



MILPITAS PLANNING COMMISSION AGENDA REPORT

PUBLIC HEARING

Meeting Date: January 9, 2013

APPLICATION: Site Development Permit No. SD12-0011, SanDisk Sign Program

APPLICATION
SUMMARY:

A request for sign program to allow for the installation of new site signage for the SanDisk Corporate Campus.

LOCATION:
APPLICANT:
OWNER:

500 McCarthy Blvd (APN 86-01-28, 036,037, 039, and 040)
Rick Friedman, SanDisk, 500 McCarthy Blvd., Milpitas, CA 95035
Sandbox Expansion LLC, 601 McCarthy Blvd., Milpitas, CA 95035

RECOMMENDATION:

Staff recommends that the Planning Commission:

Adopt Resolution No. 13-002 approving the project subject to conditions of approval.

PROJECT DATA:

General Plan/

Zoning Designation:

Overlay District:

Industrial Park (INP)/Industrial Park (MP)

Site and Architectural Overlay (-S) and Recreation and Entertainment Overlay (-RE)

Site Area:

Total Allowable Sign Area:

Total Sign Area:

37 Acres

9,989 square feet

1,015 square feet

CEQA Determination:

Categorical exempt pursuant to Section 15311, Class 11, (a) (Accessory Structures, On-premise Signs) of the California Environmental Quality Act (CEQA).

PLANNER:

Cindy Hom, Assistant Planner

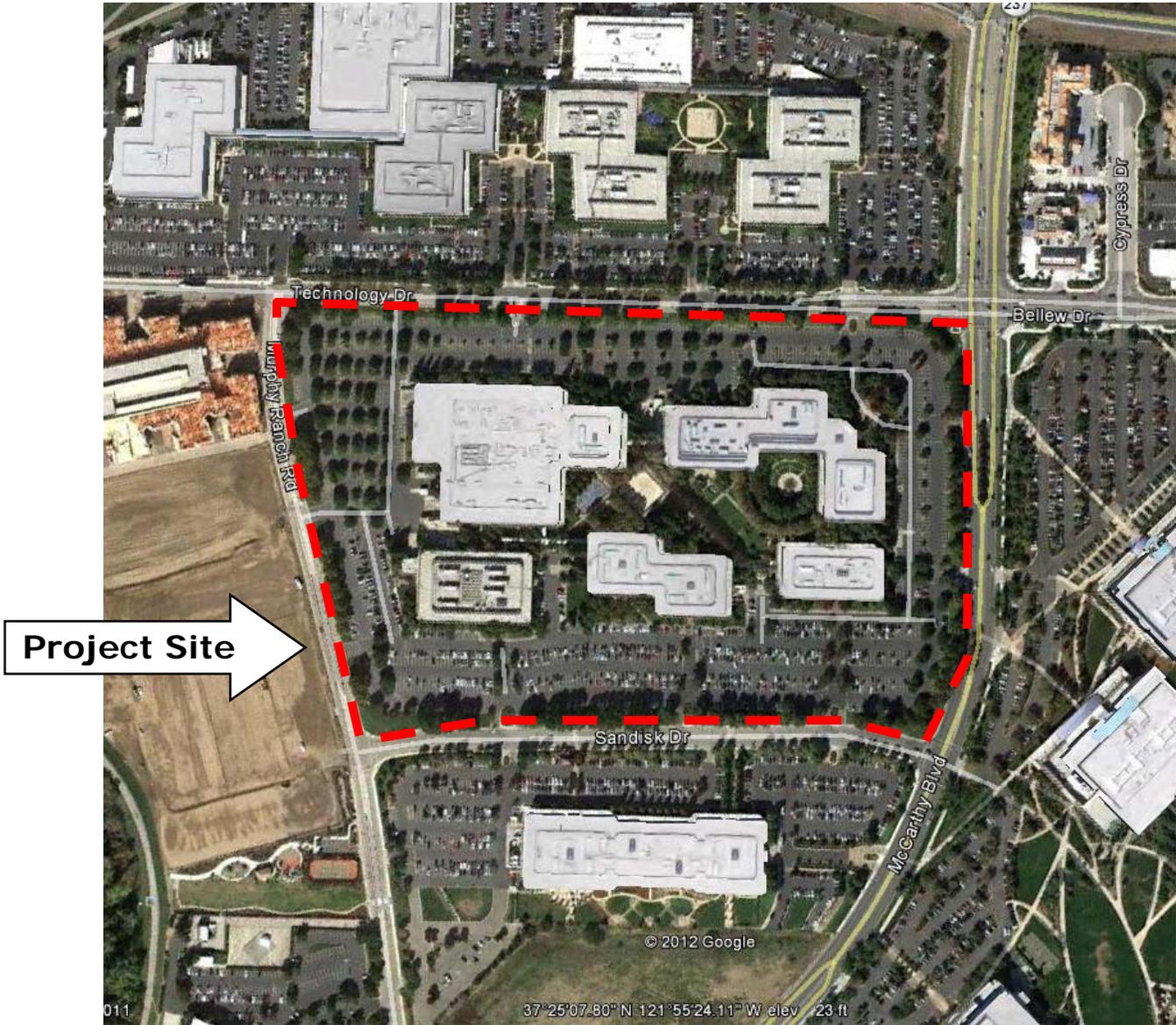
PJ:

