



## MILPITAS PLANNING COMMISSION AGENDA REPORT

Meeting Date: July 25, 2012

### **PUBLIC HEARING**

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**APPLICATION:** **Conditional Use Permit No. UP12-0014, Global Village Montessori School**

**APPLICATION SUMMARY:** A request to operate a 3,663 square foot Montessori preschool center for children and minor modifications for an outdoor play area.

**LOCATION:** 1146 Jacklin Road (APN: 029-09-037)  
**APPLICANT:** Nagamani Yelam, 3767 Kirk Rd. San Jose, CA 95124  
**OWNER:** Jacklin Professional Center LP, P.O. Box AP, Los Altos, CA 94023

**RECOMMENDATION:** **Staff recommends that the Planning Commission: Adopt Resolution No. 12-032 approving the project subject to conditions of approval.**

**PROJECT DATA:**  
 General Plan/ Zoning Designation: Professional/Administrative Office/Commercial Office (CO)  
 Overlay District: Site and Architectural (-S)

**CEQA Determination:** Categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities)

**PLANNER:** Cindy Hom, Assistant Planner

**PJ:** 2832

**ATTACHMENTS:**  
 A. Resolution No. 12-032  
 B. Project Plans  
 C. Project Description

# LOCATION MAP



No scale

**BACKGROUND**

On May 30, 2012, Nagamani Yelam submitted a conditional use permit application to allow for the operations of a 3,663 square foot Montessori preschool center and for minor site modifications allow for a 1,765 square foot outdoor play area. The application is submitted pursuant to the Milpitas Municipal Codes (MMC) XI-10-5.02-1 (7) (Daycare School) which requires Planning Commission review and approval.

**PROJECT DESCRIPTION**

The project site is situated on a 1.11-acre parcel that is developed with a 13,744 square foot single story commercial building and fifty-three (53) parking spaces. The project site is located on Jacklin Road at the southeast quadrant of the Interstate 680 (I-680) and Jacklin Road off-ramp exit. The site is zoned Commercial Office with a Site and Architectural Overlay (CO-S). Neighboring land uses include Golfland (recreation facility) and retail uses to the north, residential homes to the east and south, and I-680 to the west. A vicinity map of the project site is shown on the previous page.

The project proposal is for a renovation of 3,663 square foot tenant space for a Montessori preschool that consists of approximately 2,847 square feet of classroom space, 341 square feet of office space, and 1,765 square foot outdoor play area. The proposed Montessori school will provide capacity for sixty-nine (69) preschool children (between the ages of 2-6 years of age) and seven (7) staff members. The proposed preschool would operate Monday through Friday between the hours of 7:00AM to 6:00PM.

***Outdoor Play Area***

State Law requires 75 square feet of outdoor play area per child for child care facilities. The outdoor play area exists at the rear of the building and is improved with a combination of grass and tan bark surfaces with various play equipment, sand box and bench seating. The applicant proposed a chain-link gate for the outdoor play area. However, staff recommends as a condition of approval that the applicant install a solid wooden fence gate that would be more aesthetic and compatible style and materials of the building.

Currently there are two existing Eucalyptus trees that are located in the proposed outdoor play area. Although these trees provide natural shade, the trunk is a rough surface which can cause injury to small children. As such staff recommends as a condition of approval that the applicant install a protective covering over the tree trunk to prevent potential injuries that may occur from children playing around or near the trees.

***Floor Plan***

The project proposes an open floor plan that consists of a 2,847 square foot classroom area, approximately 341 square feet office area, a 160 square foot staff break room, and the remainder of the space will be used for restroom facilities and corridor space.

***Development Standards***

The project proposes no exterior changes to the building and maintains the existing building setbacks floor area coverage, and height.

***Parking***

The project site includes fifty-three (53) parking spaces. The required parking for child care uses includes parking for employees (instructors and administrative staff) and accounts for drop off and pick up of students. It is not anticipated that parents will park longer than five to seven minutes. Based on the zoning code, the proposed use requires a total of sixteen (16) parking spaces. There are two vacant spaces in the building and it is anticipated that offices would occupy those spaces. Based on existing and proposed uses of the building, the project site complies with the Milpitas parking requirements and the center has two (2) surplus spaces as demonstrated in Table 2 below:

**Table 1**  
**Parking Summary**

<b>Suite</b>	<b>Tenant Use</b>	<b>Square Feet or # of people</b>	<b>Req. Parking Ratio</b>	<b>Required Parking</b>
1128 Jacklin	Wing Leaning Education Center (tutoring center)	3,198	1/500	6
1134	Office	136	1/240	1
1136	Office	2,170	1/240	9
1142	Dental Office	1,327	1/225	6
<b>1146</b>	<b><i>Proposed Montessori</i></b>	<b>3,663</b>		
	<b><i>Classroom</i></b>	<b>2,847</b>	<b>1/500</b>	<b>6</b>
	<b><i>Office</i></b>	<b>341</b>	<b>1/240</b>	<b>1</b>
	<b><i>Loading/Unloading</i></b>	<b>69</b>	<b>1/6 children; up to 5 spaces and thereafter 1/10 children</b>	<b>9</b>
				<b>16</b>
1156	Vacant	1,697	1/240	7
1158	Vacant	1,553	1/240	6
<b>Total Parking Required</b>				<b>51</b>
<b>Total Parking Provided</b>				<b>53</b>

**ADOPTED PLANS AND ORDINANCES CONSISTENCY*****General Plan***

The table below outlines the project's consistency with applicable General Plan Implementing Policies:

**Table 2**  
**General Plan Consistency**

<b>Policy</b>	<b>Consistency Finding</b>
<p>2.a-I-6 <i>Publicize the position of Milpitas as a place to carry on compatible Industrial and Commercial activities with special emphasis directed the advantages of the City's location to both industrial and commercial use.</i></p>	<p><b>Consistent.</b> The project would serve nearby residents as well as support employment centers along the I-680 commute corridor by providing quality child care.</p>
<p>2.aI-7 <i>Provide opportunities to expand employment opportunities in partnerships with local businesses to facilitate communication, and promote business retention</i></p>	<p><b>Consistent.</b> The project would provide employment opportunities and revitalization of the commercial center by replacing a vacancy with a use that would be complementary to existing learning center and office uses within the center.</p>

***Milpitas Child Care Master Plan***

The table below outlines the project's consistency with the goals and implementation policies of the Milpitas Child Care Master Plan dated April 2, 2002.

**Table 3**  
**Milpitas Child Care Master Plan Consistency**

<b>Policy</b>	<b>Consistency Finding</b>
<p><i>Long Range Goal:</i> <i>Every child and family has access to affordable, safe, quality child care</i></p>	<p><b>Consistent.</b> The project proposal is a 3,663 square foot child care facility that accommodates 71 children that serves surrounding multifamily residential developments and single family residential developments within the vicinity.</p>
<p><i>Accessibility Policy 2.2-G-I:</i> <i>The City of Milpitas promotes the retention of existing facilities and the development of new child care facilities within the city limits.</i></p>	<p><b>Consistent.</b> The project promotes new business and employment opportunities.</p>
<p><i>Accessibility Policy 2.2-I-3:</i> <i>The City of Milpitas encourages existing and new facilities to offer a variety of child care types in order to meet specific needs.</i></p>	<p><b>Consistent.</b> The proposed facility targets toddler and preschool age groups.</p>

### ***Zoning Ordinance***

The proposed child care center conforms to the Milpitas Zoning Ordinance in that the use conditionally permitted use in the Commercial Office Zoning district and complies with the development standards and parking requirements. The outdoor play area is located in the back of the building and would not detract from the overall architecture and design of the building.

The proposed use will not be detrimental or injurious to property, improvements, public health, safety and general welfare in that the use will not create a negative impact in terms of traffic, parking, site circulation, and noise. Based on staff's analysis, the project would generate less than 100 Peak hour new trips (55 new AM Peak Hour Trips and 57 PM Peak Hour Trips). Any amount of new trips generated over 100 for a project would require additional analysis. The on-site parking satisfies the required number of parking for all of the uses of the building as mentioned in the parking section of this staff report. To ensure safe drop off and pick up of small children, staff is recommending a condition of approval that requires the applicant to provide standard operating procedures for loading and unloading that will be distributed to staff and parents. The project proposes no changes to the existing site circulation in terms of the location of driveway access, drive aisle widths, and pedestrian pathways.

Moreover, the outdoor play area is conditioned to have a solid wood gate and provide safe play environment with age appropriate play equipment. Although, the project would introduce a new outdoor noise source, the duration would be short and minimal in that there are only two scheduled sessions for outdoor play time that occur in the morning between 11am and 11:30am and in the afternoon between 4pm to 4:30pm. The noise level would not likely exceed the permitted noise level for commercial zone because there is a row of existing mature trees and a masonry concrete wall that would act as a sound barrier when the outdoor play area in use. The closest residence is approximately 60' from the proposed outdoor play area.

### **ENVIRONMENTAL REVIEW**

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt per Section 15301, (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. The project entails the operation of a preschool facility within an existing commercial building and installation of minor structures.

