIGNATION INFORMATION

FINISH KEY

2'-6" DIMENSION TO FACE OF FRAMING OR EDGE OF SLAB UNLESS OTHERWISE NOTED

2'-6" DIMENSION TO CENTERLINE OF COLUMN OR CENTERLINE OF DIMENSIONED ITEM

11-20-2000 OWNER COMMENTS REVISION TO DRAWING

04/A301 DETAIL REFERENCES REFER SECTION KEY FOR DESIGNATION INFORMATION

ROOM NUMBER ROOM NAME / SPACE NUMBER

WINDOW DESIGNATION

DOOR DESIGNATION

COLUMN REFERENCE DESIGNATION

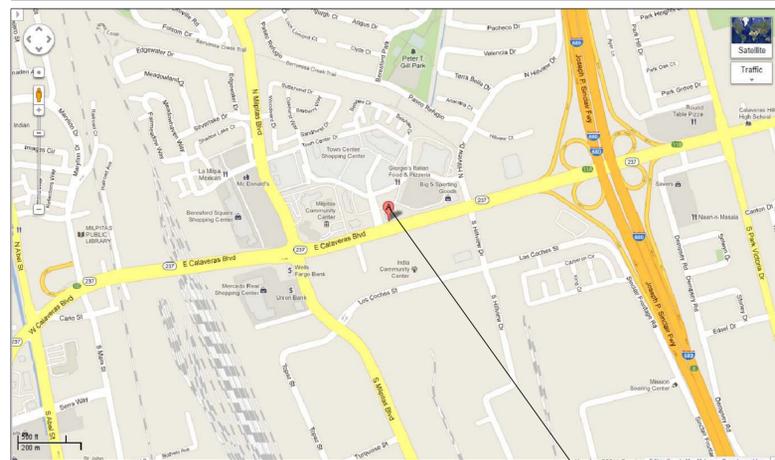
DRAWING TITLE: **01 FLOOR PLAN**

DRAWING NUMBER: **01**

DRAWING SCALE: SCALE: 1/4"=1'-0"

DRAWING TITLE & SCALE INDICATION

DEVELOPMENT LOCATION MAP



PROJECT SITE

OWNER INFORMATION:



DARDEN RESTAURANTS, INC.
1000 DARDEN CENTER DR.
ORLANDO, FLORIDA 32837
407-245-4000

ATTENTION: CONSTRUCTION DEPT.

CONTACT LIST:

ARCHITECT:
 MARK DAVIS
 GERDES HENRICHSON LTD., L.L.P.
 14110 DALLAS PARKWAY STE 300
 DALLAS, TX 75254
 972-239-8884

STRUCTURAL ENGINEER
 ANDREW LLORET
 RONALD A. ROBERTS ASSOCIATES
 2948 N. STEMMONS FREEWAY
 DALLAS, TX 75247
 214-637-6299

LIGHTING CONTROLS CONSULTANT:
 BILL BURNETT
 NOMAD GROUP
 1209 BENBROOK TERRACE
 BENBROOK, TX 76126
 866-853-8593

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER:
 TIM JENSEN
 BCJ ENGINEERS, LLC
 14110 DALLAS PARKWAY, SUITE 135
 DALLAS, TX 75254
 972-850-3228

CODE INFORMATION

1. APPLICABLE CODES:

BUILDING CODE: CA BUILDING CODE 2010
 PLUMBING CODE: CA PLUMBING CODE 2010
 MECHANICAL CODE: CA MECHANICAL CODE 2010
 ELECTRICAL CODE: CA ELECTRICAL CODE 2010
 ACCESSIBILITY CODE: TITLE 24

2. BUILDING DESCRIPTION:

CONSTRUCTION TYPE: V-B
 USE GROUP: A-2 ASSEMBLY
 BUILDING HEIGHT: 31'-0"
 BUILDING AREA: 9330 SQ FT
 AREA OF REMODEL (DINING, ENTRY & RESTROOM ONLY): 5941 SQ FT
 ZONING CLASSIFICATION: TOWN CENTER

3. SPRINKLER SYSTEM:

SPRINKLER SYSTEM: YES

4. OCCUPANCY:

SEATING COUNT EXISTING/NEW: 286/271
 OCCUPANCY LOAD: 283

DEVELOPMENT CONTACTS

BUILDING:
 KEYVAN IRANNEJAD
 BUILDING DEPARTMENT
 455 EAST CALAVERAS BOULEVARD
 MILPITAS, CALIFORNIA 95035
 408.586.3240

HEALTH:
 JASON HO
 DEPARTMENT OF ENVIRONMENTAL HEALTH
 1555 BERGER DRIVE, SUITE 300
 SAN JOSE, CALIFORNIA 95112
 408.918.4675

FIRE:
 JAIME GARCIA
 MILPITAS FIRE DEPARTMENT
 777 SOUTH MAIN STREET
 MILPITAS, CALIFORNIA
 408.586.3369

PLANNING:
 SHELDON AHSING
 PLANNING DEPARTMENT
 455 EAST CALAVERAS BOULEVARD
 MILPITAS, CALIFORNIA 95035
 408.586.3278

DWG. NO.	REVISIONS
T1.1	COVER SHEET
SITE PLANS AND SPECIFICATIONS	
001	CALIFORNIA GREEN BUILDING CODE
SP.1.1	ARCHITECTURAL SITE PLAN
SP.1.2	EXTERIOR ACCESSIBILITY STANDARDS
SP.2.1	PAVING SPECIFICATIONS
SP.2.2	PAVING SPECIFICATIONS
SP.2.3	PAVING SPECIFICATIONS
DEMO PLANS	
D1.1	DEMOLITION FLOOR PLAN
ARCHITECTURAL	
A1.0	INTERIOR FINISH PLAN
A1.1	FLOOR PLAN
A1.2	FURNITURE PLAN
A1.3	ACCESSIBILITY REQUIREMENTS
A1.4	ACCESSIBILITY REQUIREMENTS
A2.1	REFLECTED CEILING PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A5.3	EXTERIOR ELEVATIONS
A5.4	EXTERIOR ELEVATIONS
A5.5	ROOFING SYSTEMS
A5.6	ROOFING SYSTEMS
A6.1	BUILDING SECTIONS AND DETAILS
A8.1	MISCELLANEOUS DETAILS
A8.2	MISCELLANEOUS DETAILS
A8.3	MISCELLANEOUS DETAILS
A8.5	BOOTHS INSTALLATIONS
STRUCTURAL	
S1.1	FRAMING PLAN AND NOTES
S2.1	STRUCTURAL DETAILS
ELECTRICAL	
E1.0	ELECTRICAL LIGHTING
E2.0	ELEC. SCHEDULES NOTES & DETAILS
E3.0	TITLE 24

SCOPE OF WORK:

EXTERIOR

- BUILDING TO RECEIVE NEW PAINT.
- RESURFACE AND RESTRIPE EXISTING PAVING.
- INSTALL NEW FLAG POLE
- REPLACE EXISTING EXTERIOR LIGHTING WITH NEW.
- MODIFY EXISTING ENTRY TOWER.
- UPGRADE ACCESSIBLE PARKING.

INTERIOR

- EXISTING KITCHEN AND OTHER BACK-OF-HOUSE AREAS TO BE LEFT "AS IS." LOBBY, BAR, AND DINING ROOM TO RECEIVE NEW FURNITURE AND FINISHES. BAR EQUIPMENT TO REMAIN "AS IS."
- NEW LIGHTING IN PUBLIC AREAS.

SPECIAL NOTES:
 WORK FOR THIS CONTRACT SHALL BE PERFORMED DURING NON-BUSINESS HOURS, AND AS REQUIRED TO ALLOW CONTINUING OPERATION OF THE RESTAURANT.

ASBESTOS NOTIFICATIONS:
 GC SHALL FILE ANY REQUIRED ASBESTOS NOTIFICATIONS TO THE APPROPRIATE STATE AUTHORITIES IN ACCORDANCE WITH STATE REQUIREMENTS AND PROCEDURES.

DO NOT SCALE DRAWINGS.
 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.



Architecture / Development
 Parkway Plaza I
 1410 Dallas Parkway
 Suite 300
 Dallas Texas 75254
 Ph: (972) 239-8884
 Fax: (972) 239-6064

ARCHITECTS PROJECT #:
 110047



Issue Date: 01-17-2012

REVISION INFORMATION

NO.	DESCRIPTION	DATE
1	OWNER AND HEALTH CHANGES	03.19.12
2	CITY COMMENTS	03.23.12

Restaurant #: 0532

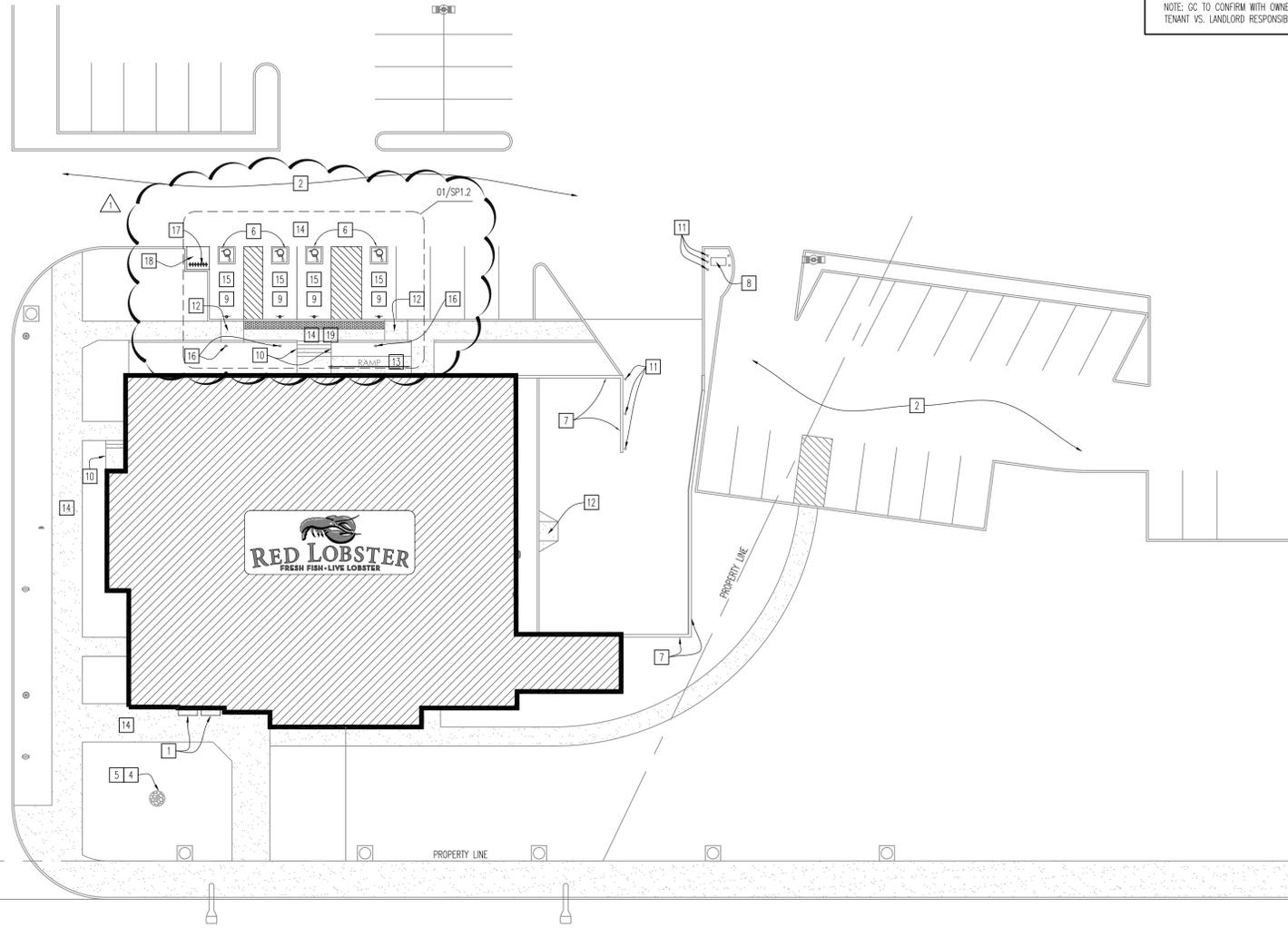
RED LOBSTER
 BR4

503 E. CALAVERAS BLVD
 MILPITAS, CA

MILPITAS, CA

Drawing
COVER SHEET

T1.1



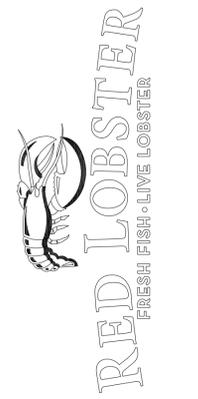
NOTE: GC TO CONFIRM WITH OWNER THE EXTENT OF PAWING WORK BASED ON TENANT VS. LANDLORD RESPONSIBILITIES BEFORE CONSTRUCTION.

- GENERAL NOTES**
- A. G.C. TO INSPECT AND REPAIR OR REPLACE ANY DAMAGED OR DECAYED MATERIALS.
 - B. G.C. IS TO ENSURE ALL HANDRAILS ARE PROPERLY SECURED.
 - C. ENSURE EXISTING LANDSCAPE LIGHTS WORK. RE-LAMP AS REQUIRED.
 - D. G.C. IS TO ENSURE PROJECT COMPLIES WITH CALGREEN NOTES 5.304.1 REFER TO SHEET 001.