2878

ATTACHMENTS:

A. Resolution No. 13-002
B. Project Plans

LOCATION MAP



No scale

BACKGROUND

On January 24, 1990, the Planning Commission granted site and architectural approval for the development of a five building R&D campus on five parcels that spans approximately 37 acres in size. Each of the five industrial building was developed on its on parcel and connected by covered walkways and an interior landscaped courtyard area. Subsequent approvals including approvals for the installation of a 5-foot, 11-inch monument sign at the corner of Technology Drive and McCarthy Boulevard and three 5-foot tall non-illuminated monument signs.

On December 14, 2012, Rick Friedman with SanDisk submitted an application for a site development permit for a sign program that allows for the installation of one identification monument sign, five wall signs; and fourteen directional signs, and six driveway monument signs for the new SanDisk corporate campus. The application is submitted pursuant to the Milpitas Municipal Code and MMC XI-10-24.05 (F) (Sign Programs), which requires Planning Commission review and approval of a site development permit for sign programs approval for industrial complexes on four or more acres.

PROJECT DESCRIPTION

The project is located on a 37-acre site industrial complex developed with five industrial buildings and related site improvements. The project site is bounded by SanDisk Way (formerly Sumac Drive) to the south, McCarthy Boulevard to the east, Technology Drive to the north, and Murphy Ranch Road to the west. Surrounding uses includes Cerano Apartments and Fairfield Residential townhomes to the west, KLA Tencor campus to the north, Cisco System campus to the east, and industrial buildings and uses to the south. A vicinity map of the subject site location is included on the previous page.

The applicant requests approval of a site development approval for a sign program that will allow for comprehensive way-finding and identification sign system with design consistency for the SanDisk campus, which also includes approval for installation of one new monument sign, six driveway monument signs, fourteen directional signs, and new wall signs.

Compliance with the Milpitas Sign Ordinance is demonstrated in the in the sections below.

Sign Area

Per MMC XI-10-24.03 (B) (Maximum Permissible Sign Area), the site is allowed a maximum of 9,989 square feet for signs (two square feet of sign area for every one lineal foot of public street frontage). As demonstrated in Table 1, the project proposes 1,015 square feet of sign area, which is less than the maximum allowed for the site.

Table 1:
Sign Area Calculations

Sign Type	Quantity	Dimensions/sq. ft.	Total Square Footage
Main Identification Monument	2	5'-7"x20'/111 s. f.	223
Driveway Identification Sign	6	6'x3'-8"/21.99 s. f.	132
Directional Signage *	14	4'-3"x3'/12.75 s. f.	179
Wall Sign	5	4'x20'-8"/82.66 s. f.	578.66
Entry Canopy Sign	1	4'-6"x22'-6"/101.25 s. f.	101.25
Total Sign Area Proposed			1,015
Total Sign Area Allowed			9,989

Directional Signs are exempted by the Sign Ordinance.

Sign Height and Number of Freestanding Signs

According to MMC XI-10-24.04-1, the maximum number of signs and sign height is determined by amount of street frontage. Per the Sign Ordinance, one sign is permitted per each street frontage. One additional sign may be granted on parcels with more than 300-feet of public street frontage. Sign height is determined by the following calculation: one foot of height for every eight lineal feet of public street frontage, not to exceed 25 feet in height. For a second sign, only the lineal feet in excess of 300 shall be used to determine height. The applicant proposes to install two new freestanding signs on each parcel. Sign height and related code provisions are summarized in Table 2 below:

Table 2:
Sign Height Calculation

Location	Dimensions
500 McCarthy Drive	1,926.84'
900 Sumac Drive	321.01'
1000 Sumac Drive	631.78'
1100 Sumac Drive	850.06'
1400 Technology Drive	1,264.75'
Total Street Frontage	4,994.44'
Maximum Number of Freestanding Signs per parcel	2 (10 total for project)
Number of Proposed Freestanding Signs	7
Maximum Sign Height	25'
Proposed Sign Height for Existing and New Monument Signs	
• Main ID Monument	5'-7"
• Driveway Monument	6'-3'-8"

Sign type, materials and location

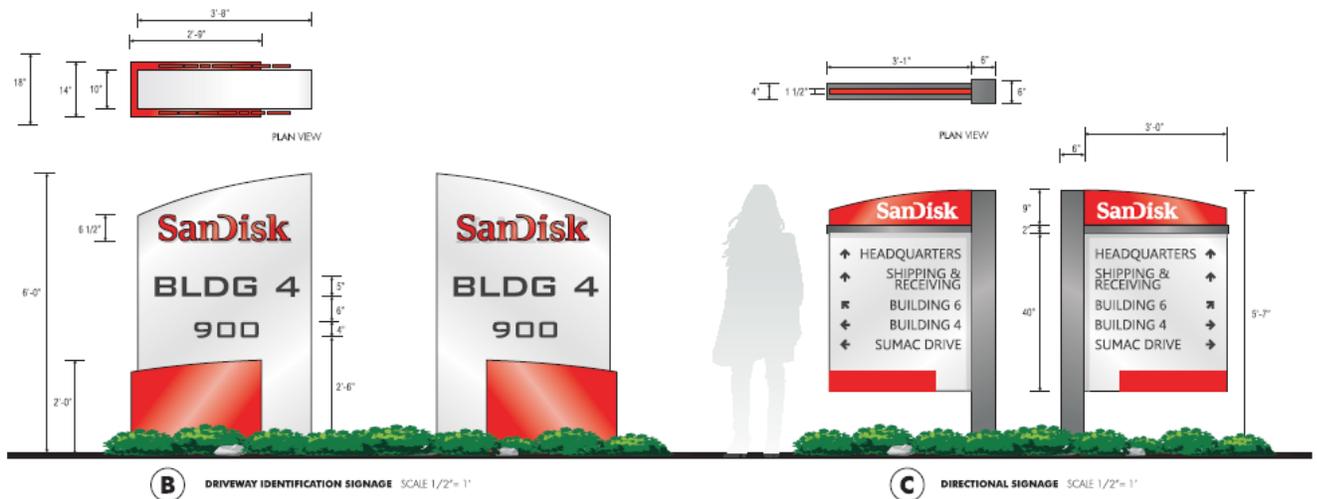
As described below, the proposed signs provide design consistency and uniformity in terms of design, materials, fabrication, and illumination.

Figure 1:
Identification Monument Sign



The main identification sign is a contemporary design that is constructed with a metal base based. The front portion of the monument sign is painted red and the backing is painted white. The “SanDisk” and “frame” sign and logo type are fabricated with internally illuminated individual channel letters. This sign located next to the corporate headquarter building at the corner of McCarthy Boulevard and Technology Drive.

Figure 2:
Driveway and Directional Signs



The driveway and directional signs have similar shapes and height. The signs also utilize the same SanDisk corporate color scheme. However, the directional signs are mounted on a pole that is placed in various locations within the parking lot to assist with way-finding and on-circulation while the driveway monuments are constructed with solid metal based and provides building address identification. Staff recommends as a condition of approval that the two directional signs (C10 and C11) located on Murphy Ranch Road, shall be limited way-finding text that states “Shipping and Receiving” and the removal of the three directional signs (C1, C9, and C12) that are placed in the landscaping areas fronting Sumac and Technology Drive to reduce visual confusion and the potential for traffic hazards that may result from a motorist having to slow down to read the sign.

Figures 3 & 4:
Wall Signs



The proposed wall signs will also consist of internally illuminated channel letters for the SanDisk sign copy. The proposed signs are located along the building frontages.

Sign Program

The applicant requests approval of a site development approval for a sign program that will allow for comprehensive way-finding and identification sign system for the SanDisk campus. Pursuant to MMC XI-10-24.05 (F) (Sign Programs), a sign program is required for multi-tenant buildings to ensure design consistency and uniformity. Based on the sign proposal, the sign program, sign type, illumination and locations provide orderly, harmonious, and aesthetic business identification for the SanDisk five building campus.