### **PUBLIC COMMENT/OUTREACH**

Staff publicly noticed the application in accordance with City and State law. Public hearing notices were distributed to property owners and residential tenants within a 1'000-foot radius. As of the time of writing this report, there were two comments received. One comment related to the outdoor play area being insufficiently sized. As proposed the square footage meets state licensing requirements. The second comment was received from a neighboring resident. The comment related to concerns about traffic and noise. The project is not likely to create negative traffic impact in that use generates less than 100 Peak hour trips. The project would not generate a constant noise source that would exceed a normally acceptable level of 65 day night noise level (dBLs). This would be considered a relatively quiet use compared to other back of the house operations that can include truck loading areas and/or operation of exterior mechanical equipment (i.e. condensers, compressors, AC units, etc) the can be located behind commercial buildings.

**CONCLUSION**

The applicant proposes to operate a Montessori preschool center in a building that has office and dental office uses. The proposed use is compatible with the uses within the building because complements the nearby residential uses and the existing service oriented businesses within the building. The proposed use will not be detrimental or injurious to property, improvements, public health, safety and general welfare in that the use will not create a negative impact in terms of parking and site circulation. The on-site parking satisfies the required number of parking for all of the uses of the building.

**RECOMMENDATION**

STAFF RECOMMENDS THAT the Planning Commission approve Conditional Use Permit No. 12-0014, Global Village Montessori subject to the attached Resolution and Conditions of Approval.

*Attachments:*

- A. Resolution No. 12-032
- B. Project Plans
- C. Project Description

**RESOLUTION NO. 12-032**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. UP12-0014, GLOBAL VILLAGE MONTESSORI, A REQUEST TO OPERATE A 3,663 SQUARE FOOT MONTESSORI PRESCHOOL AT 1146 JACKLIN ROAD.**

**WHEREAS**, on May 30, 2012, an application was submitted by Nagamani Yelam, 3767 Kirk Rd. San Jose, CA 95124, to allow for operations of a 3,663 square foot Montessori preschool center and minor site modifications for an outdoor play area. The property is located at 1146 Jacklin Road, Milpitas, CA 95035 (APN 29-09-037) within the Commercial Office Zoning District; and

**WHEREAS**, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project is Categorically Exempt from further environmental review; and

**WHEREAS**, July 25, 2012 the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

**NOW THEREFORE**, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

**Section 1:** The recitals set forth above are true and correct and incorporated herein by reference.

**Section 2:** The project is categorically exempt from further environmental review pursuant to Class 1, Section 15301 (Existing Facilities) of the California Environmental Quality Act. The project proposal entails the operations of a Montessori preschool within an existing commercial office building.

**Section 3:** The project is consistent with the Milpitas General Plan implementing policies 2.a-I-6 and 2.aI-7, in that it would serve local residents and nearby job centers. The project would also provide new employment opportunities and revitalize the commercial center by replacing a vacancy with a use that would be complementary to existing restaurant, office, and recreational uses within the center.

**Section 4:** The project is consistent with the Milpitas Childcare Master Plan in that the project enables the development of new child care facility within the city limits and helps close the gap between the supply of quality care facilities in Milpitas and demand for services.

**Section 5:** The project conforms to the Commercial Office District in that the child care centers are conditionally permitted use. The project complies with the development standards in terms of setbacks, height, and is able to satisfy parking requirements with on-site parking.

**Section 6:** As conditioned, the project will not be detrimental or injurious to property, improvements, public health, safety and general welfare in that the proposed complies with municipal code development standards for the building and parking. As conditioned, the outdoor play area will include a security wooden fence and provide safe play environment with age appropriate play equipment.

**Section 7:** The Planning Commission of the City of Milpitas hereby approves Conditional Use Permit No. U912-0014, Global Village Montessori, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

**PASSED AND ADOPTED** at a regular meeting of the Planning Commission of the City of Milpitas on July 25, 2012.

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Chair

**TO WIT:**

**I HEREBY CERTIFY** that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on July 25, 2012, and carried by the following roll call vote:

<b>COMMISSIONER</b>	<b>AYES</b>	<b>NOES</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
<b>Lawrence Ciardella</b>				
<b>John Luk</b>				
<b>Rajeev Madnawat</b>				
<b>Sudhir Mandal</b>				
<b>Zeya Mohsin</b>				
<b>Gurdev Sandhu</b>				
<b>Steve Tao</b>				
<b>Garry Barbadillo</b>				

**CONDITIONS OF APPROVAL**  
**CONDITIONAL USE PERMIT NO. UA12-0006**  
**A request to operate a Montessori preschool with outdoor play area at**  
**1146 Jacklin Rd.**

**General Conditions**

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on July 25, 2012, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. (P)

2. Conditional Use Permit No. UP12-0014 shall become null and void if the project is not commenced within two (2) years from the date of approval. Pursuant to Section 64.06(B) of the Zoning Ordinance of the City of Milpitas:
  - a. Completes a foundation associated with the project; or
  - b. Dedicates any land or easement as required from the zoning action; or
  - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
3. Pursuant to Section 64.06(1), the owner or designee shall have the right to request an extension of Conditional Use Permit No. UP12-0014 if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. (P)
4. The project shall be operated in accordance with all local, state and federal regulations. (P)
5. Private Job Account - If at the time of application for building permit there is a project job account balance due to the City for recovery of review fees, review of permits will not be initiated until the balance is paid in full. (P)

**Conditional Use Permit**

6. Approved hours of operation is between the hours of 7:00AM to 6:00PM, Monday through Friday. (P)

7. To ensure safe and orderly pick up and drop off of small children, the child care operator shall incorporate the following measures:
  - a. Parents should be directed to park only in designated parking areas when dropping off and picking up children.
  - b. The proposed child care center should prepare and distribute to each parent instructions on dropping off and pick up procedures. (P)
8. Applicant shall utilize non-toxic and age appropriate play equipment and plant materials. (P)
9. Prior to building permit issuance, the applicant shall provide elevations and details for a solid wooden fencing and gate that would complement the style and materials of the building. (P)
10. Prior to building permit issuance, the applicant shall submit details and specification for a protective covering over the tree trunk to prevent potential injuries that may occur from children playing around or near the trees. (P)
11. The proposed playground shall conform to the playground-related standards set forth by the American Society for Testing and Materials and the playground-related guidelines set forth by the United States Consumer Product Safety Commission. (E)
12. Prior to occupancy/final permit issuance for the playground area developer shall have a playground safety inspector, certified by the National Playground Safety Institute, conduct an initial inspection for the purpose of aiding compliance with the playground safety requirements. (E)
13. It is the responsibility of the developer to obtain any necessary encroachment permits from all affected agencies and private parties. Copies of approvals or permits must be submitted to the City of Milpitas Engineering Division. (E)

(P) = Planning  
(E) = Engineering



**SITE CODE ANALYSIS**

**SITE PLAN DATA**

ZONING: COMMERCIAL OFFICE  
 EXISTING USE: PROFESSIONAL OFFICE  
 PROPOSED USE: CHILD CARE CENTER  
 BUILDING OCCUPANCY GROUP: B  
 TENANT IMPROVEMENT GROUP: E  
 BUILDING FLOOR AREA: 13,744 SQ. FT.  
 TENANT IMPROVEMENT AREA: 3,663 SQ. FT.  
 EXISTING PARKING SPACES: 53 (E) PARKING SPACES  
 EXISTING ACCESSIBLE PARKING SPACES: 2 (E) VAN ACCESSIBLE SPACES  
 PARKING SPACES PROVIDED: 53 PARKING SPACES  
 ACCESSIBLE PARKING SPACES PROVIDED: 2 (E) VAN ACCESSIBLE SPACES - NO INCREASE IN PARKING SPACES  
 STORIES: 1 STORY

**REQUIRED PARKING CALCULATION**

PARKING RATIO:	CHILD CARE	1 SPACE / 6 STUDENTS UP TO 5 SPACES, THERE AFTER 1 / 10 STUDENTS
	OFFICE / BUSINESS	1 SPACE / 15 EMPLOYEES 1 SPACE / 200 SF
EXISTING PARKING:	1 SPACE/200 SF	3663 SF / 200 SF = 18 SPACES PROVIDED
REQUIRED PARKING FOR PROPOSED DAY CARE:	CHILDREN = 89	11 SPACES
	STAFF = 8	5 SPACES
TOTAL		16 SPACES REQUIRED < 18 EXISTING SPACES = OKAY

**EXISTING BUILDING INFORMATION**

CONSTRUCTION TYPE: VB  
 REQUIRED OCCUPANCY SEPARATION: NONSEPARATED OCCUPANCY - B OFFICE (MOST RESTRICTIVE)  
 FIRE SPRINKLER THROUGHOUT BUILDING?: YES

**ALLOWABLE FLOOR AREA OF NON SEPARATED OCCUPANCY**

TOTAL BUILDING AREA: 13,744 SF

ALLOWABLE FLOOR AREA (2010 CBC TABLE 503): 9,000 SF  
 ALLOWABLE BUILDING AREA WITH INCREASES = 39,645 SF  
 13,744 SF < 39,645 SF = OKAY

**SITE EXITING ANALYSIS:**

PLAY AREA OCCUPANCY  
 PLAY AREA = 1,656 S.F.  
 50 S.F. / OCC. AT PLAY AREA = 33 OCC.  
 BUILDING OCCUPANCY  
 OCCUPANCY EXITING LOAD = 97 OCC.  
 SEE SHEET CA2.1 FOR BUILDING OCCUPANCY LOADS.



5865 Owens Drive  
 Pleasanton, CA 94588  
 925-251-7200

**GLOBAL VILLAGE MONTESSORI**

**SITE PLAN NOTES**

- SEE SHEET CA2.0 FOR BUILDING OCCUPANCY INFORMATION.
- SEE SHEET A2.1 PLAY AREA INFORMATION NOT SHOWN.