- SAFE PATHWAY GUIDELINES**
- A. IF EXISTING PATHS OF TRAVEL FROM PARKING SPACES TO THE RESTAURANT ENTRY ARE IN THE MIST OF RECONSTRUCTION OR CONSTRUCTION WORK IS BEING PERFORMED NEAR THE ENTRY THAT REQUIRES TEMPORARY RE-ROUTING OF PATH OF TRAVEL, THE GENERAL CONTRACTOR SHALL PROVIDE A TEMPORARY MEANS OF SAFE TRAVEL THROUGH THE CONSTRUCTION AREA. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY HANDRAILS IF THERE ARE ELEVATION CHANGES TO EITHER SIDE OF THE TEMPORARY PATH OF TRAVEL AND ASSURE A SMOOTH WALK PATH TO ELIMINATE THE POTENTIAL FOR TRIP AND FALLS. SUBMIT PROPOSED PLAN TO DARDEN'S CONSTRUCTION PROJECT MANAGER FOR APPROVAL PRIOR TO PROCEEDING WITH THE INTENDED WORK.

- KEYED SITE PLAN NOTES:**
- 1 INSTALL NEW WAITING BENCHES PROVIDED BY OWNER. SECURE BENCH TO SIDEWALK WITH CLIP ANGLE AND EXPANSION BOLTS PAINTED TO MATCH.
 - 2 G.C. TO REPAIR CRACKS IN ASPHALT AND PROVIDE NEW SLURRY TOP COAT TO EXISTING ASPHALT PARKING LOT AND RE-STRIPE IN BASE BID (REFER TO SPECS ON SP2.1, SP2.2 AND SP2.3). CONFIRM EXTENT OF WORK WITH OWNER CM. G.C. IS TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID. CONTACT TIM MURPHY AT 773 874-9800 FOR ADDITIONAL INFORMATION.
 - 3 NOT USED.
 - 4 INSTALL NEW FLAGPOLE. REFER TO DETAIL 02/SP1.1
 - 5 EXISTING LANDSCAPING TO REMAIN. REPLACE ANY DAMAGED PLANT MATERIAL DUE TO CONSTRUCTION.
 - 6 INSTALL NEW ACCESSIBLE PARKING SYMBOL. REFER TO DETAIL 03/SP1.1
 - 7 PAINT DUMPSTER ENCLOSURE AND TRIM (PT-9). PRESSURE WASH EXISTING CMU WALLS INSIDE ENCLOSURE. PRESSURE WASH CONCRETE PAVING SOILED AREAS ALONG REAR OF BUILDING AND AROUND DUMPSTER AS NEEDED.
 - 8 PAINT TRANSFORMER (PT-11) IF ALLOWED.
 - 9 INSTALL NEW BOLLARD SIGNS FOR ACCESSIBLE PARKING.
 - 10 PAINT HANDRAIL (PT-8)
 - 11 PAINT EXISTING PARKING BOLLARD AROUND SITE "TRAFFIC" YELLOW.
 - 12 MODIFY CURB RAMP TO CONFORM TO 03/SP1.2 MODIFY AS NEEDED.
 - 13 INSTALL NEW HANDRAIL FOR RAMP PER DETAIL 07/SP1.2
 - 14 ENSURE ALL PAWING AT ACCESSIBLE PARKING AND SIDEWALK TO ENTRY AND STREET DO NOT EXCEED 2% IN ANY DIRECTION. MODIFY PAWING AS NEEDED.
 - 15 REMOVE EXISTING WHEEL STOPS.
 - 16 REMOVE EXISTING ACCESSIBLE PARKING SIGNS
 - 17 GC TO PROVIDE SHORT-TERM BICYCLE PARKING PER CAL GREEN CODE 5.106.4.1. CONFIRM RACK STYLE WITH OWNER DPM.
 - 18 NEW 6"x6" CONCRETE PAD
 - 19 INSTALL NEW 24" DETECTABLE WARNING STRIPE, REF DETAIL 04/SP1.1

GHA
 Architecture / Development
 Parkway Plaza I
 1410 Dallas Parkway
 Suite 300
 Dallas Texas 75254
 Ph: (972) 239-8884
 Fax: (972) 239-6064
 ARCHITECTS PROJECT #:
 110047



Issue Date: 01-17-2012

REVISION INFORMATION

03.19.12	OWNER & HEALTH CHANGES

Restaurant #: 0532

RED LOBSTER
 BR4
 503 E. CALAVERAS BLVD
 MILPITAS, CA
 MILPITAS, CA

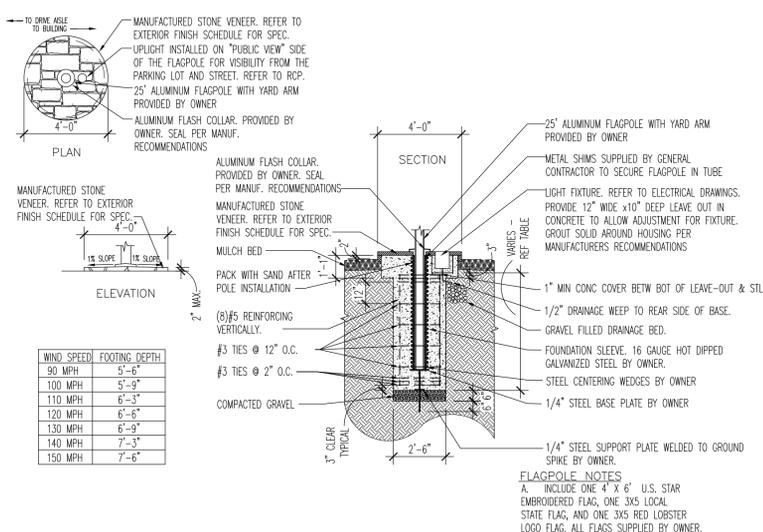
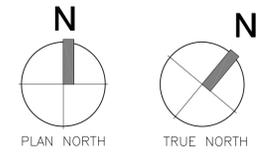
Drawing
ARCHITECTURAL
SITE PLAN

SP1.1

DATE OF THIS PRINTING - 03.20.12

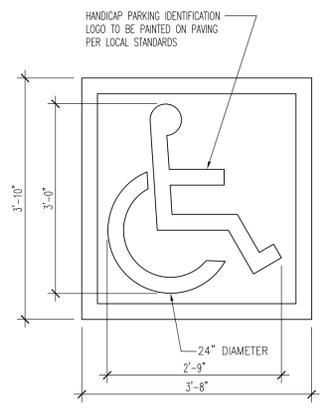
CALAVERAS BLVD.

01 ARCHITECTURAL SITE PLAN
 SCALE: 1"=20'-0"

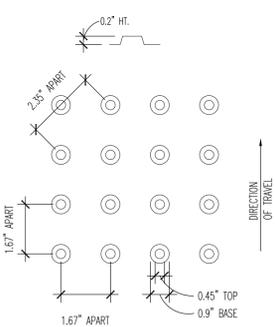


02 FLAGPOLE DETAIL
 SCALE: 1/4"=1'-0"

WIND SPEED	FOOTING DEPTH
90 MPH	5'-6"
100 MPH	5'-9"
110 MPH	6'-3"
120 MPH	6'-5"
130 MPH	6'-9"
140 MPH	7'-3"
150 MPH	7'-6"



03 ACCESSIBLE PARKING SYMBOL
 SCALE: 3/4"=1'-0"



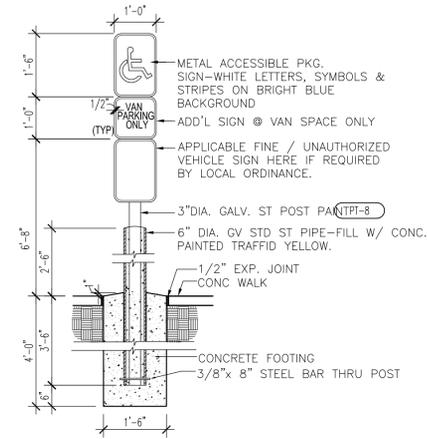
04 DETECTABLE WARNING DETAIL
 SCALE: 1/4"=1'-0"

DETECTABLE WARNINGS
 TEXTURED SURFACES FOR DETECTABLE WARNINGS SHALL BE STANDARD WITHIN THE SITE.
 ALL RAMP LEADING TO VEHICULAR AREAS SHALL HAVE DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP.

SURFACE TEXTURING
 A CURB RAMP SHALL HAVE A DETECTABLE WARNING THAT EXTENDS THE FULL WIDTH AND DEPTH OF THE CURB RAMP INSIDE THE GROOVED BORDER WHEN THE RAMP SLOPE IS LESS THAN 1 UNIT VERTICAL TO 15 UNITS HORIZONTAL (6.7% SLOPE). DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCH (22.9 mm) AT THE BASE TAPERING TO 0.45 INCH (11.44 mm) AT THE TOP, A HEIGHT OF NOMINAL 0.2 INCH (5.08 mm) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCH (59.7 mm) IN COMPLIANCE WITH FIGURE 11B- 23A "NOMINAL" HERE SHALL BE IN ACCORDANCE WITH SECTION 12-11A AND B-102. VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT, THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. THE DOMES SHALL BE PREFABRICATED SURFACE TREATMENT.

USE ARMOR-TILE. FOR INSTALLATION AND INFORMATION, REFER TO WWW.ARMOR-TILE.COM

IN-LINE PATTERN SHOWN IN THIS DETAIL, CONTRACTOR SHALL VERIFY THE ABOVE INFORMATION WITH LOCAL AUTHORITIES PRIOR TO PROCEED WITH ANY WORK. (OFFSET PATTERN MAY BE REQUIRED)



05 ACCESSIBLE PARKING DETAIL
 SCALE: 1/2"=1'-0"

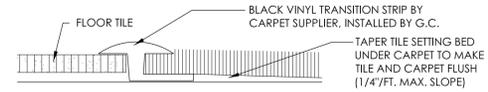
INSTALL ONE SIGN PER LOCAL ORDINANCE "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE FINED."

DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

03 NOT USED
SCALE: N.T.S.

02 NOT USED
SCALE: N.T.S.

04 CARPET TRANSITION
SCALE: NO SCALE



WALL TYPE LEGEND 10.31.11

	EXISTING FULL HEIGHT WALL
	NEW FULL HEIGHT WALL. 2X6 WOOD FRAMING AT 16" O.C. WITH 2X6 BASE PLATE SECURED TO FLOOR. FRAMING TO EXTEND 4" ABOVE LAY-IN CEILING AND TO BE BRACED TO STRUCTURE ABOVE. CONSTRUCTION DETAILS AND FINISHES TO MATCH EXISTING ADJACENT CONSTRUCTION.
	EXISTING LOW WALL
	NEW LOW WALL, REFER 09/A8.1

GENERAL FLOOR PLAN NOTES: 10.29.10

- DO NOT SCALE THESE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, TRADE STANDARDS, AND MANUFACTURER'S SPECIFICATIONS.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF EXISTING CONSTRUCTION TO FACE OF NEW FINISHES. (ALLOW FOR WALL SUBSTRATE & FINISHES)
- PROVIDE FIRE RETARDANT BLOCKING FOR ALL WALL MOUNTED ACCESSORIES AND DEVICES. ENSURE ALL NEW WALLS IN DINING AREA INCLUDE CONTINUOUS BLOCKING TO MOUNT TABLE BRACKETS.
- LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- EXISTING FIRE EXTINGUISHERS TO REMAIN UNLESS NOTED OTHERWISE.
- REFER FURNITURE PLAN FOR ADDITIONAL ITEMS TO BE INSTALLED.
- ALL OUTLET COVERS, BLANK COVERS, ETC. SHOULD MATCH ADJACENT WALL FINISH. CHANGE OUT AS NECESSARY. BROWN, BLACK OR ALUMINUM WILL BE ACCEPTABLE FOR MOST CONDITIONS.
- CONCEAL ALL EXPOSED CONDUITS, WIRES, J-BOXES, AND POS WIRE MOLDS IN PUBLIC AREAS AND IN KITCHEN VESTIBULES.
- ALL NEW DATA LINE RUNS FOR NEW OR RELOCATED POS TERMINALS ARE TO BE FURNISHED AND INSTALLED BY GC.
- ANY NEW DRYWALL INSTALLED OVER 8'-0" A.F.F. IS TO HAVE A LIGHT KNOCK DOWN TEXTURE.
- ALL EXISTING BOAT CLEATS ARE TO BE REMOVED FROM WALLS AND POSTS. IF LOCATED FOR COAT HOOKS, NEW DARK BRONZE COAT HOOKS ARE TO BE PROVIDED.
- G.C. TO ENSURE PROJECT COMPLIES WITH CALGREEN NOTE 5.504.3

INTERIOR FINISH SCHEDULE 10.31.11

FIRE CLASS	PAINT
A	PT-1 BENJAMIN MOORE PAINT: 1034 "CLAY" EGGSHELL, ECOSPEC #374
A	PT-2 BENJAMIN MOORE PAINT: 1084 "LAKE SHORE TRAIL" EGGSHELL, ECOSPEC #374
A	PT-3 BENJAMIN MOORE PAINT: 1028 "SPANISH BROWN" EGGSHELL, ECOSPEC #374
A	PT-4 BENJAMIN MOORE PAINT: 1680 "HUSON BAY" (BLUE) EGGSHELL, ECOSPEC #374
A	PT-5 BENJAMIN MOORE PAINT COLOR MATCH, FLAT FINISH. N215-48 (GALVON) DY 3x 29.7500 BK Dk 22.0000 MA 1x 9.2500 CF Dk 8.0000 WH Dk 6.0000 AVAILABLE AT ORLANDO ACE HARDWARE - (407) 422-7766

NOTE: PREPARE SURFACES TO BE PAINTED PER MANUFACTURER RECOMMENDATIONS PRIOR TO PAINT APPLICATION. ESPECIALLY AT ANY METAL RAILINGS OR METAL ROOFS TO BE REPAINTED. G.C. TO SUBMIT TEXTURE SAMPLES TO DARDEN FOR REVIEW.