ADOPTED PLANS AND ORDINANCES CONSISTENCY

General Plan

The table below outlines the project’s consistency with applicable General Plan Guiding Principles and Implementing Policies:

Table 3
General Plan Consistency

Policy	Consistency Finding
Implementing Policy 2.a-I-3 <i>Encourages economic pursuits, which will strengthen and promote development through stability and balance.</i>	Consistent. The proposed monument sign would help promote the SanDisk campus and encourage economic pursuits by providing appropriate visibility and business identification.

Sign Ordinance

The project is consistent with Chapter 24 (Signs) of the Milpitas Municipal Code in that the proposed signs complies with the total allowable sign area, sign height, and appropriateness of the sign design by incorporating compatible colors, design, and scale with the building and design consistency with monument and wall signs. The proposed monument signs are located within existing landscaped areas as required by the Sign Ordinance and provide for an attractive harmonious development.

ENVIRONMENTAL REVIEW

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt per Section 15311, (Class 11) Accessory Structures, because the project includes the construction of on-premise signs.

PUBLIC COMMENT/OUTREACH

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public.

CONCLUSION

The project proposes a sign program that allows for installation of new monument signs and wall signs that provides for uniformity and design consistency. The proposed signage utilizes colors, materials, and designs that complement the industrial buildings and provides attractive and effective business identification and way-finding.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission adopt Resolution No. 13-002 approving Site Development Permit No. SD12-0011, subject to the attached Conditions of Approval.

Attachments:

- A. Resolution No. 13-002
- B. Project Plans

RESOLUTION NO. 13-002

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT NO. SD12-0011, SANDISK SIGN PROGRAM, TO PERMIT A COMPREHENSIVE SIGN SYSTEM AND ISNTALLATION OF NEW SITE SIGNAGE FOR SANDISK CORPORATE CAMPUS AT 500 MCCARTHY BOULEVARD

WHEREAS, on December 14, 2012, an application was submitted by Rick Friedman, SanDisk Corporation, to allow permit a sign program for SanDisk Campus at 500 McCarthy Boulevard (APN 88-01-036, 037, 039, 040, and 028), The property is located within the Industrial Park Zoning district; and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project is categorically exempt; and

WHEREAS, on January 9, 2013, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

NOW THEREFORE, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The recitals set forth above are true and correct and incorporated herein by reference.

Section 2: The project is categorically exempt per Section 15311, (Class 11) Accessory Structures of the California Environmental Quality Act. The project proposal consists of a master sign program that allows for the installation of an on-premise signs for an existing industrial campus.

Section 3: All elements of the sign, including design, lighting, scale, length and materials, are consistent with the General Plan and Milpitas Sign Ordinance. It is consistent with General Plan Policy 2.a-I-3 and 2.a-I-7 in that the project promotes business and encourages economic pursuits. The project conforms to the Milpitas Zoning Ordinance in that it complies with the development standards in terms of the total allowable sign area, design guidelines, and compatibility with other signs and the building architecture.

Section 4: The design, scale and materials of the sign harmonize with the architectural design and details of the building or site it serves. The proposed internally illuminated individual channel letter signs and contemporary monument signs are compatible and in keeping with the architecture of the building and site layout.

Section 5: The design and scale of the tenant signs are appropriate to the distance from which the sign is normally viewed because the proposed wall signs are placed on the building

elevations that faces the street. The main identification sign is located at prominent street corner to provide business identification. The driveway monuments and directional signs are place near driveways and within the internal parking lot areas to provide building address location and way-finding. The letter heights are appropriately scaled to provide clear visibility and legibility.

Section 6: The design and materials of the sign provide a contrast between the background and letters because the proposed individual channel letter signs have a 5-inch thickness that provides texturing as well as the face and returns of the signs utilize a different color from the background.

Section 7: The provisions of sign program provides for following:

- a) Provides overall design consistency and uniformity in terms of sign type, illumination, and placement.
- b) Maintains the modern and contemporary style of the buildings and landscaping theme.
- c) Complies with the design guidelines of the Milpitas Zoning Ordinance in that the proposed channel letter signs provide an attractive scale, relates to the building and site layout, and provide for orderly and harmonious business identification.

Section 8: The Planning Commission of the City of Milpitas hereby approves Site Development Permit No. SD12-0011, SanDisk Sign Program, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Milpitas on January 9, 2013.