**SITE PLAN SYMBOLS**

- ACCESSIBILITY NOTES, SEE BELOW
- OCCUPANCY EXITING LOAD (ARROW INDICATES DIRECTION OF TRAVEL)
- SPACE OF PROPOSED WORK
- LANDSCAPED AREA

**SITE ACCESSIBILITY NOTES:**

- ACCESSIBLE ROUTE OF TRAVEL (CBC 114B.1.2) SEE NOTE 2, 3 AND 4/CA3.1
- MAIN BUILDING ENTRY WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY, SEE NOTES 8, 9, 10 AND 1/CA3.1
- NOT USED
- ACCESSIBLE SITE ENTRANCE SIGNAGE, SEE NOTE 1/CA3.1
- EXISTING ACCESSIBLE VAN PARKING STALL WITH ACCESSIBLE SIGNAGE
- EXISTING ACCESSIBLE VAN PARKING STALL IDENTIFICATION, SEE NOTE 6/CA3.1 AND S.C.D.
- NOT USED
- EXISTING ACCESSIBLE PASSENGER LOADING ZONE - ADD TRUNCATED DOMES, AND WARNING STRIPES AS REQUIRED, SEE NOTE 6 AND 7/CA3.1 AND S.C.D.
- ACCESSIBLE PEDESTRIAN ROUTE FROM PUBLIC WAY SEE 4/CA3.1
- ACCESSIBLE RESTROOMS, SEE NOTES 25, 26, 27 AND 2A/CA3.1
- EXISTING COMPACT STALL WITH REQUIRED SIGNAGE
- EXISTING 20' WIDE EXIT DISCHARGE AREA



**REVISIONS**

COND. USE PERMIT 05.22.12 SF

**SITE CODE ANALYSIS**

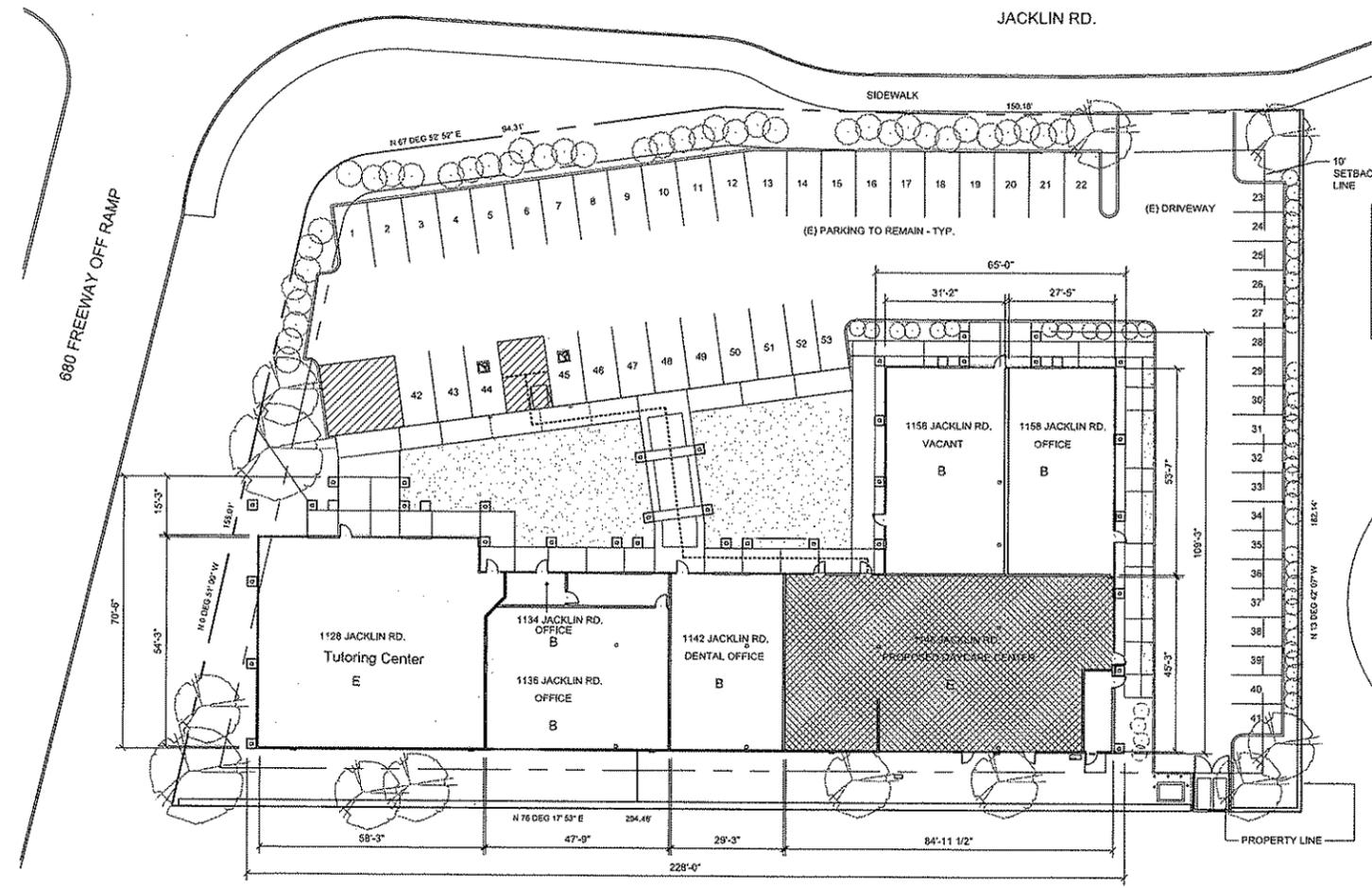
JOB NO. 1109.001 SHEET

DRAWN SF

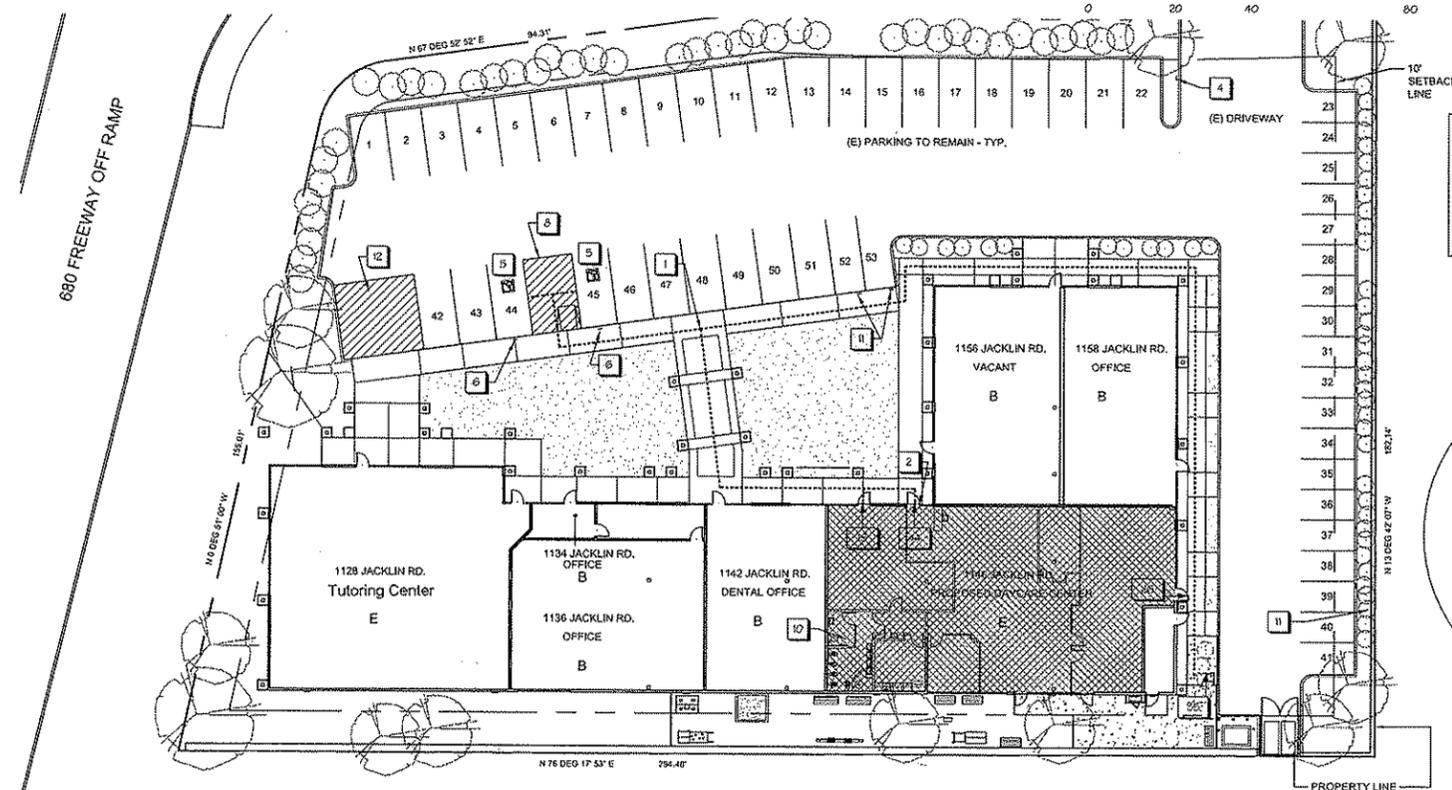
CHECK RV

DATE 05.22.12

**CA1.0**



**EXISTING SITE PLAN**



**PROPOSED SITE PLAN**

**BUILDING CODE ANALYSIS**

EXITING INFORMATION

FLOOR AREA	3,663 SF
OCCUPANCY TYPE	E- DAY CARE
OCCUPANCY LOAD - TOTAL	97 OCCUPANTS
NUMBER OF EXITS	3
EXIT DISTANCE	
MAXIMUM AT BUILDING	60'-0" < 250'-0" OKAY
MAXIMUM AT PLAY YARD	144'-3" < 250'-0" OKAY