GC CONTACT FOR BENJAMIN MOORE: JIM GORMAN 877-623-8484

WOOD STAIN

N/A	ST-1 SHERWIN WILLIAMS: CUSTOM STAIN TO MATCH EXISTING FOR TOUCH-UP & VARIOUS ELEMENTS.
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NOTE: ALL REFINISHING AND NEW FINISHES SHALL HAVE LOW LUSTER POLYURETHANE AS THE FINAL COAT FINISH. G.C. TO MATCH EXISTING STAIN WITH LOW VOC PRODUCT SUCH AS MINIWAX AND PROVIDE A CUSTOM STAIN IF NECESSARY TO ACHIEVE MATCH. G.C. TO SUBMIT SAMPLE USING THE SAME WOOD MATERIAL TO OWNER CPM FOR APPROVAL PRIOR TO APPLICATION.

INTERIOR MATERIALS

BB-1	1/4" x 3/8" x 9'-2" MAPLE SPL. BEAD WAINSCOT TO MATCH EXISTING.
VG-1	V-GROOVE WOOD SIDING.
	MARLITE: 45.75x60 PAINTED (2 PASS) 3/8" V-GROOVE PANEL. COLOR: CUSTOM CREAM FOR RED LOBSTER. CONTACT ROGER MASON AT PROGRESSIVE FLOORING FOR ORDER FORM. RMASON@PROGRESSIVE-SERVICE.COM

NOTE: ALL INTERIOR TRIM WHICH IS NOT PAINTED OR ROUGH CEDAR IS TO BE FINISHED TO MATCH EXISTING WOOD STAIN.

FLOOR FINISH

FC-10	DALTILE: PORCELATO SERIES - OSSIDANA CDB5 12x12 COF WET UNPOLISHED = .6 GROUT: DALTILE 223 BLACK
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WALL TILE

WT-1	WALL TILE: FIANDRE, COLOR: COPPER RED 12x12, 2x6 BULLNOSE FOR OUTSIDE CORNERS. MORTAR: MAPEI ULTRAFLEX 2 GROUT: CHARCOAL GRAY, 1/8" JOINTS GC TO PURCHASE TILE EXCLUSIVELY FROM TRINITY TILE GROUP, DALE WILLIAMS/ DEBBIE BYRD (407) 521-6655. TILE, MORTAR AND GROUT SUPPLIED AND INSTALLED BY G.C.
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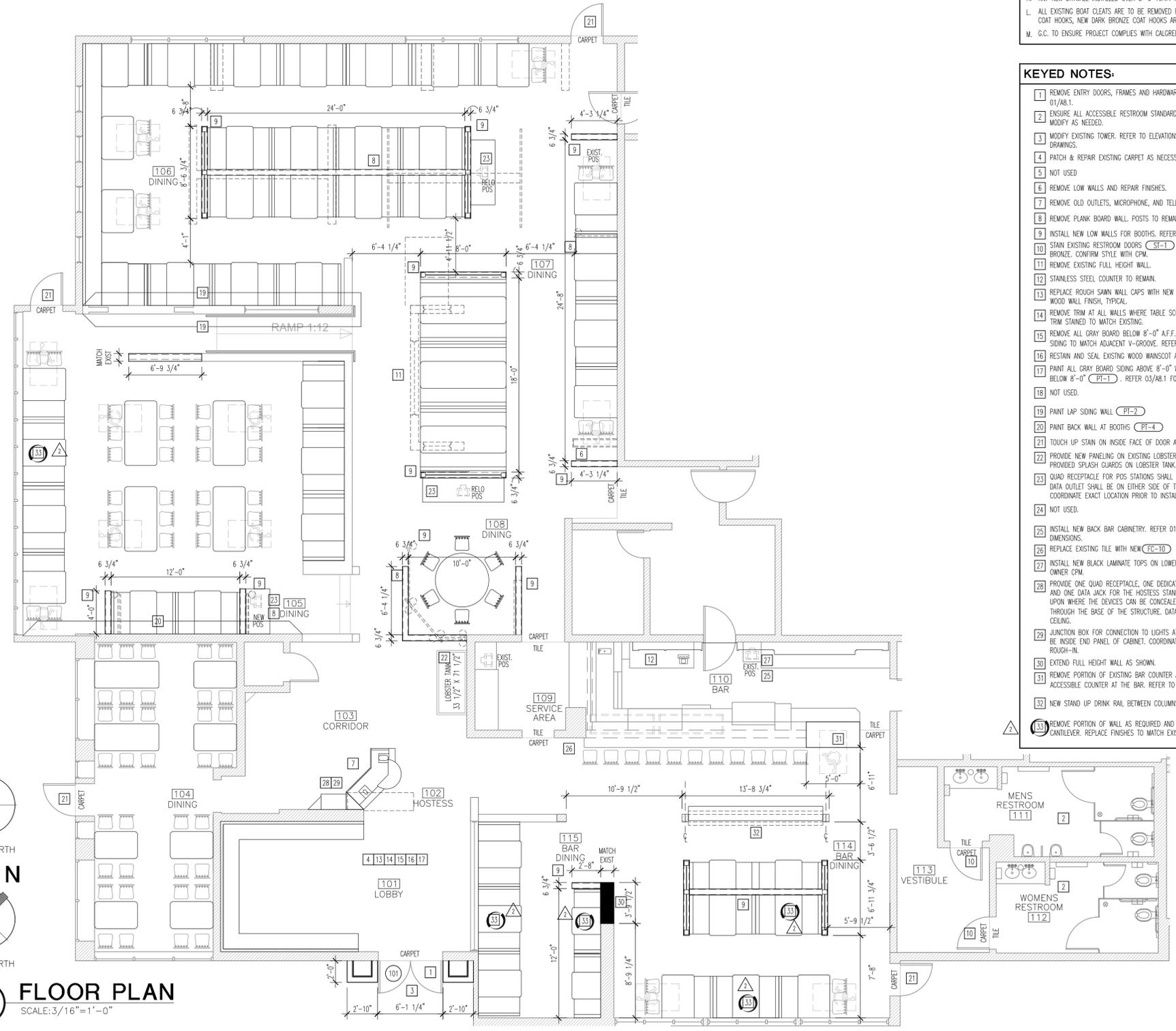
PLASTIC LAMINATE

B	PL-1 NEVAMAR: S-6053-CR JETT BLACK (CRYSTAL)
---	--

NOTE: A. INTERIOR FINISH MATERIALS APPLIED TO WALLS AND CEILINGS SHALL BE TESTED AS SPECIFIED IN CBC SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.5 AND SECTION 803.1.

- KEYED NOTES:** 06.09.11
- REMOVE ENTRY DOORS, FRAMES AND HARDWARE. REPLACE WITH NEW DOOR ASSEMBLY. REFER 01/A8.1.
 - ENSURE ALL ACCESSIBLE RESTROOM STANDARDS COMPLY. REFER TO SHEETS A1.3 AND A1.4. MOODY AS NEEDED.
 - MODIFY EXISTING TOWER. REFER TO ELEVATIONS ON SHEETS A5.1-A5.4 & STRUCTURAL DRAWINGS.
 - PATCH & REPAIR EXISTING CARPET AS NECESSARY.
 - NOT USED.
 - REMOVE LOW WALLS AND REPAIR FINISHES.
 - REMOVE OLD OUTLETS, MICROPHONE, AND TELEPHONE JACKS BY HOST STAND.
 - REMOVE PLANK BOARD WALL. POSTS TO REMAIN IF TRELIS OR BARREL RACK ABOVE.
 - INSTALL NEW LOW WALLS FOR BOOTHS. REFER TO 09/A8.1
 - STAIN EXISTING RESTROOM DOORS (ST-1). REPLACE EXISTING BRASS HARDWARE WITH NEW BRONZE. CONFIRM STYLE WITH CPM.
 - REMOVE EXISTING FULL HEIGHT WALL.
 - STAINLESS STEEL COUNTER TO REMAIN.
 - REPLACE ROUGH SAWN WALL CAPS WITH NEW HOGWYAN WALL CAPS FINISHED TO MATCH WOOD WALL FINISH, TYPICAL.
 - REMOVE TRIM AT ALL WALLS WHERE TABLE SCONES HAVE BEEN REMOVED. REPLACE WITH FIR TRIM STAINED TO MATCH EXISTING.
 - REMOVE ALL GRAY BOARD BELOW 8'-0" A.F.F. UNLESS NOTED OTHERWISE. AND REPLACE WITH SIDING TO MATCH ADJACENT V-GROOVE. REFER 03/A8.1. REUSE AS NEEDED FOR PATCHING.
 - RESTAIN AND SEAL EXISTING WOOD WAINSCOT AS NEEDED TO TOUCH UP FINISH.
 - PANT ALL GRAY BOARD SIDING ABOVE 8'-0" WITH (PT-5). PAINT ALL V-GROOVE SIDING BELOW 8'-0" (PT-1). REFER 03/A8.1 FOR TYPICAL INTERIOR WALL FINISHES.
 - NOT USED.
 - PANT LAP SIDING WALL (PT-2)
 - PANT BACK WALL AT BOOTHS (PT-4)
 - TOUCH UP STAIN ON INSIDE FACE OF DOOR AS NEEDED.
 - PROVIDE NEW PANELING ON EXISTING LOBSTER TANK. REFER 03/A8.3. G.C. TO INSTALL OWNER PROVIDED SLASH GUARDS ON LOBSTER TANK.
 - QUAD RECEPTACLE FOR POS STATIONS SHALL BE GROUPED WITH TWO DATA OUTLETS. ONE DATA OUTLET SHALL BE ON EITHER SIDE OF THE QUAD. GROUP SHALL BE LOCATED 28" AFF. COORDINATE EXACT LOCATION PRIOR TO INSTALLATION.
 - NOT USED.
 - INSTALL NEW BACK BAR CABINERY. REFER 01/A8.2. MILLWORK VENDOR TO VERIFY EXISTING DIMENSIONS.
 - REPLACE EXISTING TILE WITH NEW (FC-10)
 - INSTALL NEW BLACK LAMINATE TOPS ON LOWER BACK BAR. CONFIRM LAMINATE SPEC WITH OWNER CPM.
 - PROVIDE ONE QUAD RECEPTACLE, ONE DEDICATED QI QUAD RECEPTACLE, ONE TELEPHONE JACK AND ONE DATA JACK FOR THE HOSTESS STAND. LOCATION OF RECEPTACLE SHALL BE BASED UPON WHERE THE DEVICES CAN BE CONCEALED AND THE WIRING CAN BE EXTENDED THROUGH THE BASE OF THE STRUCTURE. DATA JACK REQUIRES 3/4" CONDUIT STUBBED ABOVE CEILING.
 - JUNCTION BOX FOR CONNECTION TO LIGHTS AT THE HOST PODIUM. ALL JUNCTION BOXES TO BE INSIDE END PANEL OF CABINET. COORDINATE EXACT LOCATION OF JUNCTION BOX PRIOR TO ROUGH-IN.
 - EXTEND FULL HEIGHT WALL AS SHOWN.
 - REMOVE PORTION OF EXISTING BAR COUNTER AS SHOWN FOR THE INSTALLATION OF ACCESSIBLE COUNTER AT THE BAR. REFER TO DETAIL 09/A8.1.
 - NEW STAND UP DRINK RAIL BETWEEN COLUMNS.
 - REMOVE PORTION OF WALL AS REQUIRED AND PROVIDE NEW BLOCKING FOR NEW TABLE CANTILEVER. REPLACE FINISHES TO MATCH EXISTING. COORDINATE WITH OWNER CPM.