Chair

TO WIT:

I HEREBY CERTIFY that the following Resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on January 9, 2013, and carried by the following roll call vote:

COMMISSIONER	AYES	NOES	ABSENT	ABSTAIN
Lawrence Ciardella				
John Luk				
Rajeev Madnawat				
Sudhir Mandal				
Zeya Mohsin				

Gurdev Sandhu				
Steve Tao				
Garry Barbadillo				

EXHIBIT 1

**CONDITIONS OF APPROVAL
Site Development Permit No. SD12-0011**

A request to permit a sign program for the SanDisk campus located at 500 McCarthy Boulevard. (APN 88-01-036, 037, 039, 040, and 028).

General Conditions

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on January 9, 2013, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. **(P)**

Site Development Permit No. SD12-0011 shall become null and void if the project is not commenced within two (2) years from the date of approval. Pursuant to Section 64.06(B) of the Zoning Ordinance of the City of Milpitas:

- a. Completes a foundation associated with the project; or
 - b. Dedicates any land or easement as required from the zoning action; or
 - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
2. Pursuant to Section 64.06(1), the owner or designee shall have the right to request an extension of Site Development Permit No. SD12-0011 if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. **(P)**
 3. Prior to the issuance of building permits, the owner or designee shall include within the four first pages of the working drawings for a plan check, a list of all conditions of approval imposed by the final approval of the project. **(P)**
 4. If, at time of building permit review, there is an outstanding project job account balance due to the City for recovery of review fees, review of permits will not be initiated until the balance is paid in full. **(P)**
 5. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing #405. Overall cumulative height of the grading, landscaping & signs as

determined by sight distance shall not exceed two (2) feet when measured from street elevation. **(E)**

- 6.** Proposed monument sign at the corner of McCarthy Boulevard and Technology Drive shall maintain a minimum setback of 16-foot from the street Face of Curb, to clear both line of sight and existing public service utility easement. No permanent structure is allowed within the public right of way or easement with an encroachment permit. **(E)**

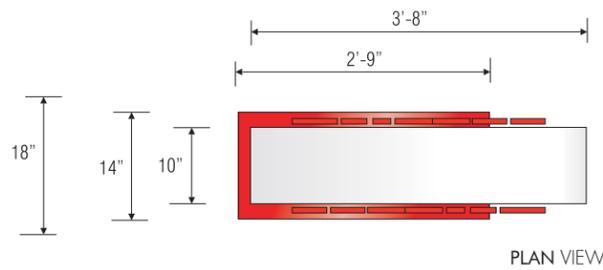
- 7.** Prior to building permit issuance, the applicant shall revised sign plans to comply with the following:
 - a.** The two directional signs (C10 and C11) located on Murphy Ranch Road shall be limited way-finding text that states “Shipping and Receiving;” and
 - b.** Removal of three directional signs (C1, C9, and C12) that are placed in the landscaping areas fronting Sumac and Technology Drive to reduce visual confusion and the potential for traffic hazards that may result from a motorist having to slow down to read the sign.

(P) = Planning
(B) = Building
(E) = Engineering
(F) = Fire Prevention

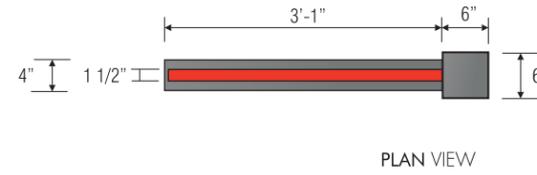


A MAIN IDENTIFICATION SIGNAGE SCALE 3/8" = 1'

SIDE VIEW



PLAN VIEW



PLAN VIEW



B DRIVEWAY IDENTIFICATION SIGNAGE SCALE 1/2" = 1'

C DIRECTIONAL SIGNAGE SCALE 1/2" = 1'

SYMCOM

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Modesto, California
95350-3025

Tel: 209-523-5444

symcom@att.net

PROJECT:

SanDisk

ADDRESS:

500 McCarthy Blvd.
Milpitas, CA 95035

DESCRIPTION:

Exterior Campus
Signage

SCALE:

Noted

DRAWING #

SDSK-25

DATE:

10/04/12

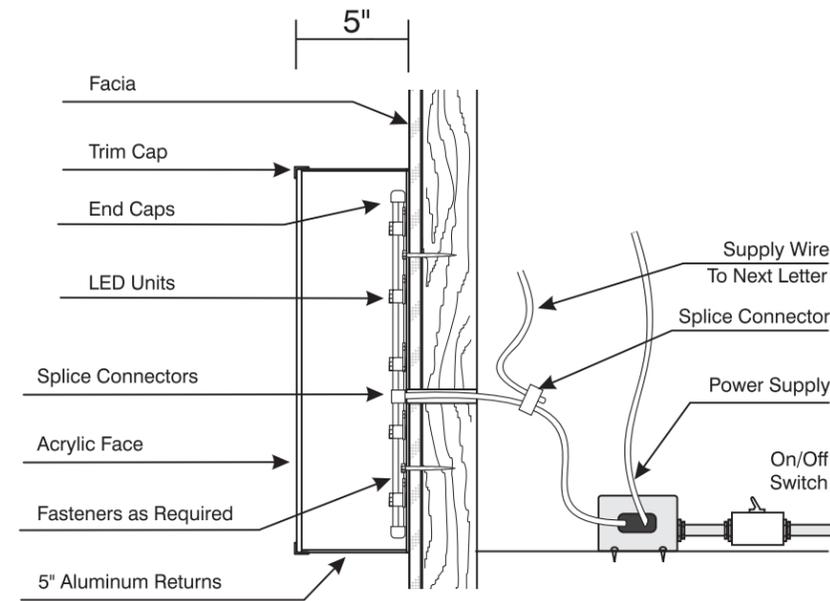
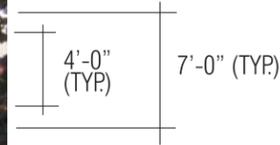
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01/03/12

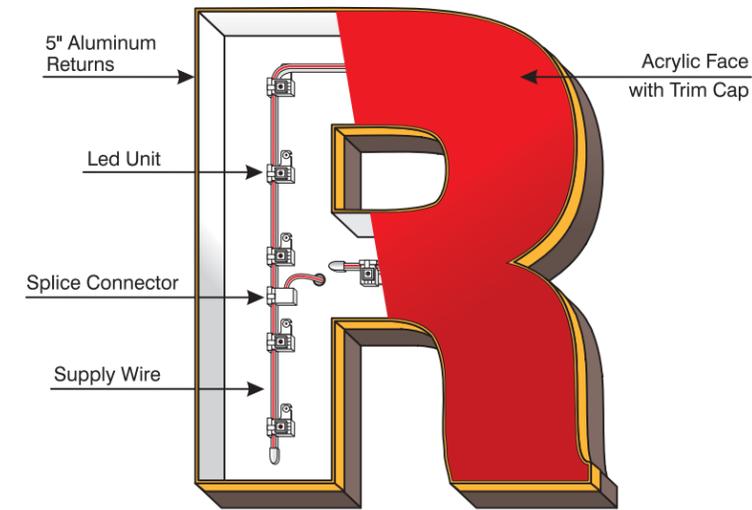
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PHOTO RENDERING - TYPICAL WALL SIGN
NTS



Mounting Detail



LED Channel Letters (Typical)

Flush Wall Mount.
Standard 5" Deep Pan Channel Letters.
GE Tetra LED System.
Remote Power Supplies.

General Spec Sheet



D WALL SIGNAGE SCALE 3/8" = 1'