OCCUPANT LOAD CALCULATION FOR PLUMBING FIXTURES

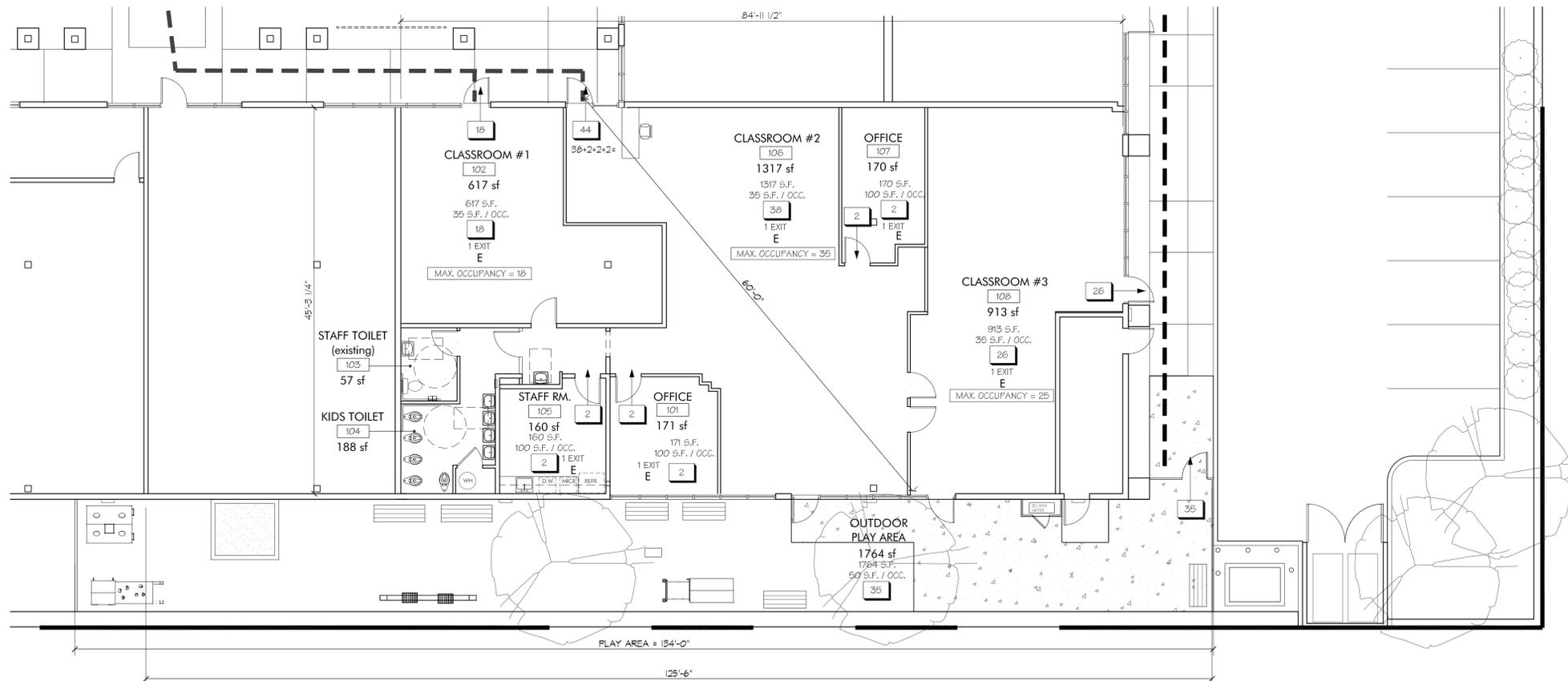
OCCUPANCY TYPE (2010 CBC SECTION 305)	OCCUPANCY LOAD FACTOR (2010 CBC TABLE 1004.1.1)	TOTAL AREA SF	OCCUPANT LOAD TOTAL
E - EDUCATIONAL GROUP (MOST RESTRICTIVE)	35	3,418 SF	97

DSS REQUIREMENTS

CATEGORY	REQUIREMENT	CODE REQUIREMENT	OCCUPANCY ALLOWED PER CBC	MAX. OCCUPANCY LIMIT POSTED
STAFF / CHILD RATIO:	1 STAFF / 12 CHILDREN MIN.	NONE	TOTAL OCCUPANCY = 97 STAFF = 8 CHILDREN = 89	MAXIMUM TOTAL OCCUPANCY = 78 STAFF = 7 CHILDREN = 71
INDOOR ACTIVITY SPACE REQUIREMENT	35 SQ. FT. / CHILD	35 SF/OCCUPANT	CLASSROOM #1 = 18 CLASSROOM #2 = 38 CLASSROOM #3 = 26	CLASSROOM #1 = 18 (16 CHILDREN + 2 STAFF) CLASSROOM #2 = 35 (32 CHILDREN + 3 STAFF) CLASSROOM #3 = 25 (23 CHILDREN + 2 STAFF)
OUTDOOR ACTIVITY SPACE REQUIREMENT NUMBER OF SHIFTS	75 SQ. FT. / CHILD PER SESSION 3 SHIFTS	50 SF/OCCUPANT	23 CHILDREN/SESSION	MAX. OCCUPANCY = 25 (23 CHILDREN + 2 STAFF)

PLUMBING FIXTURES CALCULATION

OCCUPANCY TYPE	OCCUPANT	W/C REQUIRED	W/C PROVIDED	URINAL REQUIRED	URINAL PROVIDED	LAVATORY REQUIRED	LAVATORY PROVIDED
STAFF	7	7/20 = 1	1	0	0	7/35 = 1	1
STUDENT	71	71/15 = 5	5	0	0	71/15 = 5	5
TOTAL	78	6	6	0	0	6	6



**EXITING & OCCUPANCY PLAN**

0 8 16 32



5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

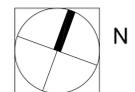
**GLOBAL VILLAGE  
MONTESSORI**

CODE ANALYSIS NOTES

- SEE SHEET CA1.0 FOR SITE EXITING / ACCESS INFORMATION
- ALL ENTRANCES/EXITS AT BUILDING SHALL BE MADE ACCESSIBLE PER CBC CHAPTER 11B
- PROVIDE TACTILE EXIT SIGNS NEXT TO ALL EXIT DOORS - TO BE MOUNTED AT +60" A.F.F.  
SIGNAGE AT FRONT AND SIDE EXIT DOORS TO READ "EXIT"  
SIGNAGE AT ALL OTHER LOCATIONS TO READ "EXIT ROUTE"
- (E) SMOKE DETECTORS TO REMAIN
- EXIT SIGNS SHALL PROVIDE EMERGENCY DOWN LIGHTING WITH A MIN. OF 1 FT. CANDLE ALONG EXIT PATH. PROVIDE ADDITIONAL EMERGENCY LIGHTING IF NECESSARY.

CODE ANALYSIS SYMBOLS

15 → OCCUPANCY EXITING LOAD (ARROW INDICATES DIRECTION OF TRAVEL)