- GENERAL DEMOLITION NOTES:** 08.12.09
- GENERAL CONTRACTOR TO INSPECT PREMISES PRIOR TO DEMOLITION TO DETERMINE EXTENT OF WORK INVOLVED & TO MAINTAIN STRUCTURAL INTEGRITY.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONSTRUCTION & FINISHES TO REMAIN & SHALL REPAIR TO THE ORIGINAL CONDITION OR REPLACE WITH NEW.
 - TERMINATE ELECTRICAL & MECHANICAL SERVICES TO BE REMOVED IN A MANNER CONFORMING TO THE NATIONALLY RECOGNIZED CODE COVERING THE SPECIFIC UTILITY & SATISFACTORY TO THE OWNER & BUILDING OFFICIALS. ELECTRICAL CONTRACTOR TO DISCONNECT ALL ELECTRICAL ITEMS & REMOVE WIRING AT AREAS OF DEMO. CAP ELECTRICAL LINES WHERE REMOVED.
 - AT THE COMPLETION OF DEMOLITION THE GENERAL CONTRACTOR SHALL VERIFY & INSURE FULL OPERATION OF EXISTING ELECTRICAL DEVICES TO REMAIN.
 - GENERAL CONTRACTOR TO COORDINATE WITH ALL TRADES DURING DEMOLITION.
 - PRIOR TO DEMOLITION THE CONTRACTOR SHALL VERIFY IF THE OWNER WISHES TO RETAIN ANY ITEMS DESIGNATED TO BE REMOVED. ANY SUCH ITEMS SHALL BE REMOVED WITH CARE SO AS TO PREVENT UNNECESSARY DAMAGE.
 - GENERAL CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS & RUBBISH AT THE END OF EACH WORKING DAY TO THE SATISFACTION OF THE OWNER.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES, CONFLICTS, OR ERRORS FOUND IN THE DRAWINGS. RESOLUTIONS SHALL BE PROVIDED BY THE OWNER.
 - ALL SURFACES THAT ARE TO RECEIVE NEW FINISHES SHALL BE PRIMED & PREPARED PER MANUFACTURER'S REQUIREMENTS.
 - ALL HAZARDOUS MATERIALS SHALL BE REMOVED PRIOR TO START OF CONSTRUCTION UNDER A SEPARATE AGREEMENT.
 - COORDINATE ANY SYSTEM SHUTDOWNS WITH THE OWNER.
 - BUILDING INTERIOR SHALL BE PROTECTED FROM OUTSIDE WEATHER DURING ROOF & WALL DEMOLITION & RECONSTRUCTION.

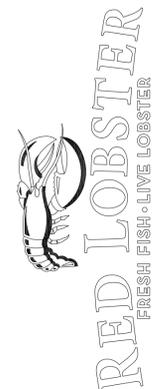


01 FLOOR PLAN
SCALE: 3/16" = 1'-0"

DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.



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ARCHITECTS PROJECT #: 110047



Issue Date: 01-17-2012

REVISION INFORMATION

1	OWNER AND HEALTH CHANGES	03.19.12
2	CITY COMMENTS	03.23.12

Restaurant #: 0532

RED LOBSTER BR4
503 E. CALAVERAS BLVD
MILPITAS, CA
MILPITAS, CA

Drawing
FLOOR PLAN

A1.1

EXTERIOR FINISH SCHEDULE 08.22.11

EXTERIOR MATERIALS	
EXT-2	STONE VENEER AND WATERTABLE AS MANUFACTURED BY CORONADO • VENEER: SPLIT FELDSTONE, DAKOTA BROWN. • SILL AT WANSICOT: CHISELED STONE, DAKOTA BROWN. • CAP AT COLUMN: FLAGSTONE 12x24, DAKOTA BROWN. • MORTAR: NATURAL, JOINT NOT TO EXCEED 1/2". APPLY MATTE FINISH SEALANT.
EXT-3	HARDIE PLANK LAP SIDING AS MANUFACTURED BY JAMES HARDIE BUILDING PRODUCTS - SELECT CEDARHILL 5/16" x 7 1/4" (6" EXPOSURE)
EXT-5	HARDIE SHINGLE SIDING AS MANUFACTURED BY JAMES HARDIE BUILDING PRODUCTS - STRAIGHT EDGE PANEL 1/4" x 48" x 16"
EXT-6	HARDIE TRIM AS MANUFACTURED BY JAMES HARDIE BUILDING PRODUCTS - SMOOTH XLD 5/4" (1" ACTUAL)
EXT-9	BERRIDGE ZEE-LOCK STANDING SEAM METAL ROOF COLOR: CHARCOAL GREY "CLASS A FIRE RATING" CONTACT: 1-800-669-0009 WEB SITE: WWW.BERRIDGE.COM
EXT-10	TRIM BOARD AS MANUFACTURED BY PYPON - FL1179-12 1" x 16"

PAINT	
PT-7	BENJAMIN MOORE PAINT: 869 (OXFORD WHITE) EXTERIOR SATIN #631
PT-8	BENJAMIN MOORE PAINT: 2132-10 (BLACK) - EXTERIOR SATIN #631
PT-9	BENJAMIN MOORE PAINT: H5-168 (CHELSEA GREY) EXTERIOR SATIN #631
PT-10	BENJAMIN MOORE PAINT: RMC-26 (CLASSIC BURGUNDY) EXTERIOR SATIN #631
PT-11	BENJAMIN MOORE PAINT: 363 4B (CHARCOAL GREY) IRONCLAD LATEX LOW LUSTER METAL & WOOD ENAMEL GALLON COLOR FORMULA: OY 115, BK 8 X 16, TG 21, RD 2, OG 62, WH 104.
PT-12	BENJAMIN MOORE PAINT: EXTERIOR RED-MIXED (TUDOR BROWN) EXTERIOR SATIN
PT-13	BENJAMIN MOORE PAINT: H5-72 (BRANCHPORT BROWN) EXTERIOR SATIN
PT-14	TNEMEC PROTECTIVE COATINGS: "DARDEN RED LOBSTER GRAY # A9504" CPM TO CONTACT BILL LANGER AT 407-322-1243 FOR BE-PAINING OF ROOF

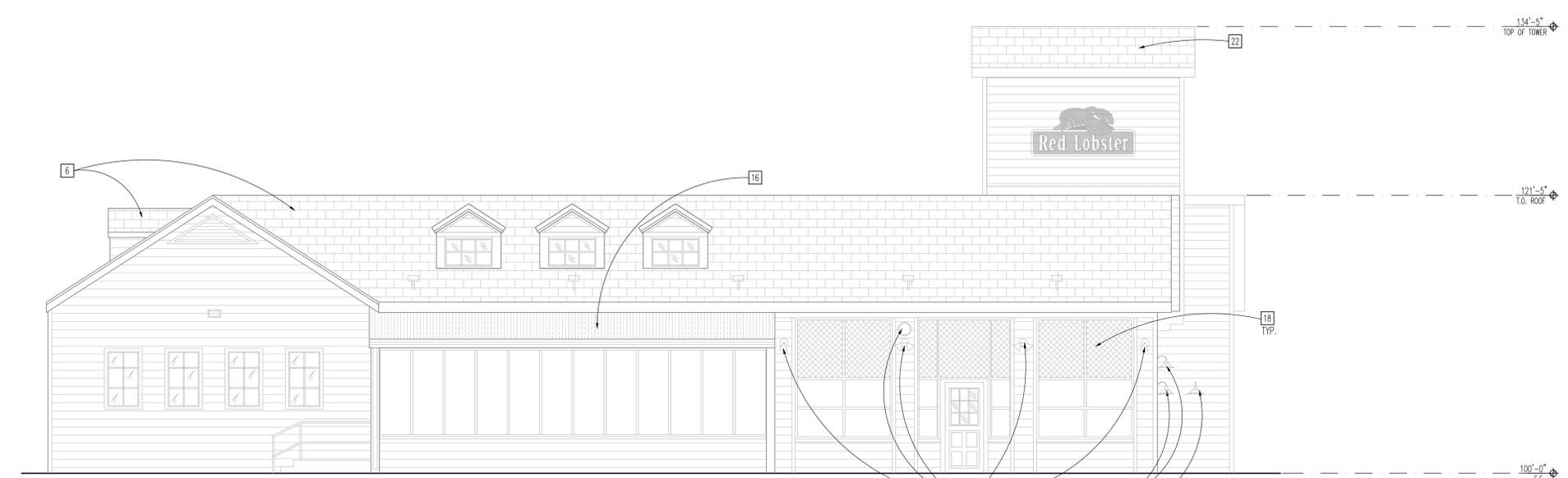
AWNING FABRIC
 AF-1 SUNBRELLA-FIRERESIST AWNING-COLOR: BLACK #82008
 NOTES:
 PREPARE SURFACES TO BE PAINTED PER MANUFACTURER RECOMMENDATIONS PRIOR TO PAINT APPLICATION.

GENERAL NOTES 11.08.11

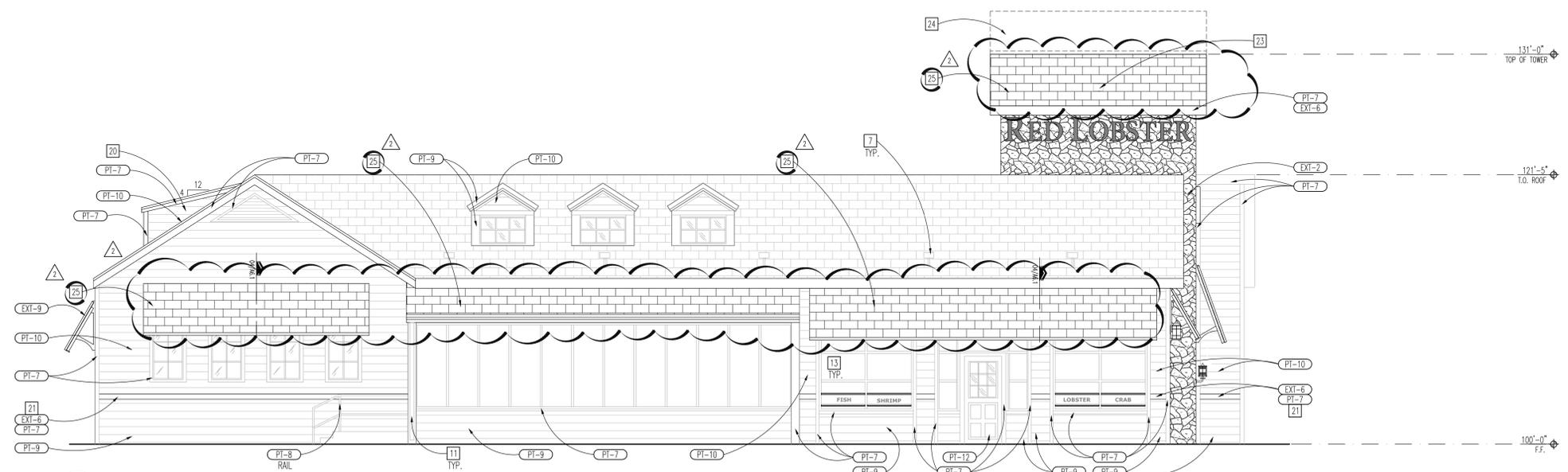
- REPAIR ANY LEAKS AROUND ROOF LIGHTS.
- SATELLITE CABLE AT REAR OF RESTAURANT TO BE CONCEALED. VERIFY WITH OWNER.
- IN FREEZE/THAW CLIMATES ONLY: G.C. TO PROVIDE AND INSTALL SNOW GUARDS AS MANUFACTURED BY SNO-GEN. CLEAR ORIGINAL POLYCARBONATE SNOW GUARD 5" X 5" BASE. APPLY IN DIAMOND ORIENTATION ACCORDING TO MANUFACTURER'S INSTRUCTIONS, WITH RECOMMENDED ADHESIVE. SNOW GUARDS TO BE LOCATED AT ALL AREAS OF SLOPED ROOF OVER ENTRY WAYS UTILIZING THE MINIMUM REQUIRED.
- G.C. TO INSPECT AND REPAIR OR REPLACE ANY DAMAGED OR DECAYED MATERIAL.
- G.C. TO PATCH AND REPAIR FINISHES AS NECESSARY WHERE SIGNAGE HAS BEEN REMOVED.
- FIRE SPRINKLER EXTENSIONS MAY BE REQUIRED IN EXTERIOR LOCATIONS PER LATEST LOCAL CODES. FS CONTRACTOR TO CONFIRM.
- AREA HEATERS MAY BE REQUIRED IN AREAS CLOSED OFF WITH WET SPRINKLER SYSTEMS OR PLUMBING RUNS CLIMATES SUBJECT TO FREEZING. G.C. TO CONFIRM WITH LOCAL CODES AND OWNER CPM.
- ALL ADDRESS NUMBERS SHALL CONTRAST WITH THE ADJACENT BACKGROUND. WHITE NUMBERS ARE TO BE USED ON BURGUNDY OR GRAY BACKGROUNDS. BLACK NUMBERS ARE TO BE USED ON WHITE BACKGROUNDS.
- PAINT ANY EXPOSED FOUNDATION THAT IS HIGHER THAN 4 INCHES TO MATCH THE COLOR OF THE EXTERIOR FINISH ABOVE UNLESS NOTED OTHERWISE.
- REPAIR ROOF SCUPPERS AS NEEDED.