SYMCOM

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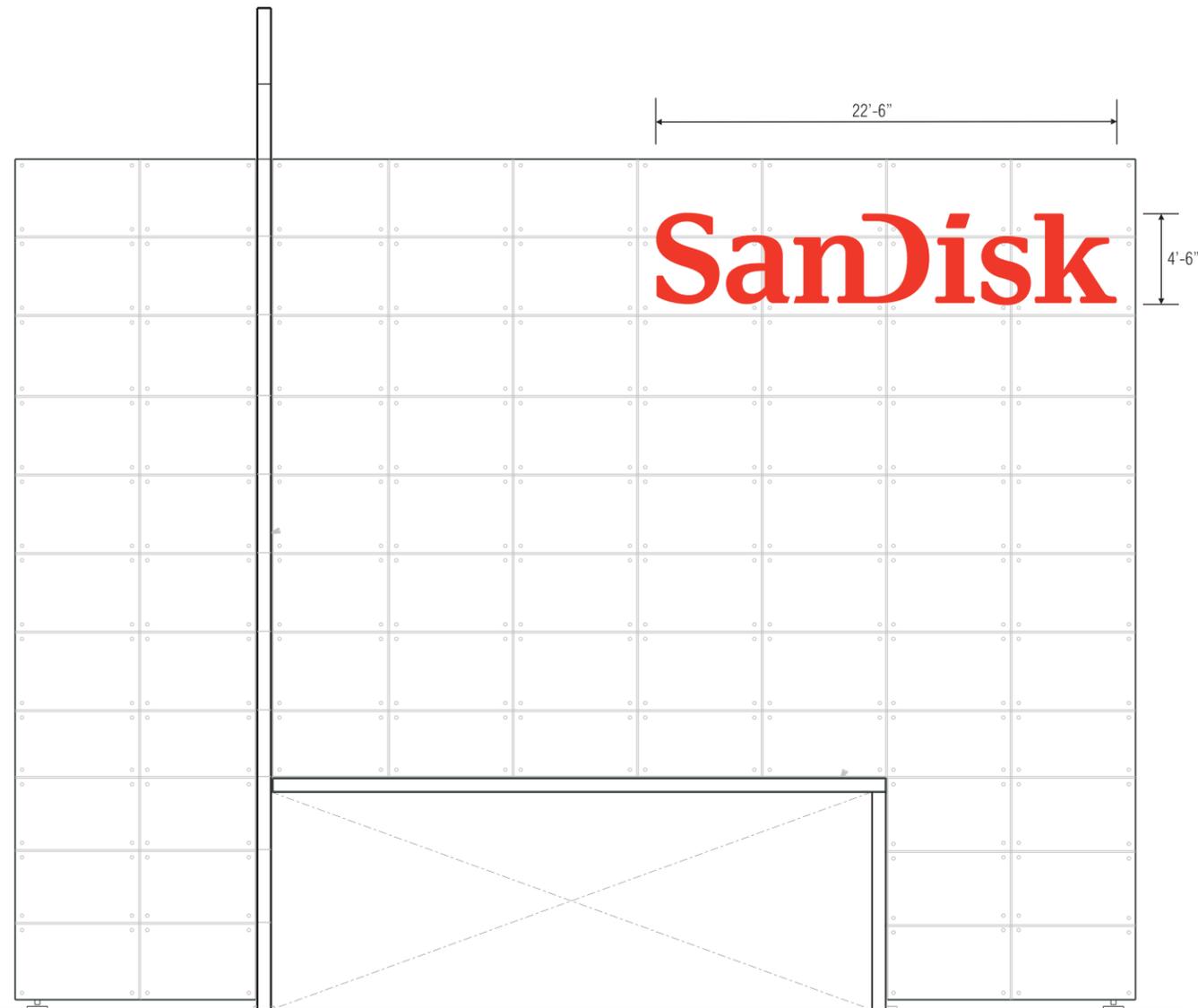
DATE:

10/04/12

REVISION #5

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E ENTRY CANOPY SIGNAGE SCALE 1/8" = 1'

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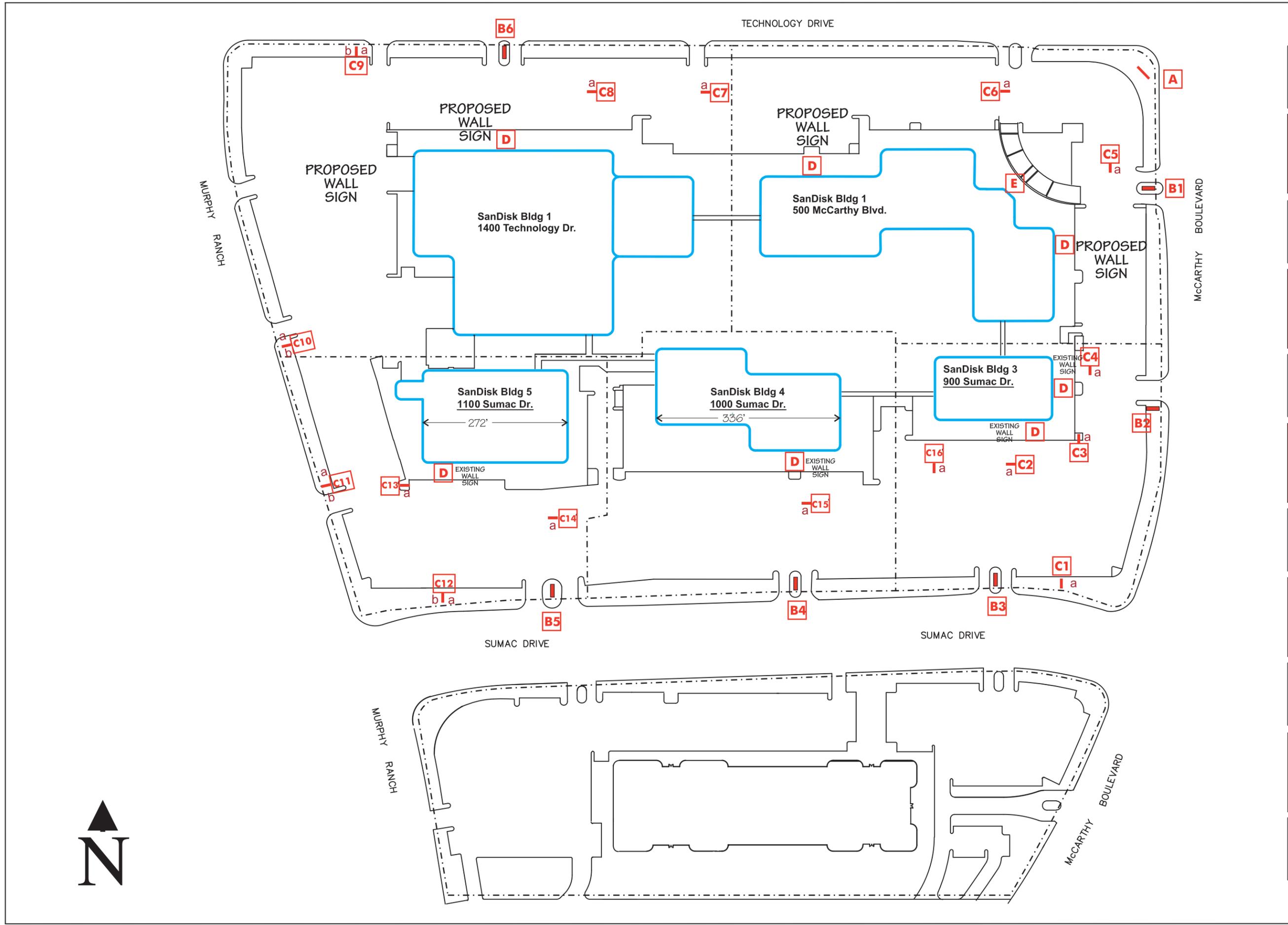
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 01/03/12