**REVISIONS**

COND. USE PERMIT 05.22.12 SF

**BUILDING CODE ANALYSIS  
EXITING AND  
OCCUPANCY PLAN**

JOB NO. 1109.001 SHEET

DRAWN SF

CHECK RV

DATE 05.22.12

**CA2.0**

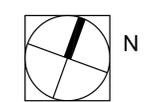


5865 Owens Drive  
Pleasanton, CA 94588  
925-251-7200

# GLOBAL VILLAGE MONTESSORI

## GENERAL PLAN NOTES

- ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 6" x 20 GA. GALV. METAL STUDS AT 16" O.C. MIN. (U.O.N.). ALL STUD, GAUGE, SIZE AND SPACING SHALL COMPLY WITH THE COLD FORMED STEEL DESIGN MANUAL.
- WALL HEIGHTS TYPICAL FROM FLOOR TO ROOF FRAMING EXCEPT WHERE INDICATED.
- ALL ANGLED WALLS (OTHER THAN 90 DEG.) SHALL BE 45 DEG. (U.O.N.)
- TYPICAL INTERIOR WALL 5/8" GYP. BD. TYPE 'X' (U.O.N.), BY GEORGIA PACIFIC, UNITED STATES GYPSUM OR ARCHITECT APPROVED EQUAL.
- CONTINUOUS 6 x 16 GA. STRAP BACKING IS ACCEPTABLE. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHEREVER REQUIRED.
- ALL EXPOSED GYPSUM BOARD EDGES TO HAVE METAL EDGE TRIM. ALL GYPSUM BOARD WALLS AND SOFFITS TO BE FINISHED AS FOLLOWS:
  - LEVEL 2 WHERE PANELS FORM SUBSTRATES FOR CERAMIC TILE/FRP AND WHERE INDICATED.
  - LEVEL 4 FOR GYPSUM BOARD SURFACES RECEIVING WALL COVERINGS.
  - LEVEL 5 FOR ALL EXPOSED GYPSUM BOARD SURFACES RECEIVING TEXTURE AND PAINT.
- CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AFFECTED AREAS IN A CLEAN AND AN ORDERLY MANNER READY FOR MOVE IN.
- ALL INTERIOR WALLS SHALL RECEIVE SOUND BATT INSULATION, TYP.
- ALL GYPSUM BOARD PERIMETERS, VERTICAL JOINTS, CUTOUTS, OUTLETS AND OTHER PENETRATIONS, SHALL BE COMPLETELY CAULKED WITH NON-HARDENING, PERMANENT, RESILIENT ACOUSTICAL SEALANT.
- ALL DOORS OPENINGS SHALL BE 4" FROM ADJACENT WALL FRAMING, TYP. U.O.N.
- ALL NEW DOORS TO MATCH (E) DOORS - VERIFY WITH OWNER.
- ALL DOOR HARDWARE TO BE VERIFIED BY OWNER.
- ALL NEW STOREFRONT DOORS SHALL BE TEMPERED.
- ALL NEW WALLS TO BE PAINTED TO MATCH EXISTING - VERIFY COLORS WITH OWNER.
- (E) HVAC SYSTEM TO REMAIN.
- (E) CONVENIENCE OUTLETS ARE TO BE REPLACED WITH CHILD PROOF OUTLETS MOUNTED +15" A.F.F. TYP.
- PROVIDE ADA UNISEX SYMBOL ON EA. RESTROOM DOOR AND ON THE WALL TO THE SIDE OF EA. RESTROOM DOOR. SIGNS TO BE MOUNTED AT +60" A.F.F. MAX TO CENTER OF SIGN. SIGN DIMENSIONS AND TEXT MUST COMPLY WITH 2010 CBC SECTION 117B.5
- TOILET ROOMS SHALL HAVE A MINIMUM EXHAUST OF 50 CFM/TOILET.
- OWNER SHALL PROVIDE WALL MOUNTED INTERIOR SIGNAGE ILLUSTRATING FIRE PLAN W/ SECURITY CAMERAS, BURGLAR ALARMS, AND FIRE ALARM LOCATIONS



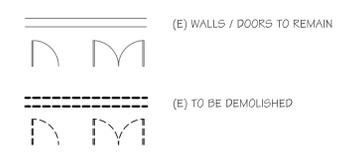
## REVISIONS

COND.	USE PERMIT	DATE	BY
		05.22.12	SF

## DEMOLITION FLOOR PLAN PROPOSED FLOOR PLAN

**JOB NO. 1109.001 SHEET**  
**DRAWN SF**  
**CHECK RV**  
**DATE 05.22.12** **A2.1**

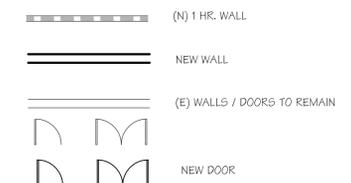
## EXISTING / DEMO PLAN LEGEND



## EXISTING / DEMOLITION FLOOR PLAN KEYNOTES

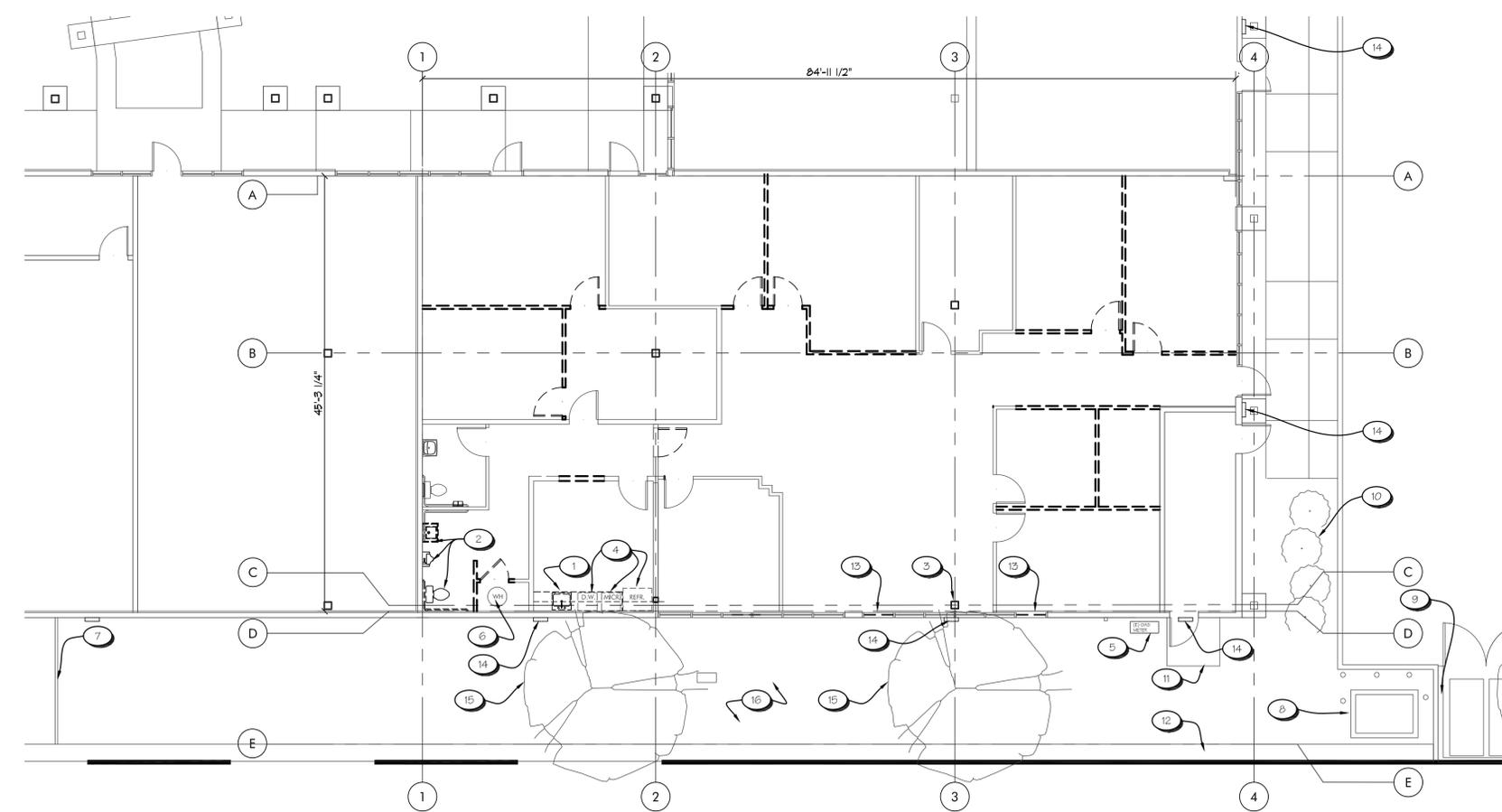
- 1 (E) COUNTER, SINK AND CABINETS TO BE REMOVED
- 2 EXISTING TOILET, SINK AND URINAL TO BE REMOVED.
- 3 (E) COLUMN - TYP.
- 4 (E) REFRIGERATOR AND MICROWAVE - TO BE REMOVED AND SAVED FOR REUSE.
- 5 (E) GAS METER - TO REMAIN
- 6 (E) WATER HEATER - TO REMAIN
- 7 (E) 6'-0" TALL CHAIN LINK FENCE - TO REMAIN
- 8 (E) TRANSFORMER AND BOLLARDS - TO REMAIN
- 9 (E) TRASH ENCLOSURE - TO REMAIN
- 10 (E) BUSHES - TO BE REMOVED
- 11 (E) CONCRETE LANDING
- 12 (E) 10'-0" HIGH FLUTED CMU SCREEN WALL
- 13 (E) STOREFRONT GLAZING TO BE REMOVED AND REPLACED WITH STOREFRONT DOORS TO MATCH (E) STOREFRONT
- 14 (E) EXTERIOR LIGHT ABOVE - TYP.
- 15 (E) EUCALYPTUS TREE - TO REMAIN
- 16 (E) REAR YARD