KEYED ELEVATION NOTES: 11.08.11

- REPLACE EXISTING HOURS OF OPERATION SIGN WITH NEW AND PROVIDE A PROPRIETOR SIGN, FURNISHED BY OWNER AND INSTALLED BY G.C. REFER TO 03 & 04/05.1
- REMOVE EXISTING FISHBOARD SIGNS AND LIGHTS.
- NEW SIGN BY SIGN VENDOR. UNDER SEPARATE PERMIT.
- REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW. PATCH AND REPAIR FINISHES AS NECESSARY.
- NEW EXTERIOR LIGHT FIXTURE. MATCH EXISTING MOUNTING HEIGHT CONFIRM WITH OWNER CPM.
- EXISTING SLATE SHINGLE ROOF TO REMAIN.
- PAINT EXISTING ROOF LIGHTS (PT-11). ENSURE ALL FIXTURES ARE IN GOOD WORKING CONDITION AND ARE LAMPED THE SAME.
- REMOVE EXISTING LIGHT FIXTURE. PATCH AND REPAIR MATERIALS AS NEEDED.
- NOT USED.
- NEW 24" LOUVER VENT. PAINT (PT-7). REFER 08A/A6.1
- PAINT DOWNSPOUTS AND GUTTERS TO MATCH ADJACENT WALL, TYPICAL.
- PAINT DISTRIBUTION EQUIPMENT TO MATCH BUILDING IF ALLOWED BY UTILITIES.
- REMOVE WINDOW MOUNTINGS IF POSSIBLE. SIGNAGE VENDOR WILL INSTALL WINDOW GRAPHICS.
- INSTALL NEW RECESSED SPEAKERS IN SOFFIT. SPEAKERS ARE ONLY REQUIRED WITH 15 FEET OF THE MAIN BUILDING ENTRY.
- INSTALL NEW "DELIVERY HOURS" SIGN AT THE REAR SERVICE DOOR
- REMOVE EXISTING CORRUGATED TIN ROOF PANELS AND REPLACE WITH NEW STANDING SEAM METAL ROOF (EXT-9)
- NEW EXTERIOR LIGHT FIXTURE. CONFIRM MOUNTING HEIGHT WITH OWNER CPM.
- REMOVE EXISTING LATTICE PANELS FROM WINDOWS. REPAIR FINISHES AS NEEDED.
- RELOCATE EXISTING LIGHTS AND FIRE ALARM FOR INSTALLATION OF NEW AWNING. CONFIRM NEW LOCATION WITH OWNER CPM.
- INSTALL NEW SHED DORMER ON ROOF AS SHOWN. DORMER ROOFING TO MATCH EXISTING ADJACENT ROOFING.
- INSTALL NEW 2X6 HARDI BOARD TRIM AS SHOWN.
- MODIFY EXISTING TOWER AS SHOWN. REFER TO SHEET A6.1
- PROVIDE ROOF LIGHTS TO MATCH EXISTING.
- PORTION OF TOWER TO BE DEMOED.
- NEW SLATE SHINGLES TO MATCH EXISTING.



01 EXISTING LEFT ELEVATION
 SCALE: 3/16"=1'-0"



02 PROPOSED LEFT ELEVATION
 SCALE: 3/16"=1'-0"

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ARCHITECTS PROJECT #:
 110047



Issue Date: 01-17-2012

REVISION INFORMATION

NO.	DATE	DESCRIPTION
2	03.23.12	CITY COMMENTS

Restaurant #: 0532

RED LOBSTER
 BR4
 503 E. CALAVERAS BLVD
 MILPITAS, CA
 MILPITAS, CA

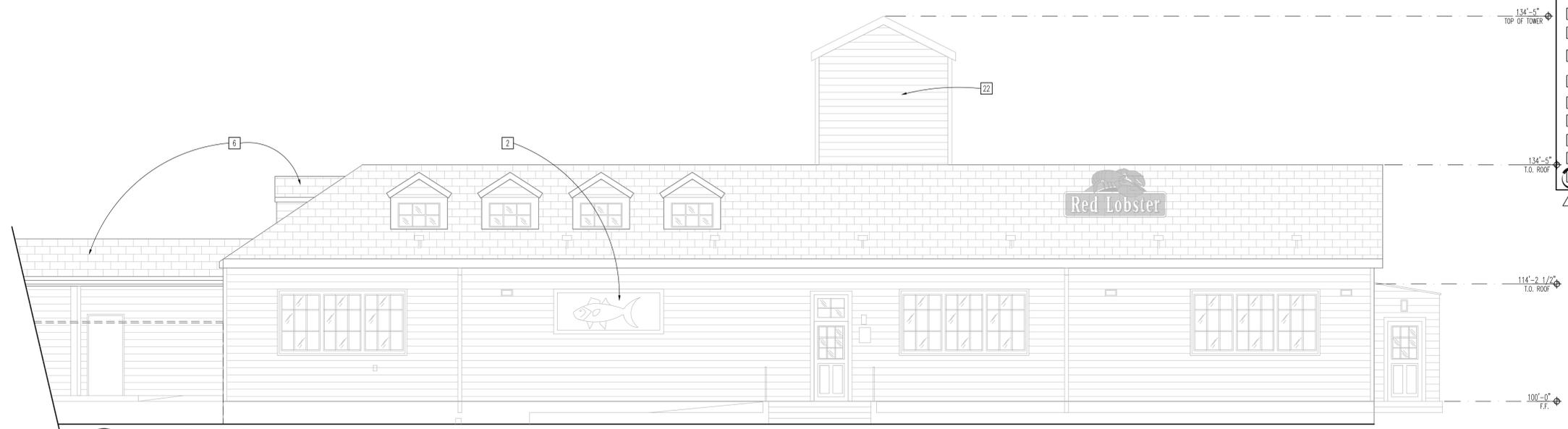
Drawing
EXTERIOR ELEVATIONS

A5.3

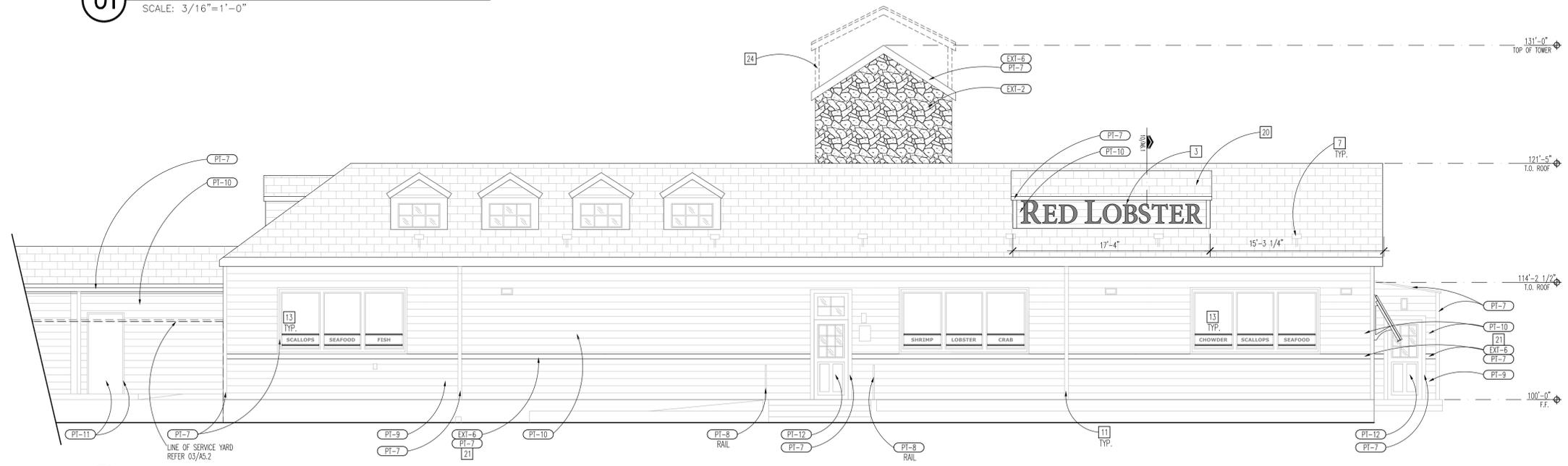
EXTERIOR FINISH SCHEDULE	
EXTERIOR MATERIALS	
EXT-2	STONE VENEER AND WATERTABLE AS MANUFACTURED BY CORONADO * VENEER: SPLIT FELDSTONE, DAKOTA BROWN. * SILL AT WANSKOT: CHISELED STONE, DAKOTA BROWN. * CAP AT COLUMB: FLAGSTONE 12x24, DAKOTA BROWN. * MORTAR: NATURAL, JOINT NOT TO EXCEED 1/2". APPLY MATTE FINISH SEALANT.
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PT-8	BENJAMIN MOORE PAINT: 2132-10 (BLACK) - EXTERIOR SATIN #631
PT-9	BENJAMIN MOORE PAINT: HS-168 (CHELSEA GREY) EXTERIOR SATIN #631
PT-10	BENJAMIN MOORE PAINT: RME-26 (CLASSIC BURGUNDY) EXTERIOR SATIN #631
PT-11	BENJAMIN MOORE PAINT: 363 4B (CHARCOAL GREY) IRONCLAD LATEX LOW LUSTER METAL & WOOD ENAMEL GALLON COLOR FORMULA: OY 115, BK 8 X 16, TC 21, RD 2, OG 62, WH 104.
PT-12	BENJAMIN MOORE PAINT: EXTERIOR RED-MINED (TUDOR BROWN) EXTERIOR SATIN
PT-13	BENJAMIN MOORE PAINT: HC-72 (GRANCHFORT BROWN) EXTERIOR SATIN
PT-14	TNEMEC PROTECTIVE COATINGS: "DARDEN RED LOBSTER GRAY # A9504" CPM TO CONTACT BILL LANGER AT 407-322-1243 FOR BE-PAINING OF ROOF
AWNING FABRIC	
AF-1	SUNBRELLA-FIRE-SIST AWNING-COLOR: BLACK #82008
NOTES: PREPARE SURFACES TO BE PAINTED PER MANUFACTURER RECOMMENDATIONS PRIOR TO PAINT APPLICATION.	

- GENERAL NOTES**
- REPAIR ANY LEAKS AROUND ROOF LIGHTS.
 - SATELLITE CABLE AT REAR OF RESTAURANT TO BE CONCEALED. VERIFY WITH OWNER.
 - IN FREEZE/THAW CLIMATES ONLY: G.C. TO PROVIDE AND INSTALL SNOW GUARDS AS MANUFACTURED BY SNO-GEN. CLEAR ORIGINAL POLYCARBONATE SNOW GUARD 5" X 5" BASE. APPLY IN DIAMOND ORIENTATION ACCORDING TO MANUFACTURER'S INSTRUCTIONS, WITH RECOMMENDED ADHESIVE. SNOW GUARDS TO BE LOCATED AT ALL AREAS OF SLOPED ROOF OVER ENTRY WAYS UTILIZING THE MINIMUM REQUIRED.
 - G.C. TO INSPECT AND REPAIR OR REPLACE ANY DAMAGED OR DECAYED MATERIAL.
 - G.C. TO PATCH AND REPAIR FINISHES AS NECESSARY WHERE SIGNAGE HAS BEEN REMOVED.
 - FIRE SPRINKLER EXTENSIONS MAY BE REQUIRED IN EXTERIOR LOCATIONS PER LATEST LOCAL CODES. FS CONTRACTOR TO CONFIRM.
 - AREA HEATERS MAY BE REQUIRED IN AREAS CLOSED OFF WITH WET SPRINKLER SYSTEMS OR PLUMBING RUNS CLIMATES SUBJECT TO FREEZING. G.C. TO CONFIRM WITH LOCAL CODES AND OWNER CPM.
 - ALL ADDRESS NUMBERS SHALL CONTRAST WITH THE ADJACENT BACKGROUND. WHITE NUMBERS ARE TO BE USED ON BURGUNDY OR GRAY BACKGROUNDS. BLACK NUMBERS ARE TO BE USED ON WHITE BACKGROUNDS.
 - PAINT ANY EXPOSED FOUNDATION THAT IS HIGHER THAN 4 INCHES TO MATCH THE COLOR OF THE EXTERIOR FINISH ABOVE UNLESS NOTED OTHERWISE.
 - REPAIR ROOF SCUPPERS AS NEEDED.

- KEYED ELEVATION NOTES:**
- REPLACE EXISTING HOURS OF OPERATION SIGN WITH NEW AND PROVIDE A PROPRIETOR SIGN, FURNISHED BY OWNER AND INSTALLED BY G.C. REFER TO 03 & 04/AS.1
 - REMOVE EXISTING FISHBOARD SIGNS AND LIGHTS.
 - NEW SIGN BY SIGN VENDOR. UNDER SEPARATE PERMIT.
 - REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW. PATCH AND REPAIR FINISHES AS NECESSARY.
 - NEW EXTERIOR LIGHT FIXTURE. MATCH EXISTING MOUNTING HEIGHT CONFIRM WITH OWNER CPM.
 - EXISTING SLATE SHINGLE ROOF TO REMAIN.
 - PAINT EXISTING ROOF LIGHTS (PT-11). ENSURE ALL FIXTURES ARE IN GOOD WORKING CONDITION AND ARE LAMPED THE SAME.
 - REMOVE EXISTING LIGHT FIXTURE. PATCH AND REPAIR MATERIALS AS NEEDED.
 - NOT USED.
 - NEW 24" LOUVER VENT. PAINT (PT-7). REFER 08/A6.1
 - PAINT DOWNSPOUTS AND GUTTERS TO MATCH ADJACENT WALL, TYPICAL.
 - PAINT DISTRIBUTION EQUIPMENT TO MATCH BUILDING IF ALLOWED BY UTILITIES.
 - REMOVE WINDOW MOUNTINGS IF POSSIBLE. SIGNAGE VENDOR WILL INSTALL WINDOW GRAPHICS.
 - INSTALL NEW RECESSED SPEAKERS IN SOFFIT. SPEAKERS ARE ONLY REQUIRED WITH 15 FEET OF THE MAIN BUILDING ENTRY.
 - INSTALL NEW "DELIVERY HOURS" SIGN AT THE REAR SERVICE DOOR
 - REMOVE EXISTING CORRUGATED TIN ROOF PANELS AND REPLACE WITH NEW STANDING SEAM METAL ROOF (EXT-3)
 - NEW EXTERIOR LIGHT FIXTURE. CONFIRM MOUNTING HEIGHT WITH OWNER CPM.
 - REMOVE EXISTING LATTICE PANELS FROM WINDOWS. REPAIR FINISHES AS NEEDED.
 - RELOCATE EXISTING LIGHTS AND FIRE ALARM FOR INSTALLATION OF NEW AWNING. CONFIRM NEW LOCATION WITH OWNER CPM.
 - INSTALL NEW SHED DORMER ON ROOF AS SHOWN. DORMER ROOFING TO MATCH EXISTING ADJACENT ROOFING.
 - INSTALL NEW 2X6 HARDI BOARD TRIM AS SHOWN.
 - MODIFY EXISTING TOWER AS SHOWN. REFER TO SHEET A6.1
 - PROVIDE ROOF LIGHTS TO MATCH EXISTING.
 - PORTION OF TOWER TO BE DEMOED.
 - NEW SLATE SHINGLES TO MATCH EXISTING.