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LIST AND SPECIFICATIONS OF SIGNAGE FOR SANDISK CAMPUS SIGN PROGRAM

A MAIN IDENTIFICATION SIGNAGE

FABRICATED ALUMINUM BASE WITH THE BACK SECTION PAINTED WHITE AND THE FORWARD SECTION PAINTED TO MATCH PMS 485 RED. SANDISK LOGOTYPE AND THE "FRAME" SHALL BE ALUMINUM CHANNELS WITH ACRYLIC FACES AND INTERIOR L.E.D. ILLUMINATION. THE ACRYLIC FACES SHALL HAVE A VINYL OVERLAY OF 3M 3630-43 "LIGHT TOMATO RED". CHANNEL RETURNS PAINTED TO MATCH FACES.

B DRIVEWAY IDENTIFICATION SIGNAGE

FABRICATED ALUMINUM MONUMENT AND BASE. MONUMENT SHALL BE PAINTED WHITE AND THE BASE SHALL BE PAINTED TO MATCH PMS 485 RED. SANDISK LOGOTYPE SHALL BE F.C.O. 1/2" THICK ACRYLIC PAINTED TO MATCH PMS 485 RED. BUILDING IDENTIFICATION AND ADDRESS NUMBER SHALL BE 3M 680-85 REFLECTIVE BLACK VINYL.

C DIRECTIONAL SIGNAGE

FABRICATED ALUMINUM PANELS AND STRUCTURE. THE STRUCTURE SHALL BE PAINTED MAP 65-4D "PIPE GRAY". TOP LOGO PANEL SHALL BE PAINTED TO MATCH PMS 485 RED WITH WHITE VINYL SANDISK LOGOTYPE. THE PANEL WITH DIRECTIONAL INFORMATION SHALL BE PAINTED WHITE WITH PMS 485 RED ACCENT. ALL COPY SHALL BE 3M 680-85 REFLECTIVE BLACK VINYL.

D WALL SIGNAGE

FABRICATED ALUMINUM CHANNELS WITH ACRYLIC FACES AND INTERIOR L.E.D. ILLUMINATION. THE ACRYLIC FACES SHALL HAVE A VINYL OVERLAY OF 3M 3630 -43 "LIGHT TOMATO RED". CHANNEL RETURNS PAINTED TO MATCH FACES.

E ENTRY CANOPY SIGNAGE

FABRICATED ALUMINUM REVERSE PAN CHANNEL LETTERS WITH 1" RETURNS PAINTED TO MATCH PMS 485 RED. LETTERS SHALL HAVE 1" STAND-OFFS FROM THE GLASS CURTAIN WALL.

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