## EXISTING / DEMO PLAN LEGEND



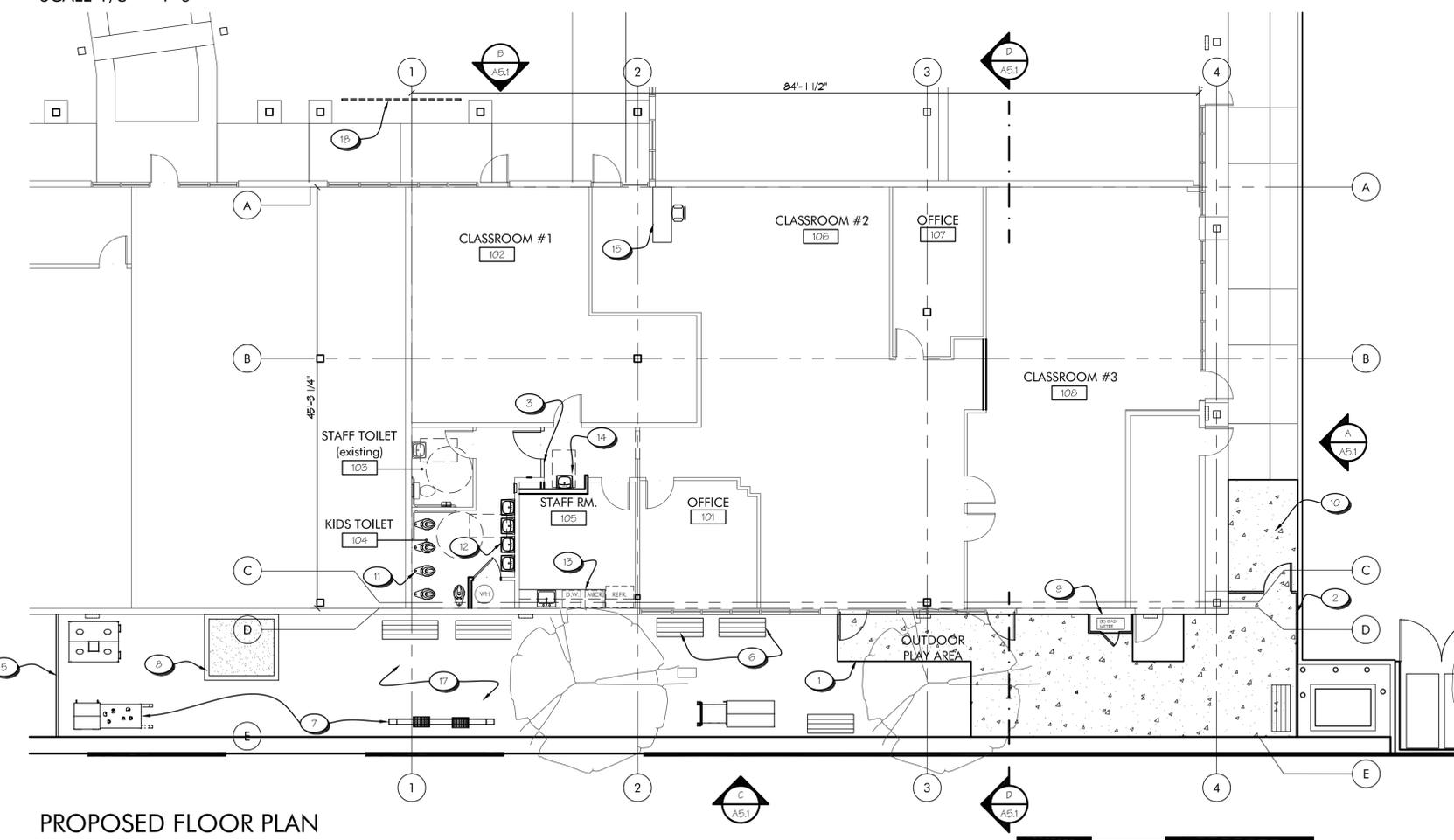
## FLOOR PLAN KEYNOTES

- 1 (N) 6'-0" WIDE CONCRETE PATH AND CONCRETE PLAY SURFACE - TO BE POURED SO THAT TOP OF NEW CONCRETE SLAB IS 1/4" LOWER THAN EXISTING INTERIOR FINISH FLOOR
- 2 (N) 6'-0" HIGH CHAIN LINK FENCE WITH 3'-0" X 6'-0" GATE
- 3 (E) TRANSFORMER - TO REMAIN
- 4 NOT USED
- 5 (E) 6'-0" TALL CHAIN LINK FENCE - TO REMAIN
- 6 (N) BENCH - TYP. OF 6
- 7 (N) PLAY STRUCTURES - TO BE PROVIDED BY OWNER AND ANCHORED BY CONTRACTOR PER MANUFACTURER INSTRUCTION.
- 8 (N) BENCH - 7'-0" X 6'-0" SAND BOX
- 9 (N) +4'-0" CHAIN LINK FENCE ENCLOSURE WITH 2'-0" WIDE GATE TO SURROUND (E) GAS METER.
- 10 (N) CONCRETE WALKWAY - TO CONNECT TO EXISTING WALKWAY
- 11 (N) CHILD SIZE TOILETS - MOUNTED AT +12" A.F.F.; TYP. OF 6
- 12 (N) LAVATORIES - MOUNTED AT +24" A.F.F.; TYP. OF 4
- 13 EXISTING COUNTER, SINK, AND CABINETS TO BE RE-INSTALLED TO MEET ACCESSIBILITY REQUIREMENTS. EXISTING DISHWASHER, REFRIGERATOR AND MICROWAVE TO BE RE-INSTALLED
- 14 (N) LAVATORY - MOUNTED AT +24" A.F.F.
- 15 (N) CHECK-IN DESK - TO BE PROVIDED BY OWNER
- 16 NOT USED
- 17 TAMBARK PLAY AREA - TYP. OF ENTIRE PLAY AREA. UNDO; TAM BARK TO BE FILLED TO WITHIN 1/4" OF (N) CONCRETE PAD ELEVATION
- 18 (N) TENANT SIGN ABOVE



## EXISTING / DEMOLITION FLOOR PLAN

SCALE 1/8" = 1'-0"

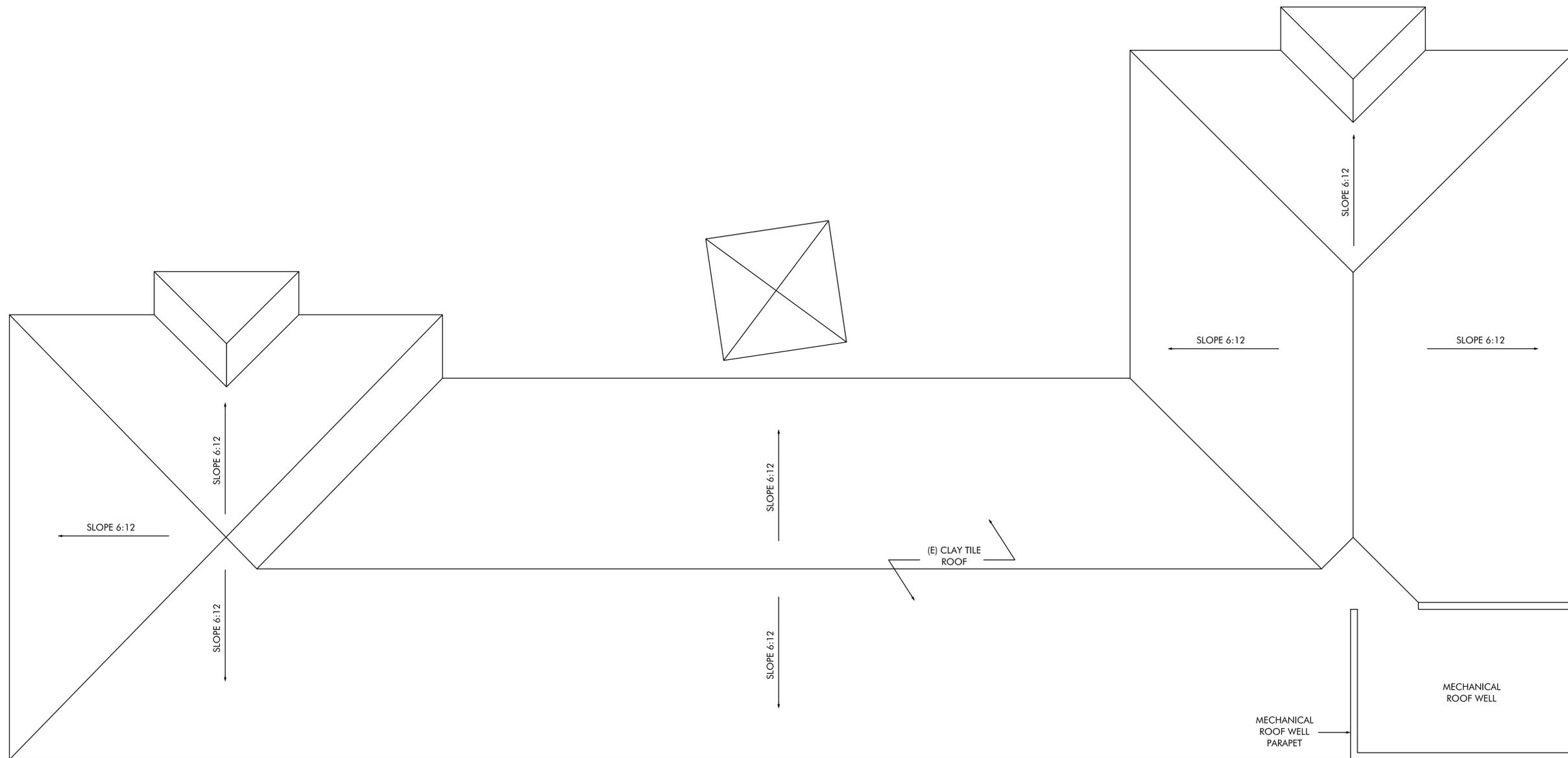


## PROPOSED FLOOR PLAN

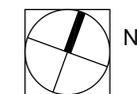
SCALE 1/8" = 1'-0"



**GLOBAL VILLAGE  
MONTESSORI**



EXISTING ROOF PLAN - for reference only



REVISIONS		
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ROOF PLAN

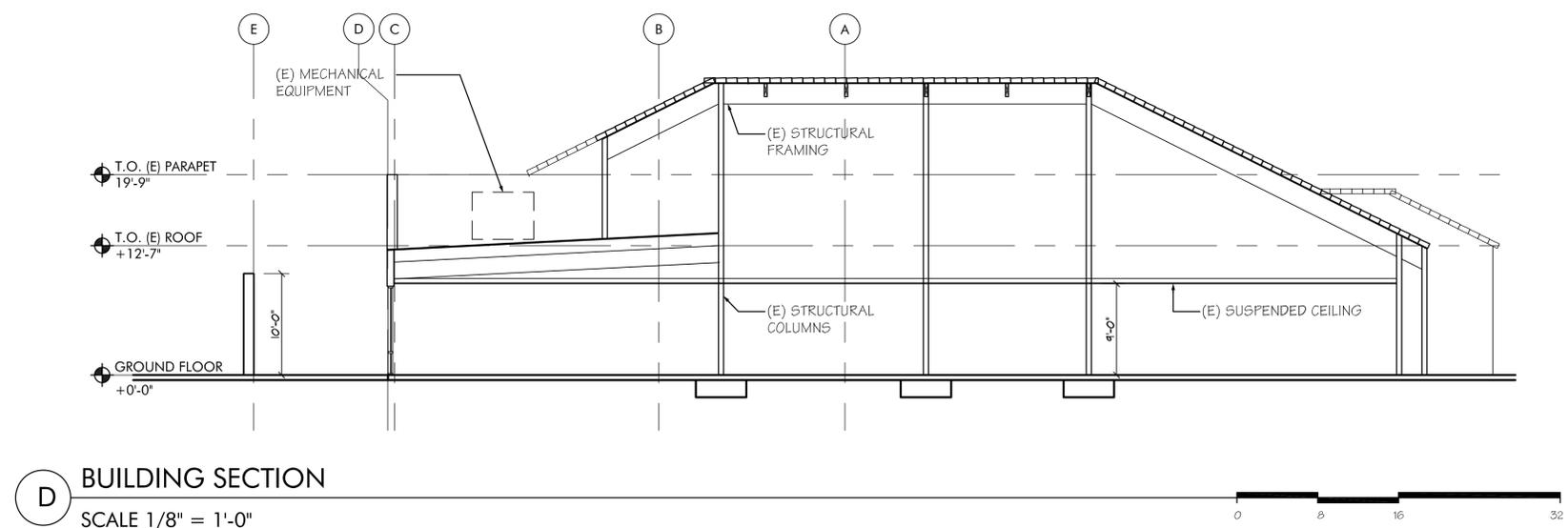
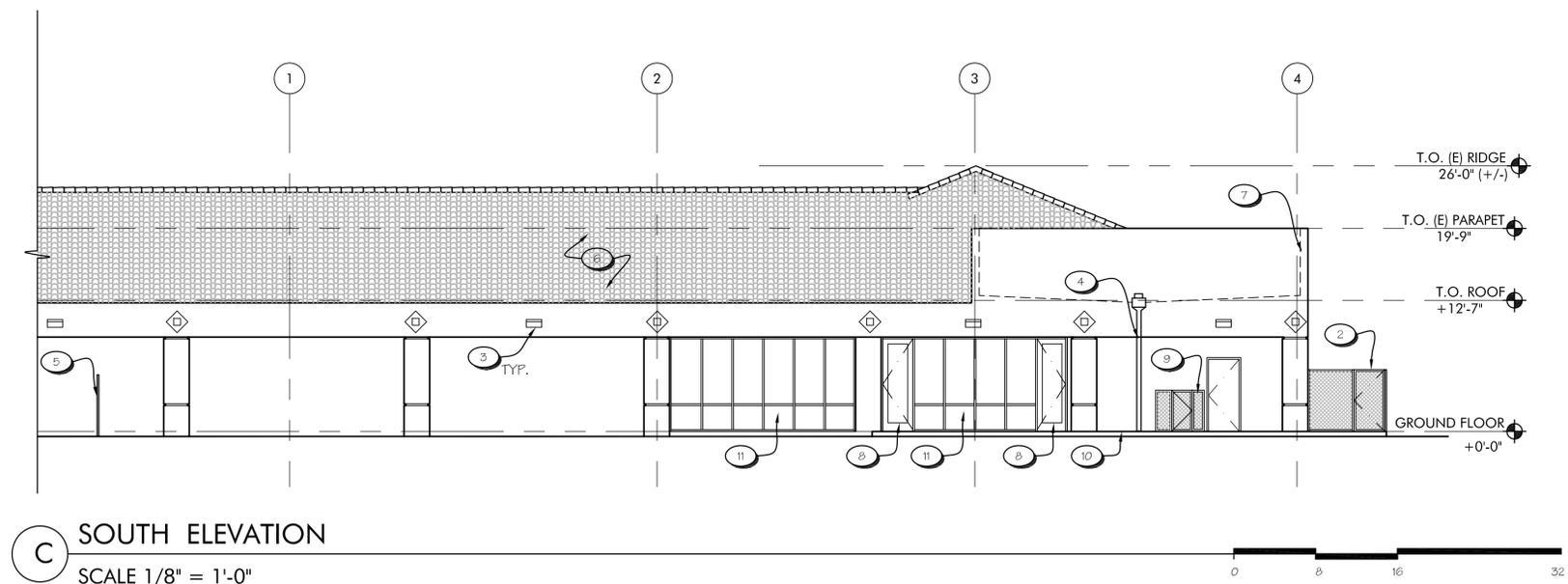
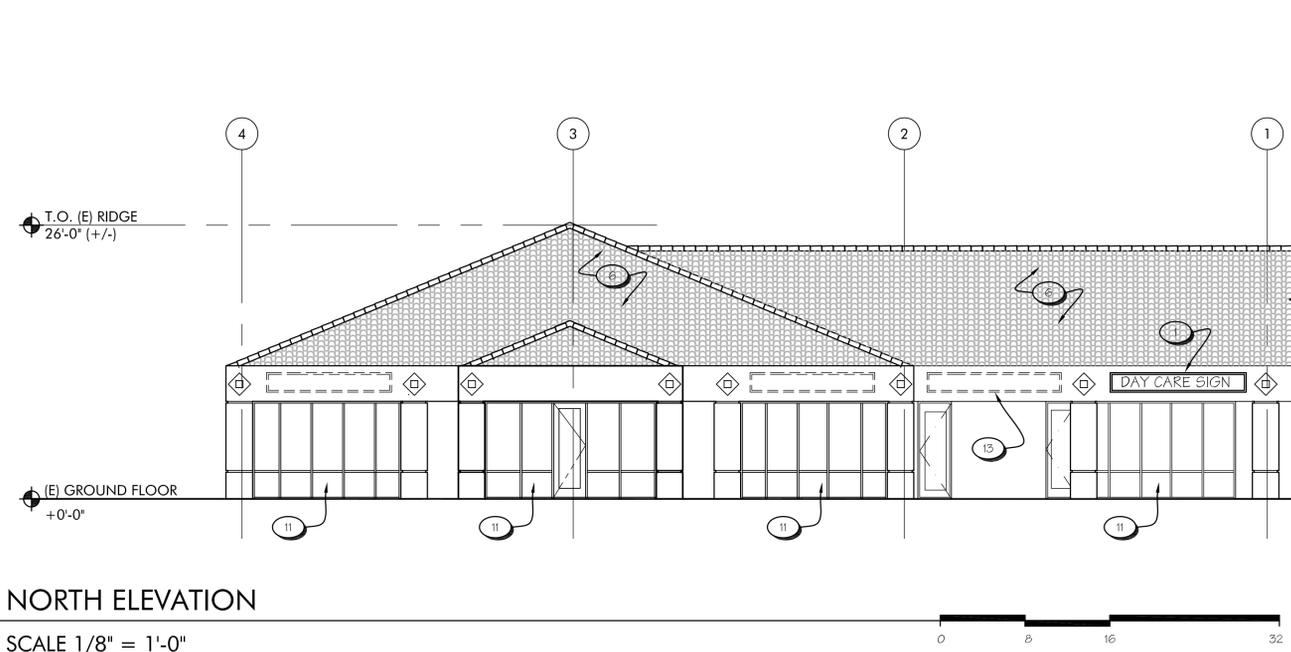
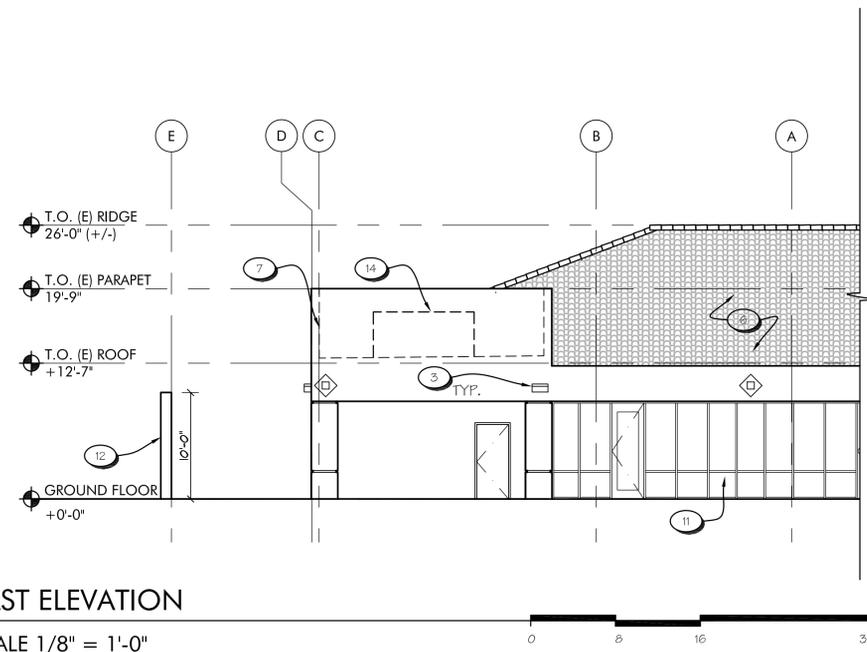
# GLOBAL VILLAGE MONTESSORI