01 EXISTING REAR ELEVATION
 SCALE: 3/16"=1'-0"

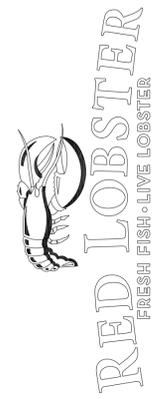


02 PROPOSED REAR ELEVATION
 SCALE: 3/16"=1'-0"

DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.



Architecture / Development
 Parkway Plaza I
 1410 Dallas Parkway
 Suite 300
 Dallas Texas 75254
 Ph: (972) 239-8884
 Fax: (972) 239-6064
 ARCHITECTS PROJECT #:
 110047



Issue Date: 01-17-2012

REVISION INFORMATION

2 CITY COMMENTS 03.23.12

Restaurant #: 0532

RED LOBSTER
 BR4
 503 E. CALAVERAS BLVD
 MILPITAS, CA
 MILPITAS, CA

Drawing
 EXTERIOR ELEVATIONS

A5.4



RIGHT ELEVATION



FRONT ELEVATION

RED LOBSTER REMODEL - #0532

Milpitas, CA

Date: 03-22-2012





LEFT ELEVATION



REAR ELEVATION

RED LOBSTER REMODEL - #0532

Milpitas, CA

Date: 03-22-2012





503 E. Calaveras Blvd.
Milpitas, CA

Store #0532

March 30, 2012 - Submittal



Ph: 1 . 800 . 599 . 7696

Fax: 1 . 574 . 237 . 6166

www.siteenhancementservices.com

A Existing: 4'-6" x 10'-2" Full Expression: 45.75 SF
Proposed: 3'-7" x 9'-4 5/8" Illuminated Cabinet: 33.63 SF

B Existing: 6'-10" x 12'-2" Channel Letters w/ Critter: 83 SF
Proposed: 3'-7" x 9'-4 5/8" Illuminated Cabinet: 33.63 SF

C Existing: 6'-10" x 12'-2" Channel Letters w/ Critter: 83 SF
Proposed: 3'-7" x 9'-4 5/8" Illuminated Cabinet: 33.63 SF

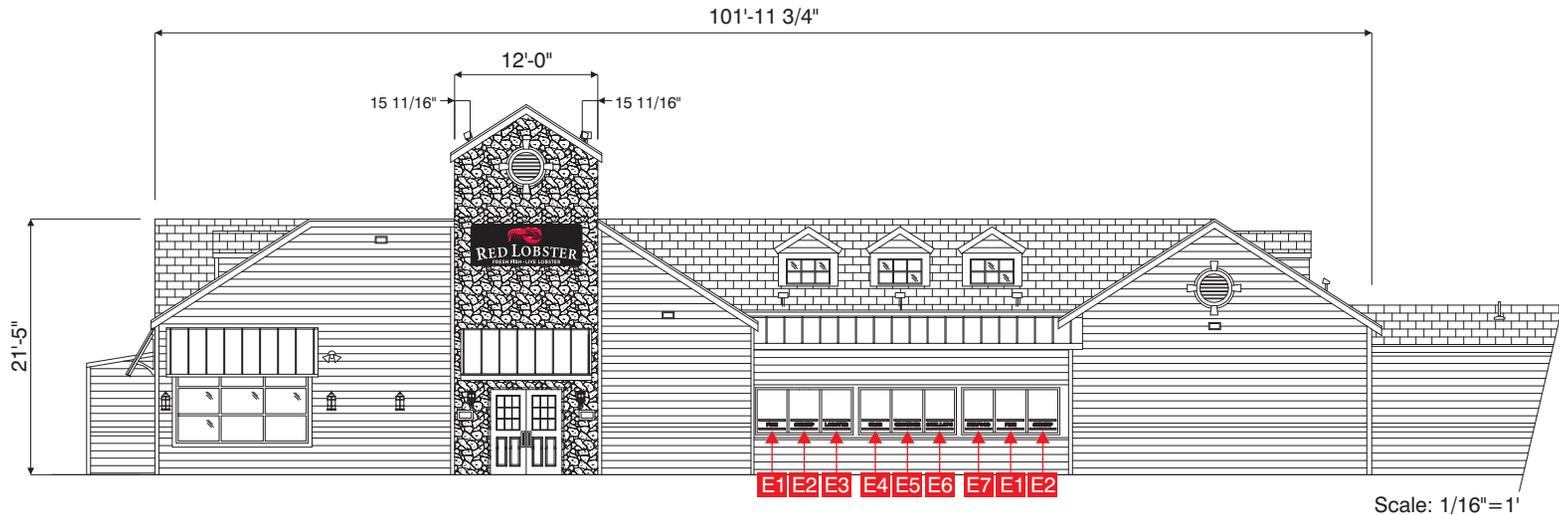
D Existing: 4'-0" x 9'-2" Full Expression: 36.67 SF
Proposed: 21" x 14'-10 3/4" Channel Letters: 26.07 SF



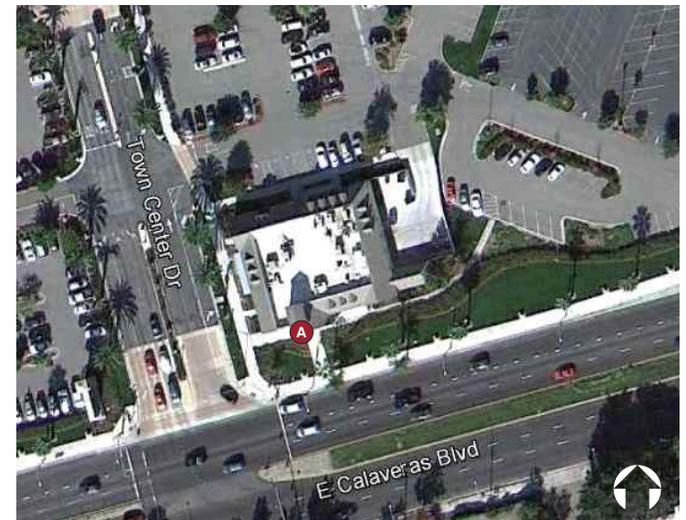
Existing: Approx. 45.75 SF

Front Elevation

Store #0532



32 Square Foot Cabinet (Internally Illuminated Cabinet)
 Utilized Square Footage: 33.63
 Scale: 3/8" = 1'

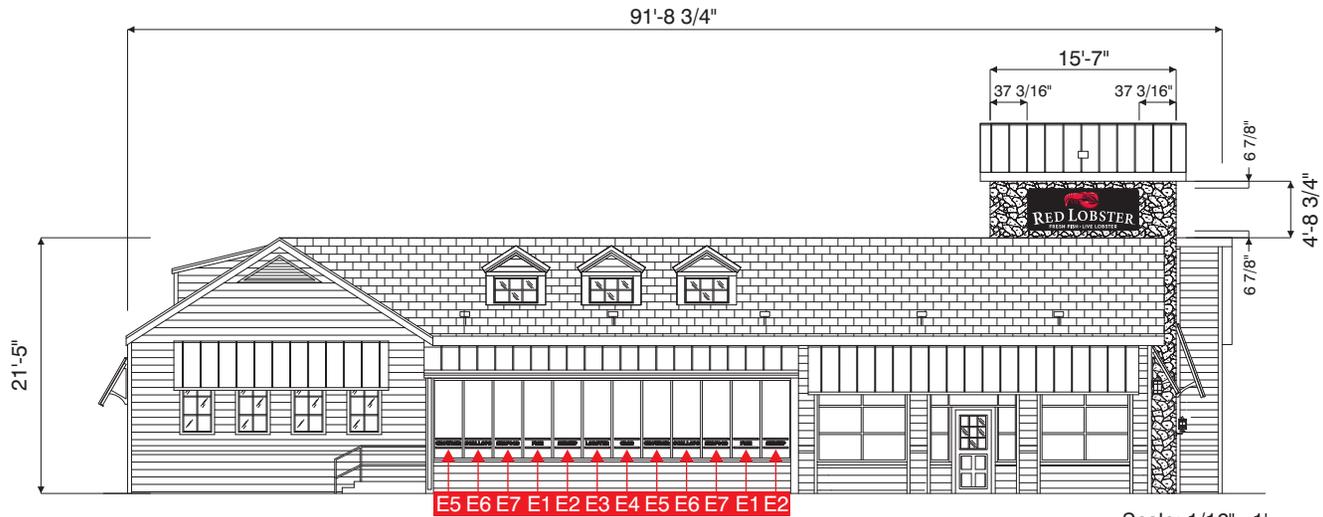


Existing: Approx. 83 SF

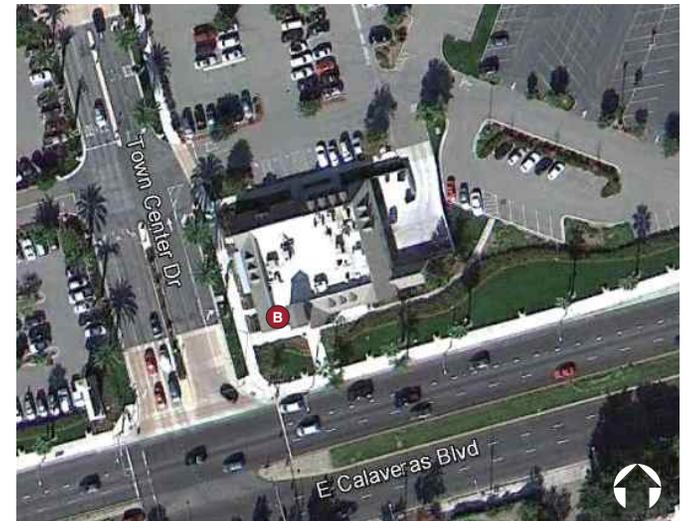


Left Elevation

Store #0532



32 Square Foot Cabinet (Internally Illuminated Cabinet)
Utilized Square Footage: 33.63
Scale: 3/8"=1'

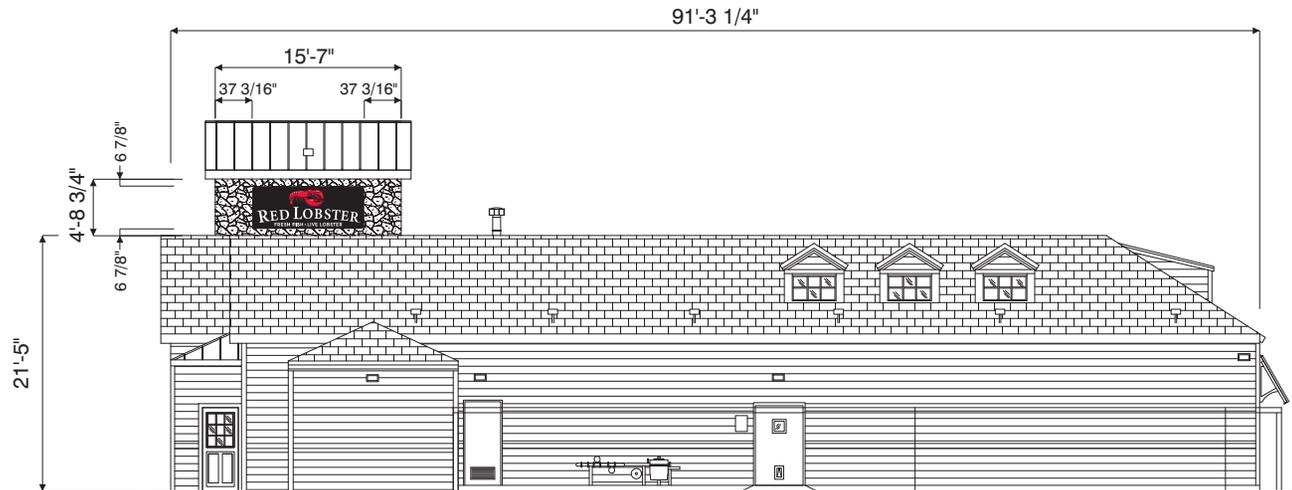


Existing: Approx. 83 SF



Right Elevation

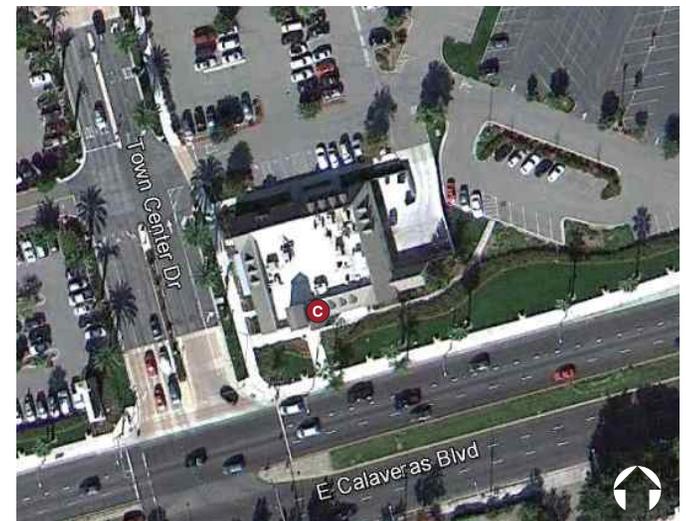
Store #0532



Scale: 1/16"=1'