## ELEVATION GENERAL NOTES

- ALL (N) STOREFRONT DOORS TO BE TEMPERED.
- ALL (N) STOREFRONT / STOREFRONT DOORS TO MATCH (E) STOREFRONT

## ELEVATION KEYNOTES

- (N) DAY CARE SIGN - TO ADHERE TO CITY OF MILPITAS MUNICIPAL CODE. SIGNAGE WILL BE SEPARATE SUBMITTAL BY OTHERS
- (N) 6'-0" HIGH CHAIN LINK FENCE WITH 6'-0" GATE
- (E) EXTERIOR WALL MOUNTED LIGHTING - TO REMAIN
- (E) ROOF DRAIN - BOTTOM TO BE CUT 1/2" ABOVE NEW CONCRETE PAD
- (E) 6'-0" TALL FENCE - TO REMAIN
- (E) TILE ROOF - TO REMAIN
- LINE OF (E) MECHANICAL WELL BEYOND. ANY NEW MECHANICAL EQUIPMENT TO BE INSTALLED WITHIN (E) MECHANICAL WELL AND TO BE SCREENED BY PARAPET
- (N) 3'-0" WIDE TEMPERED STOREFRONT DOORS - TO MATCH (E) STOREFRONT. SEE OWNER FOR HARDWARE.
- (N) +4'-0" CHAIN LINK FENCE ENCLOSURE WITH 2'-0" GATE TO SURROUND (E) GAS METER.
- (N) CONCRETE SLAB - TO BE POURED AT 1/2" BELOW (E) INTERIOR F.F. - SLAB TO CONNECT SEAMLESSLY TO (E) CONCRETE PAD AND WALKWAY.
- (E) STOREFRONT - TO REMAIN.
- (E) 10'-0" TALL TEXTURED CONCRETE WALL - TO REMAIN
- TYP. TENANT SIGNAGE FOR OTHER BUILDING TENANTS - TYP.
- (E) MECHANICAL EQUIPMENT - TO REMAIN



## REVISIONS

COND. USE PERMIT	05.22.12	SF
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## EXTERIOR ELEVATIONS BUILDING SECTION

JOB NO. 1109.001 SHEET

DRAWN SF

CHECK RV

DATE 05.22.12

# A5.1

# Global Village Montessori

## Philosophy

Global Village Montessori is a pre-school for children aged 2 - 6 years (through 1st grade) and adopts the core Montessori principle that children learn best not by hearing to words but rather by experiences. Our program is designed to focus on Mathematics, Language (reading and writing), Science, Culture, Sensorial (touch and feel) and Practical Life (everyday activities). In addition, we will also encourage a child's physical, emotional and creative development.

Our teachers will observe the children and will try to constantly improve the environment and tools for the children. We hope to inculcate the universal qualities of grace, courtesy and respect for each other. We will strive to lay the early foundations for children and aim to prepare individuals who are independent, have the clarity of thought and possess problem-solving skills to shape human society in the 21st century.

## Days of Operation

Monday through Friday

## Hours of Operation

Full day	:	07.00 AM - 06.00 PM
AM session	:	08:30 AM - 12.00 noon
PM session	:	12.30 PM - 03.30 PM
School day	:	08.30 AM - 03:30 PM

## Pick -Up and Drop-Off Procedures

### Arrival times

Full day & School day:		07.00 AM - 08:30 AM
AM session	:	08:15 AM - 08:30 AM
PM session	:	12.15 PM - 12.30 PM

### Pick- Up times:

Full day	:	04.00 PM - 06.00 PM
AM session	:	12.00 noon
PM session	:	03.30 PM
School day	:	03:30 PM

### Drop-off and Pick-up from School

#### Drop-off at School:

Parents need sign in/out on the Sign in sheet when dropping/picking up your child. When dropping your child off at school, please bring them to their classroom teacher. Under no circumstances are children to be dropped off in the parking lot.

#### Pick-Up from School:

Only people you have pre-authorized in writing may pick up your child from school. Even with a written authorization, if we are not familiar with a person, we will ask for photo identification. If

you need someone to pick up your child who is not on the pre-authorized list, you must provide written permission in advance. The person must be at least 18 years old. Please ensure that you plan sufficient time at pickup to check in daily with your child's teachers; arriving ten minutes before your scheduled pickup time is encouraged.

## Holiday Calendar for 2013

Jan 21	Martin Luther King Day
Feb 18	Presidents' Day
Mar 31	Easter Sunday
May 27	Memorial Day
Jul 4	Independence Day
Sep 2	Labor Day
Oct 14	Columbus Day
Nov 11	Veterans Day
Nov 28	Thanksgiving Day
Dec 24 - Jan 1	Christmas & New Year

## Schedule (approximate)

7:00 - 9:00 am	Students arrive. Free Play (Blocks, puzzles, books, etc.)
9:00 - 9:45 am	Circle Time Group activities: singing, musical movement, daily info: weather, calendar study, storytime and formal montessori group lesson.
9:45 - 11:00	Montessori Work Time (Formal lessons, student observations, child's Montessori free choice time; practical life activities, sensorial activities, math and language activities, science, history, geography, and cultural activities, snack).
11:00 - 11:30am	Outside Playtime
11:30am	Dismissal of Morning Students
11:30am - 12:00pm	Lunch for full time students
12:00 - 2:30pm	Naptime
2:00 - 2:30pm	Circle Time
2:30 - 4:00pm	Montessori work time
4:00 - 4:30pm	Outside Playtime
4:00 - 6:00 pm	Clean up & Free play.

## Montessori Curriculum

The Montessori curriculum encompasses five areas:

1. **Practical Life:** Here the children develop order, coordination, concentration, and independence. These include the care of self, care of the environment, and grace and courtesy.
2. **Sensorial Area:** With the use of Montessori designed materials, children refine and organize their sensory perceptions. Children learn to develop sensory impressions of the world around them.
3. **Language:** Children are exposed to various phonetic components that constitute the English language. They progress using concrete materials which aid them in developing their reading skills.
4. **Math:** The importance of one's sense of order is emphasized in the development of the mathematical mind. Manipulative materials are used to allow children to discover abstract mathematical ideas through concrete models.

5. **Cultural and Science:** In this area the children learn about the world around them.

The aim is to stimulate interest in and equip the children with the skills to explore nature and societies around the world.

## **Employees**

Global Village montessori will phase in staff hiring as enrollment increases. Global village Montessori will start operating with 2 full-time employees and increase up to 9 employees to keep up with student enrollment

## **Field Trips**

Classroom teachers may decide to schedule educational field trips during the year. In such cases, prior written parent permission is required. We also may request parent volunteers to assist in chaperoning and transportation.

On the day of the field trip, it is the parents' responsibility to bring the car seat, labeled with the child's name, and the lock-clip attached. Children cannot be transported without a car seat.

## **Food**

We believe nutrition and healthy eating habits are fundamental skills for young children, and we play an important role in helping your child learn about and enjoy a variety of nutritious foods each day.

We provide hot lunch supplied from an outside catering source. Meals and snacks will include a variety of food groups including meat and meat alternates, bread and grains, fruits, vegetables and fluid milk.

Lunch begins at noon. Part-Time Morning children who have lunch at school will be picked up at 12:30.

## **Illness**

When a child has a fever, we are required to send a child home. According to our state licensing requirements, parents may be called to pick up their child early from school for any of the following reasons:

- Vomiting
- Diarrhea
- Fever
- If a child feels too ill (stomachache, headache, etc.) to function properly in a group setting

## **Medical Emergencies**

Each child must have a current medical release form in his/her file outlining emergency contact numbers, allergies, doctor's contact numbers, and permission for staff to administer first aid and/or call 911 if needed. If any phone numbers on this form change before renewal times, please contact us with that information as soon as possible to ensure that the form is kept up to date. Your child's safety is extremely important.

## **Nap Time**

Nap times are quiet times when children are encouraged to rest. Some of the children have long days, and because our program is highly active, nap time is a time to recharge. Each child needs a personal blanket, labeled with his/her name, to be taken home weekly for washing. A small pillow and stuffed animal are welcome as well. The school will provide the bed and sheet.

### **California Licensing Requirements:**

Parents will be provided with the following forms that they need to fill out and submit prior to enrollment:

- Copy of admission contract
- Notification of Parents' Rights form (Lic. 995)
- Personal Rights form (Lic. 613A)
- Identification and Emergency Information (Lic. 700)Creative Minds CDC Parent Handbook 2011, Page 4
- Consent for Emergency Medical Treatment form (Lic. 627)
- Child's Pre admission Health History — Parents' Report (Lic. 702)
- Physician's Report (Lic. 701)
- Medical assessment required, including TB skin testing if indicated by the child's physician.
- Immunization requirements met (recorded on Physician's Report or records attached)
- Needs and Services Plan (for infants, and children with special needs)
- Parent Consent for Administration of Medications and Medication Chart (Lic. 9921) for any medication to be given at school