32 Square Foot Cabinet (Internally Illuminated Cabinet)
Utilized Square Footage: 33.63
Scale: 3/8"=1'

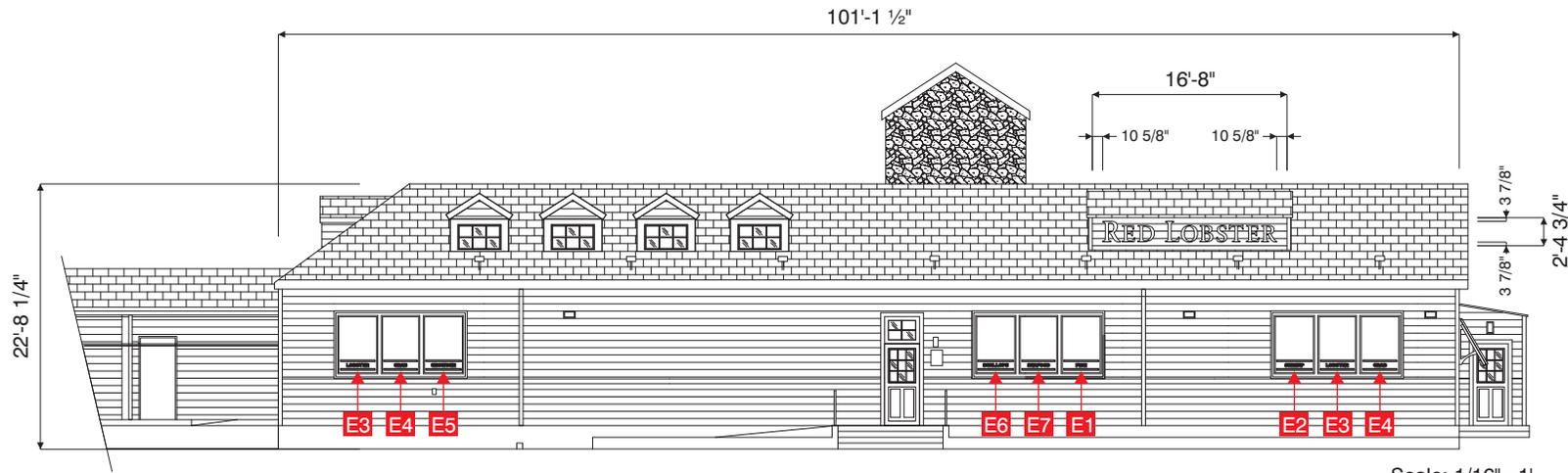


Existing: Approx. 36.67 SF

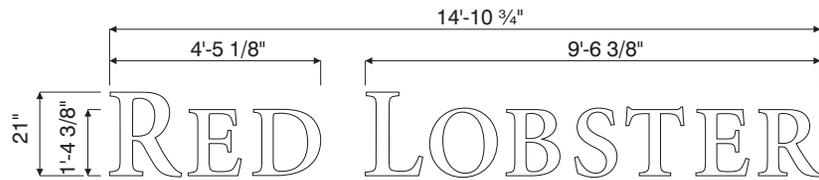


Rear Elevation

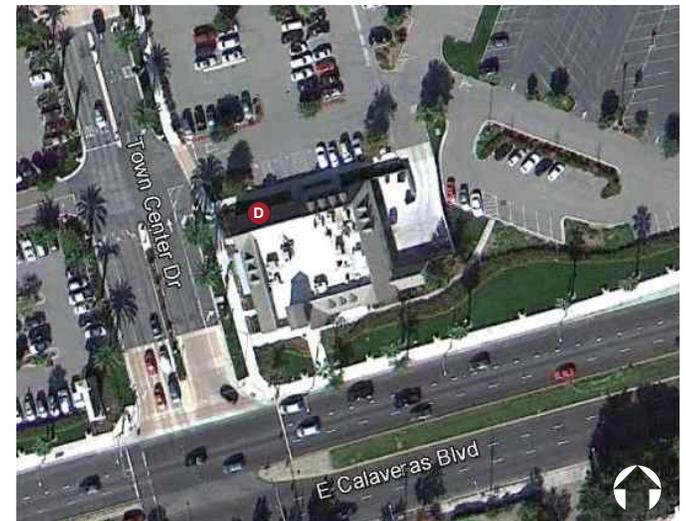
Store #0532



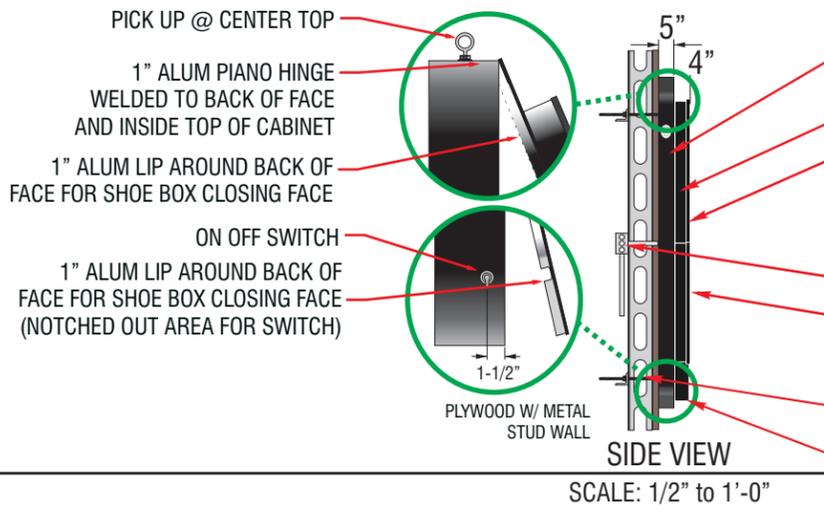
Scale: 1/16"=1'



21" Channel Letters (*Internally LED Illuminated Channel Letters*)
Utilized Square Footage: 26.07
Scale: 1/4"=1'



RL-W35-FE



FABRICATED ALUMINUM CABINET, PAINTED BLACK SATIN WITH .090" ALUMINUM HINGE-ABLE FACE FOR SERVICE.

FLAT ALUMINUM MONOLITHIC FACE PAINTED BLACK SATIN

4" DEEP ALUMINUM RETURNS FOR THE LOBSTER SHAPE WITH DIGITALLY PRINTED GRAPHIC APPLIED TO A FLAT IMPACT MODIFIED CLEAR ACRYLIC FACE WITH BLACK TRIMCAP. ALL AREAS IN BETWEEN CLAWS, ANTENNAS, ETC NEED TO BE "OPEN" SO THE BACKGROUND OF THE CABINET IS VISIBLE. GE MINI-MAX SERIES WHITE LEDS.

ELECTRICAL AS PER N.E.C. STANDARDS

4" DEEP ALUMINUM "RED LOBSTER" CHANNEL LETTERS WITH GE MINI-MAX SERIES WHITE LED ILLUMINATION.. FACES TO BE #2447 WHITE .177 ACRYLIC W/ BLACK TRIMCAP.

3/8" S.S. THREADED ROD THRU BOLT MOUNTING W/ 2" X 2" X.1875 GALV ANGLE STRINGER BEHIND WALL

"FRESH FISH LIVE LOBSTER" PILL BOX STYE CABINET, 4" DEEP W/ILLUMINATION WITH GE MINI-MAX WHITE LEDS . SIZE: 5-1/2" X 5'-9-3/4" X 4" W/ 1-1/2" RADIUS CORNERS.

COLOR KEY

- DIGITAL GRAPHICS SUPPLIED BY: MIRATEC (COLOR FORMULA'S BY OTHERS)
- (WHITE- #2447 WHITE .177 ACRYLIC
- BLACK (SPRAYLAT - JET BLACK RAL 9005 SATIN)



NOTE: DIGITAL GRAPHIC WILL ALWAYS HAVE THE BLACK BORDER AROUND COMPLETE LOGO ANY TIME PRINTED.

ELECTRICAL REQUIREMENTS
Total: <u>2.6</u> Amps
1-120V, 20A Circuits Req'd.
<small>ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.</small>

"MAIN CABINET"
 CONSTRUCTED W/ CONVENTIONAL CONSTRUCTION METHODS OF ANGLE IRON & ALUMINUM SKIN FOR FACE & SIDES.
 INTERIOR SUPPORT STEEL TO BE DETERMINED
 ALL OF THE CABINET TO BE PAINTED (BLACK SATIN FINISH)

MAIN CABINET: .090" ALUM.
 CHANNEL LTRS & CRITTER:
 .063" ALUM BACKS
 .040" RETURNS

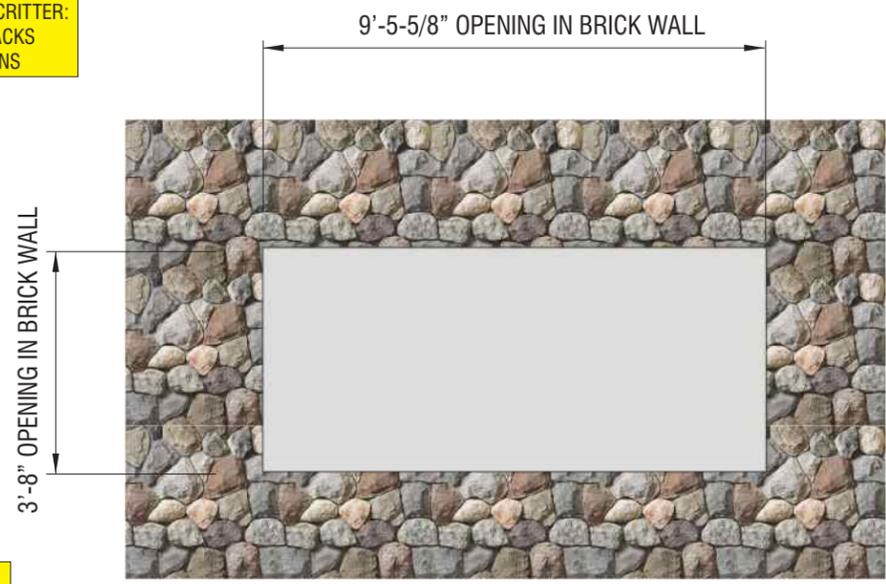
"CRITTER"
 CRITTER LOGO OF CHANNEL LETTER CONSTRUCTION TO BE ATTACHED TO CABINET FACE.
 CRITTER FACE OF CLEAR IMPACT MODIFIED ACRYLIC W/ 1st SURFACE DIGITAL GRAPHIC APPLIED.
 TO HAVE A 1" BLACK TRIM CAP ADDED.
 INTERIOR ILLUMINATION OF G.E. WHITE MINI MAX L.E.D. MODULES W/ POWER SUPPLY
 EXTERIOR TO BE PRECOAT MATTE BLACK INTERIOR WHITE.

"RED LOBSTER"
 "RED LOBSTER" OF CHANNEL LETTER CONSTRUCTION TO BE ATTACHED TO CABINET FACE.
 FACE OF #2447 WHITE .177 ACRYLIC.
 TO HAVE A 1" BLACK TRIM CAP ADDED.
 INTERIOR ILLUMINATION OF G.E. (MINI MAX WHITE L.E.D.'s) MODULES W/ POWER SUPPLY
 EXTERIOR TO BE PRECOAT MATTE BLACK INTERIOR WHITE.

ALL WEEPHOLES TO HAVE LIGHT COVERS TO BLOCK ANY LIGHT

"FRESH FISH - LIVE LOBSTER."
 "FRESH FISH - LIVE LOBSTER"
 PILL BOX STYLE CABINET 4" DEEP TO BE ATTACHED TO CABINET FACE.
 RETURN OF: .063 ALUM, & FACE TO BE OF .125 ALUM COPY IS ROUTED OUT AND BACKED W/ #2447 WHITE .177 ACRYLIC THIS CABINET TO HAVE PERMANENT ATTACHMENT TO FACE W/ ACCESS FROM BEHIND SIGN FACE.
 ILLUMINATION W/ GE WHITE MINI MAX L.E.D.'s. W/ POWER SUPPLIES.
 EXTERIOR PAINT TO MATCH PRECOAT MATTE BLACK INTERIOR WHITE.

NO BAFFLES IN ANY OF THE LETTERS.



OPENING IN BRICK WALL FOR THE "RL-W35-FE"

SCOPE OF WORK:
 OPENING IN WALL TO BE 1" LARGER
 "VERTICALLY AND HORIZONTALLY
 THAN THE CABINET DIMENSIONS.

SCALE: N.T.S.

CUSTOMER TO PROVIDE:
 (For New / Remodel Construction) ADEQUATE BEHIND THE WALL BACKING AND ACCESS AS REQUIRED TO INSTALL SIGNAGE. CUSTOMER TO FORWARD COPY OF FINAL APPROVED SIGNAGE DRAWINGS TO BUILDING SITE CONTACT SO THAT THESE PROVISIONS CAN BE MADE DURING CONSTRUCTION AND PRIOR TO SIGN INSTALLATION.

ALL BRANCH (PRIMARY ELECTRICAL SERVICE) CIRCUITS & FINAL CONNECTION TO EACH SIGN (WITHIN 5 FT.) TO BE BY CERTIFIED ELECTRICIAN:

- A. All branch circuits for signs must be totally dedicated to signs (including dedicated ground and dedicated neutral per circuit).
- B. Sign circuits must not be shared with other loads such as lighting, air conditioning, and other equipment.
- C. Properly sized ground wire that can be traced back to the breaker panel must be provided.
- D. Number and size of circuits for each sign to meet Federal Heath Sign's requirement.

Any deviation from the above recommendations may result in:

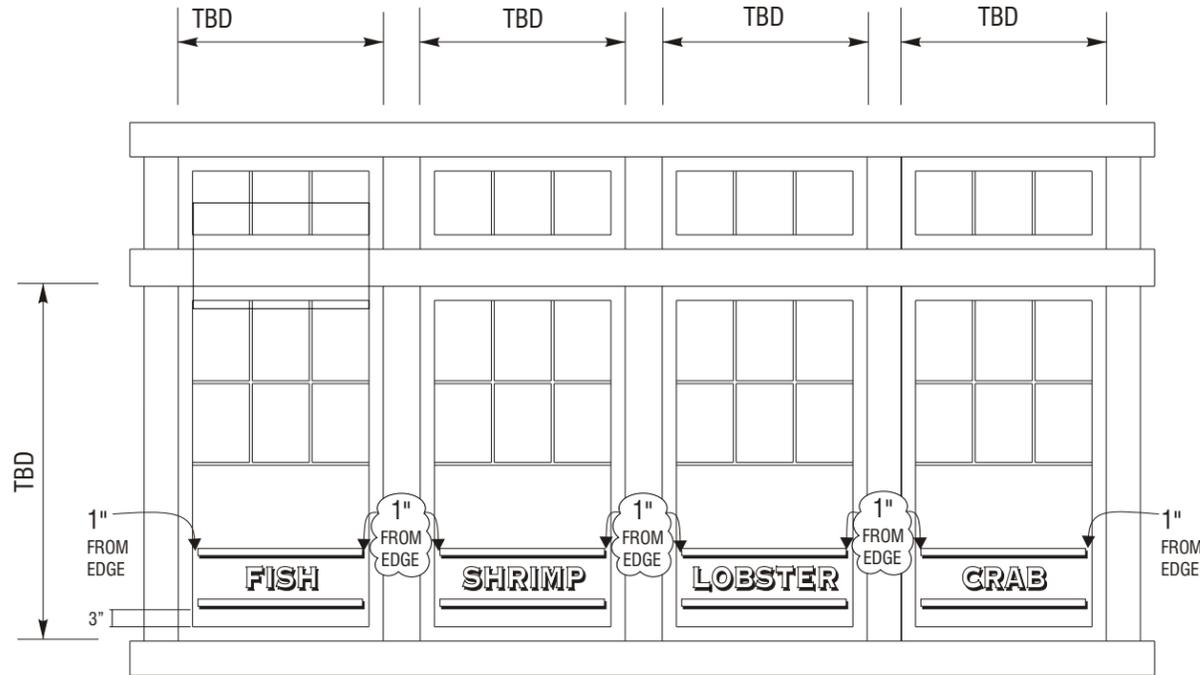
1. Damage to or improper operation of the sign(s).
2. Delays and additional costs.

Notes:

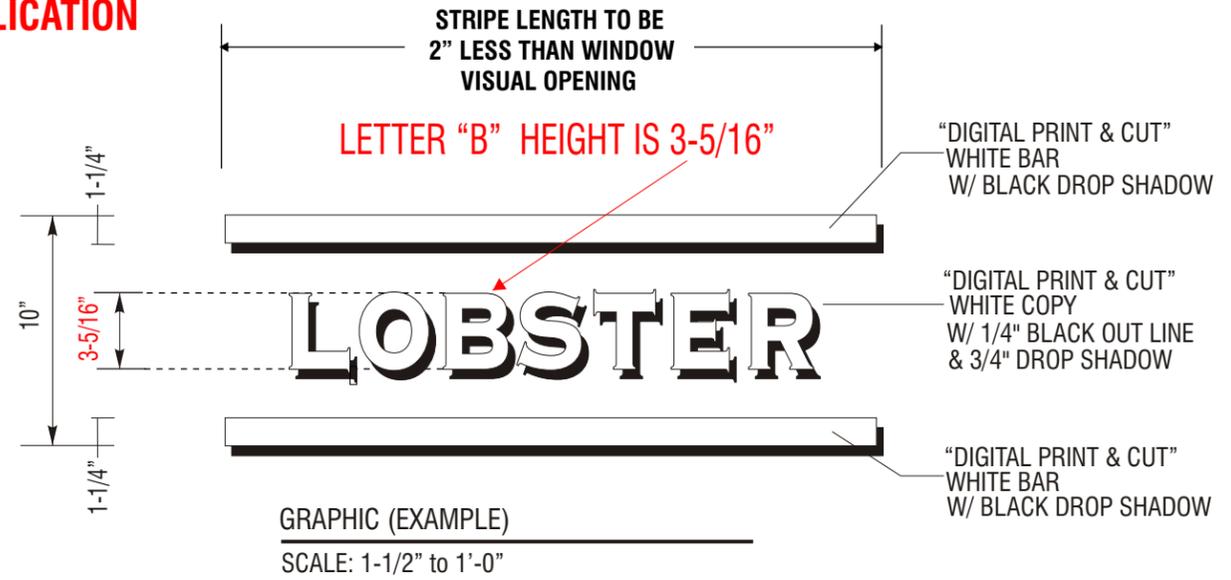
- ⊕ Certain electrical components of signs will fail prematurely if signs are not shut-off for a period of time, once, each day. For best performance, we recommend signs to be connected to an automatic controlling device such as an Energy Management System, Time Clock or Photo Cell that will automatically shut-off the sign for a period of time, each day. Failure to do so will cause damage to the electrical components of the sign and will void the warranty.
- ⊕ Some dimming devices will also adversely affect sign electrical components, causing failure. Any dimming of the sign without consultation with Federal Heath Sign Co. will void the warranty.

INSTALLER IS RESPONSIBLE FOR:

- PROVIDING AND INSTALLING ALL COMPONENTS REQUIRED TO RUN SECONDARY WIRING (CONNECTORS, GTO CONDUIT, ETC.) TO BE DETERMINED BY LOCAL CODE AND SITE CONDITIONS.
- PROVIDING ALL NEEDED INSTALLATION HARDWARE AS DETERMINED BY LOCAL CODE AND SITE CONDITIONS.
- SEALING BUILDING PENETRATIONS WITH SILICONE TO PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS.



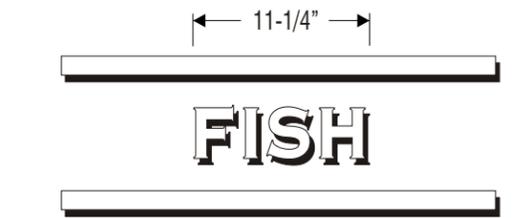
ALL VINYLs TO BE FIRST SURFACE APPLICATION



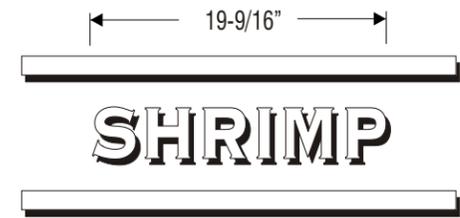
RL-SIG-WINDOW GRAPHICS

SCALE: 3/8" to 1'-0"

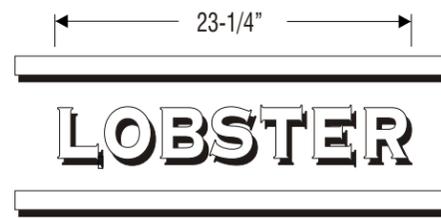
2.28 TOTAL SQ. FT.



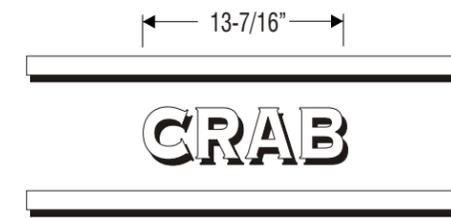
E1 GRAPHIC
0.27 SQ. FT. SCALE: 1" to 1'-0"



E2 GRAPHIC
0.52 SQ. FT. SCALE: 1" to 1'-0"



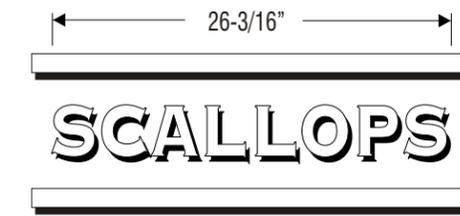
E3 GRAPHIC
SCALE: 1" to 1'-0"



E4 GRAPHIC
0.34 SQ. FT. SCALE: 1" to 1'-0"



E5 GRAPHIC
0.72 SQ. FT. SCALE: 1" to 1'-0"



E6 GRAPHIC
0.74 SQ. FT. SCALE: 1" to 1'-0"



E7 GRAPHIC
0.65 SQ. FT. SCALE: 1" to 1'-0"

QUANTITY:	
FISH:	(5) REQUIRED
SHRIMP:	(5) REQUIRED
LOBSTER:	(4) REQUIRED
CRAB:	(4) REQUIRED
CHOWDER:	(4) REQUIRED
SCALLOPS:	(4) REQUIRED
SEAFOOD:	(4) REQUIRED



RED LOBSTER YARDARM FLAG POLE

Nautical Item #'s:

Flags

State Flag (3'x5')	FL101
Washington (3'x5')	FL102
Oregon (3'x5')	FL103
Red Lobster (3'x5')	FL104
USA Flag (4'x6')	FL105

Poles

27' Standard Pole	FL200
140MPH Flag Pole	FL500

NAUTICAL FURNISHINGS INC.



Customer Service Contact:

Charlene Manzano
Phone: 954-771-1100

nauticalinc@bellsouth.net

Model SECP 25-Y

**NOTE; THIS POLE TO RESIST
140 MPH INCLUDING GUST FACTOR**

5" - 14 gauge spun aluminum ball
gold anodized

Single sheave truck, cast aluminum
revolving, non-fouling type

2 Bronze swivel snaps with covers
per halyard

3 Sets of halyard: #8 poly

6'-6" Yardarm

2" ends

3-1/2" center

Tapered portion: 11'-0"

Overall length: 28'-0"

3 - 9" Cast aluminum cleat

Straight portion: 16'-0"

Pole length: 27'-0"

Aluminum flash collar

3000 PSI concrete

Hardwood wedges
(supplied by others)

Cleat height: 5'-0"

Dry sand tightly tamped
after aligning pole

Foundation: 3'-6"

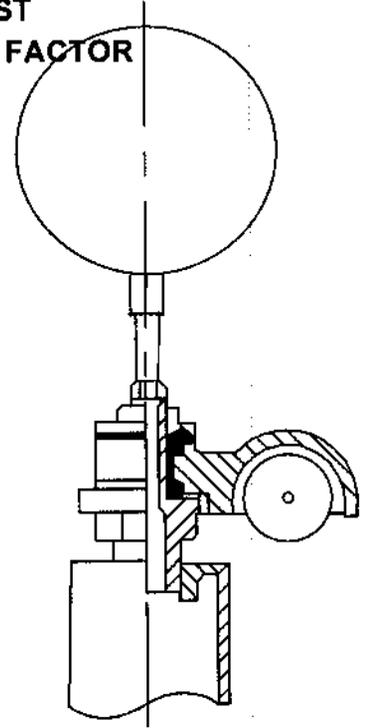
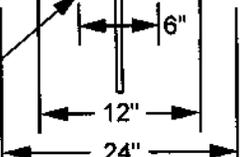
3'-0"

Foundation sleeve - 16 ga
hot dip galvanized steel

Steel centering wedges

1/4" Steel base plate

1/4" Steel support plate
welded to grounding spike



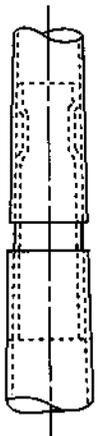
Truck Detail

Aluminum body
Stainless steel ball bearings
Aluminum sheave
Cast aluminum spindle

All shafts with overall
length of more than
38'-6" are shipped in
two sections.

Each section matched
marked for field assembly.
Exposed portion of jam
sleeve must be well
lubricated prior to
assembly.

1-1/2" maximum shop
gap allowed for field
fitting (ram for tight joint)



Project:	Ground set tapered aluminum flagpole: ALLOY: 6063T6	EDER FLAG	Date:
Location:	Exposed height: 25'-0" Overall height: 28'-0"	MANUFACTURING COMPANY	Revision:
Architect:	Ship in 1 sections Butt diameter: 6"	1000 W. Rawson Avenue	
Contractor:	Top diameter: 3-1/2" Wall thickness: .188"	Oak Creek, WI 53154	
Customer:	Finish: 100 grit polish WHITE POWDER COATED		Job: