



## MILPITAS PLANNING COMMISSION AGENDA REPORT

**PUBLIC HEARING**

Meeting Date: March 27, 2013

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**APPLICATION: SITE DEVELOPMENT PERMIT NO. SD13-0003**

APPLICATION  
SUMMARY:

A request to install a black steel picket perimeter fence, not to exceed eight feet in height, for the Marriott hotels

LOCATION:

1428 and 1480 Falcon Drive (APN: 086-24-042, 056)

APPLICANT:

Courtyard & Towne Place Suites Milpitas Marriott, 1428 and 1480 Falcon Drive, Milpitas, CA 95035

OWNER:

Courtyard & Towne Place Suites Milpitas Marriott, 1428 and 1480 Falcon Drive, Milpitas, CA 95035

**RECOMMENDATION:**

**Staff recommends that the Planning Commission: Adopt Resolution No. 13-010 approving the project subject to the attached conditions of approval**

PROJECT DATA:

General Plan/

Zoning Designation:

General Commercial / General Commercial with Site and Architectural Overlay (C2-S)

Specific Plan:

Transit Area

CEQA Determination:

Categorically Exempt Pursuant to Section 15301 (I) (4): Accessory structures including fences.

PJ: 2890

PLANNER:

Tiffany Brown, Assistant Planner

ATTACHMENTS:

- A. Resolution No. 13-010
- B. Site Plan
- C. Letter from Applicant

# LOCATION MAP



No scale

**BACKGROUND**

On January 17, 2013, an application was submitted by Mrs. Lanthorn Gale representing Courtyard Milpitas and Town Place Marriott, for the request to construct a new eight foot tall security fence along the sides connecting to the existing rear fence on the property with a six foot tall fence along the front of the property. Section 54.10, Fences and Walls within the Zoning Ordinance states; for any non-residential or new multi-family and single-family tract projects within the “S” Zone Overlay District allows fences at the rear and side yards to be eight feet maximum when approved by the Planning Commission through a Site Development Permit.

**PROJECT DESCRIPTION**

The project site is located south of the Great Mall, adjacent to Montague Expressway and Falcon Drive. The site is zoned General Commercial, with Site and Architectural Overlay and is a part of the Transit Area Specific Plan. A vicinity map of the subject site location is included on the previous page. By adding the fence, the property becomes more secure and will deter visitors from loitering. The hotel staff has already put other security measures into place, such as video cameras and hiring security to circulate the parking lot area.

The picket fence is made of a black metal that will stand a maximum of eight feet tall along Great Mall Parkway and Montague Expressway. The fence along Falcon Drive, the front of the property, will not exceed six feet in height. The fence will be located within the existing landscaped swales on the property. The applicant will maintain the landscaping around the new fence along with the addition of new landscaping where necessary. There will be no net loss of trees.

**ADOPTED PLANS AND ORDINANCES CONSISTENCY**

***General Plan***

The table below outlines the project’s consistency with applicable General Plan Guiding Principles and Implementing Policies:

**Table 1**  
**General Plan Consistency**

<b>Policy</b>	<b>Consistency Finding</b>
<i>2.a-1-6: Endeavor to maintain a balanced economic base that can resist downturns in any one economic sector.</i>	<b>Consistent.</b> The two Hotels have established their customer base and are now a use that can maintain a balanced economic base resisting downturns in any one economic sector. However, without the security fence, the cliental base may change due to lack of comfort for safety; and therefore, the fence supports the hotels and their ability to achieve a balanced economic base that resists downturns in any one economic sector.
<i>2.a-1-24: Develop the Transit Area, as shown on the Transit Area plan, as attractive, high density, urban</i>	<b>Consistent.</b> The new fence will not disturb existing pedestrian connections.

<p><i>neighborhoods with a mix of land uses around the light rail stations and the future BART station. Create pedestrian connections so that residents, visitors, and workers will walk, bike, and take transit. Design streets and public spaces to create a lively and attractive street character, and a distinctive identity for each subdistrict.</i></p>	
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**Zoning Ordinance**

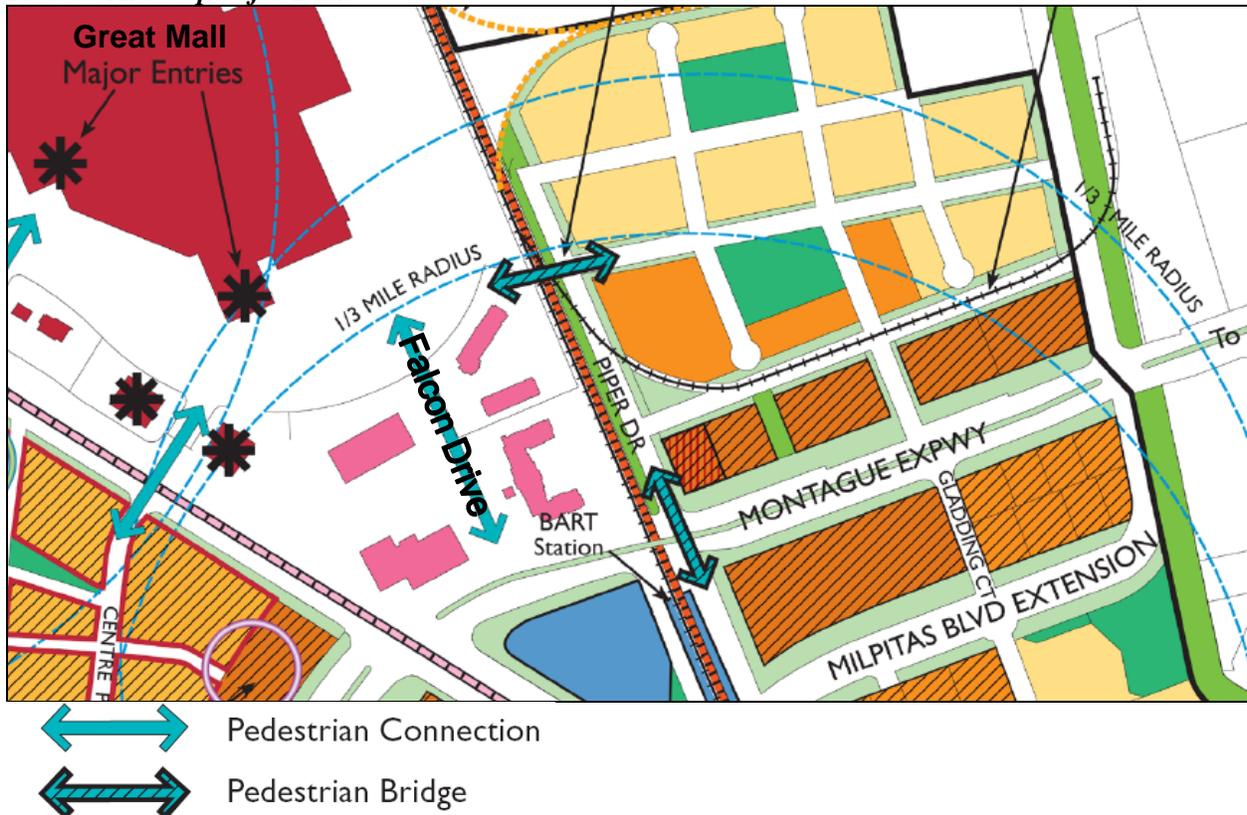
The proposed fence is permitted to be eight feet in height at the rear and sides of the property, not to exceed six feet in height at the front of the property with review and approval of a Site Development Permit [Section 10-54.10(B).(a.)]. A Site Development requires the Commission to meet the following findings:

- 1) *The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development.*

The proposed fence will be located within the landscaped buffer surrounding the perimeter of the property. The picket fence is set back from the property line in an area where the landscaping is mature and is parallel to the proposed fence which will screen to blend in with the existing landscaping.

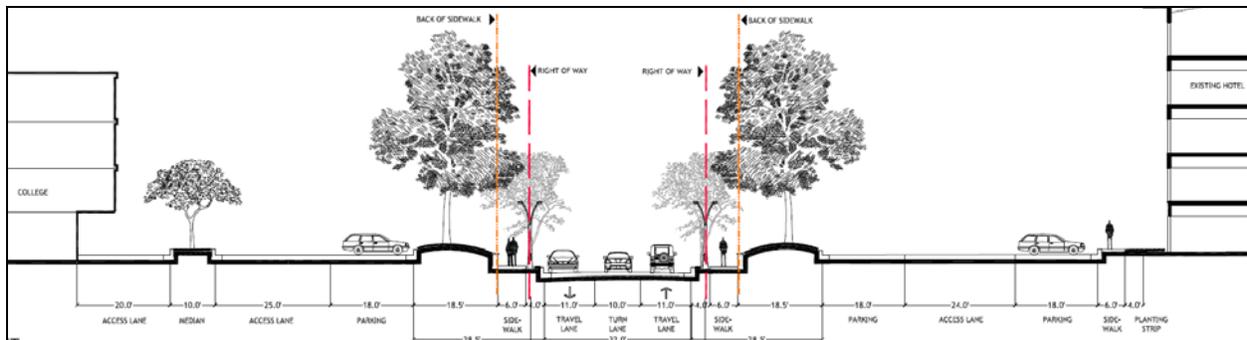
- 2) *The project is consistent with the Milpitas Zoning Ordinance*  
The proposed fence at the proposed location and height limitations is consistent with Zoning Ordinance Section 10-54.10(B)(a.) in that it meets the development standard requirements.
- 3) *The project is consistent with the Milpitas General Plan*  
*See Table 1, General Plan Consistency on Page 3.*
- 4) *The project is consistent with the Specific Plan*  
*See Transit Area Specific Plan Section on Page 5.*

*Transit Area Specific Plan*



The Transit Area Specific Plan calls for a pedestrian connection from the sidewalk along Montague Expressway, around Falcon Drive, and connecting to the Great Mall. See Chapter 3 Section 3.3 for Circulation. Currently, the Marriott Hotel property does not include a sidewalk along Falcon Drive. The property owner for the Marriott Hotels has expressed interest in constructing a new sidewalk along Falcon Drive to be consistent with the Transit Area Specific Plan.

**Transit Area Specific Plan; Figure 5-18**  
**Falcon Drive Cross Section**



For this application, the applicant proposes the fence with an opening to keep the current pedestrian access from Montague Expressway. Until the new sidewalk is constructed, the

pedestrian access from Montague Expressway to the hotel property will remain open providing the necessary accessible entry.

The proposed fence at the proposed location is consistent with Transit Area Specific Plan Design Guidelines for site configuration and design in that the new fence will neither disturb the pedestrian access from Montague Expressway nor the street-facing entry. The picket design of the fence will minimize massing effects on surrounding property, while allowing shrubbery to growth through the fence.

**ENVIRONMENTAL REVIEW**

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt from further environment review pursuant to Section 15301 (l) (4): Accessory structures including fences of the General Provisions of CEQA.

**PUBLIC COMMENT/OUTREACH**

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public.

**CONCLUSION**

The fence is consistent with the General Plan, Zoning Ordinance, and Transit Area Specific Plan. The new fence will provide security in preventing loitering within the hotel parking lot.

**RECOMMENDATION**

**STAFF RECOMMENDS THAT** the Planning Commission close the public hearing after hearing testimony and adopt Resolution No. 13-010 approving Site Development Permit No. SD13-0003, subject to the attached Resolution and Conditions of Approval.

*Attachments:*

- A. Resolution No. 13-010
- B. Site Plan
- C. Letter from Applicant

**RESOLUTION NO. 13-010**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT NO. SD13-0003, SECURITY FENCE, TO INSTALL A BLACK STEEL PICKET PERIMETER FENCE, NO TO EXCEED EIGHT FEET IN HEIGHT FOR MARRIOTT HOTELS, LOCATED AT 1428 AND 1480 FALCON DRIVE**

**WHEREAS**, on January 17, 2013, an application was submitted by Melody Lanthorn Gale, representing Courtyard Milpitas and Town Place Marriott, 1428 and 1480 Falcon Drive, to allow the installation of a new picket black steel perimeter fence. The property is located within the General Commercial Zoning District with Site and Architectural Review Overlay (C2-S) and with the Transit Area Specific Plan (APN: 086-24-042, 056); and

**WHEREAS**, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project exempt.

**WHEREAS**, on January 28, 2013, Staff conducted an onsite meeting with the applicant and discussed the importance of security for the Hotels and the ideal location for the proposed fence, as to not interfere with the Transit Area Specific Plan future sidewalk along Falcon Drive.

**WHEREAS**, on March 27, 2013, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

**NOW THEREFORE**, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

**Section 1:** The Planning Commission has duly considered the full record before it, which may include but is not limited to such things as the City staff report, testimony by staff and the public, and other materials and evidence submitted or provided to the City Council. Furthermore, the recitals set forth above are found to be true and correct and are incorporated herein by reference.

**Section 2:** The proposed fence is categorically exempt from further environment review pursuant to Section 15301 (1) (4) for Accessory structures including fences of the General Provisions of CEQA.

Site Development Permit Findings

**Section 3:** The proposed height and location of the fence is consistent with the General Plan, particularly Policies 2.a-I-6 and 2.a-I-24 in that the fence supports the security for the hotels and their ability to achieve a balanced economic base that resists downturns in any one economic sector, and the new fence will not disturb the existing pedestrian connections.

**Section 4:** The proposed layout of the picket fence material and height at the proposed location within the existing landscaping is compatible and aesthetically harmonious with adjacent and surrounding development and is consistent with the Milpitas Zoning Ordinance.

**Section 5:** The proposed fence at the proposed location is consistent with Transit Area Specific Plan and its Design Guidelines for site configuration and design in that the new fence will not disturb the pedestrian access from Montague Expressway nor the street-facing entry, the side and rear perimeter eight foot tall picket fence will allow daylight to flow through the fence, ultimately blending into the existing mature landscaping that surrounds the property.

**Section 6:** The Planning Commission of the City of Milpitas hereby approves Site Development Permit No. SD13-0003, subject to the above Findings, and Conditions of Approval attached hereto as Exhibit 1.

**PASSED AND ADOPTED** at a regular meeting of the Planning Commission of the City of Milpitas on March 27, 2013.

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Chair

**TO WIT:**

**I HEREBY CERTIFY** that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on March 27, 2013, and carried by the following roll call vote:

<b>COMMISSIONER</b>	<b>AYES</b>	<b>NOES</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Lawrence Ciardella				
John Luk				
Rajeev Madnawat				
Sudhir Mandal				
Zeya Mohsin				
Gurdev Sandhu				
Garry Barbadillo				
Demetress Morris				

## EXHIBIT 1

**CONDITIONS OF APPROVAL**  
**SITE DEVELOPMENT PERMIT NO. SD13-0003**

A request to install a black steel picket perimeter fence, not to exceed  
eight feet in height, for the Marriott hotels  
1428 & 1480 Falcon Drive (APN: 086-24-042, 056)

**General Conditions**

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on **March 27, 2013**, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. **(P)**

**SD13-0003** shall become null and void if the project is not commenced within two (2) years from the date of approval unless in conjunction with a tentative map, then the project life coincides with the life of the map. Pursuant to Section 64.06(B) of the Zoning Ordinance of the City of Milpitas, commencement shall be:

- a. Completes a foundation associated with the project; or
  - b. Dedicates any land or easement as required from the zoning action; or
  - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
2. Pursuant to Section 64.06(1), the owner or designee shall have the right to request an extension of **SD13-0003** if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. **(P)**
  3. Prior to the issuance of building permits, the owner or designee shall include within the four first pages of the working drawings for a plan check, a list of all conditions of approval imposed by the final approval of the project. **(P)**
  4. The new fence shall not exceed eight feet in height along Montague Expressway and Great Mall Parkway or six feet in height along Falcon Drive. **(P)**
  5. Existing and new landscaping along the fence shall be irrigated and maintained. **(P)**
  6. If the fence is located within the parking lot, all parking spaces outside of the fence perimeter will be required to be reconstructed as apart of the landscaped buffer. **(P)**
  7. **(P)** = Planning

# ALTA / ACSM LAND TITLE SURVEY

## 1428 FALCON DRIVE

### MILPITAS, CALIFORNIA

#### LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SANTA CLARA, AND DESCRIBED AS FOLLOWS:

PARCEL ONE:  
PARCEL 1A IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON DECEMBER 10, 1997, IN BOOK 697 OF MAPS PAGES 17 AND 18.

PARCEL TWO:  
PARCEL 1B IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON DECEMBER 10, 1997, IN BOOK 697 OF MAPS PAGES 17 AND 18.

PARCEL THREE:  
A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PRIVATE STORM DRAIN, AS GRANTED BY DOCUMENT RECORDED DECEMBER 4, 1997 UNDER SERIES NO. 13963590, OFFICIAL RECORDS, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCELS 1 AND 11, IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SAID PARCELS ARE SHOWN ON THAT CERTAIN MAP ENTITLED, "PARCEL MAP, THE GREAT MALL," FILED DECEMBER 27, 1993 IN BOOK 652 OF MAPS, AT PAGES 35 THROUGH 48, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT DISTANT NORTH 86° 32' 48" EAST 60.49 FEET FROM THE NORTHERLY TERMINUS OF THAT CERTAIN COURSE LABELED AS "NORTH 13° 23' 40" WEST 170.38 FEET" AS DESCRIBED IN THE DEED RECORDED SEPTEMBER 22, 1987 AS SERIAL NO. 9440154, SANTA CLARA COUNTY RECORDS, STATE OF CALIFORNIA AND THERE TERMINATING AT SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 34° 10' 40" WEST 208.78 FEET; THENCE SOUTH 23° 00' 30" EAST 284.37 FEET AND THERE TERMINATING.

EXCEPTING THEREFROM THAT PORTION OF SAID 10 FOOT STRIP WHICH LIES WITHIN SAID PARCEL 1 (652 MAPS 35-36).

PARCEL FOUR:  
A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PRIVATE STORM DRAIN, AS GRANTED BY DOCUMENT RECORDED DECEMBER 4, 1997 UNDER SERIES NO. 13963591, OFFICIAL RECORDS, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 11, IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SAID PARCEL IS SHOWN ON THAT CERTAIN MAP ENTITLED, "PARCEL MAP, THE GREAT MALL," FILED DECEMBER 27, 1993 IN BOOK 652 OF MAPS, AT PAGES 35 THROUGH 48, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT DISTANT NORTH 86° 32' 48" EAST 60.49 FEET FROM THE SOUTHEASTERLY TERMINUS OF THAT CERTAIN COURSE LABELED AS "NORTH 23° 00' 30" WEST 229.47 FEET" AS DESCRIBED IN THE DEED RECORDED SEPTEMBER 22, 1987 AS SERIAL NO. 9440154, SANTA CLARA COUNTY RECORDS, STATE OF CALIFORNIA AND THERE TERMINATING AT SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 76° 34' 43" EAST 4.91 FEET TO THE NORTHWESTERLY LINE OF PARCEL 1, AS SHOWN ON SAID MAP AND THERE TERMINATING.

THE SIDELINES OF THE ABOVE DESCRIBED EASEMENT SHALL BE LENGTHENED OR SHORTENED SO AS TO TERMINATE AT SAID NORTHWESTERLY LINE.

PARCEL FIVE:  
A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PRIVATE STORM DRAIN, AS GRANTED BY DOCUMENT RECORDED DECEMBER 4, 1997 UNDER SERIES NO. 13963592, OFFICIAL RECORDS, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 11, IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SAID PARCEL IS SHOWN ON THAT CERTAIN MAP ENTITLED, "PARCEL MAP, THE GREAT MALL," FILED DECEMBER 27, 1993 IN BOOK 652 OF MAPS, AT PAGES 35 THROUGH 48, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT DISTANT NORTH 86° 32' 48" EAST 60.49 FEET FROM THE SOUTHEASTERLY TERMINUS OF THAT CERTAIN COURSE LABELED AS "NORTH 23° 00' 30" WEST 229.47 FEET" AS DESCRIBED IN THE DEED RECORDED SEPTEMBER 22, 1987 AS SERIAL NO. 9440154, SANTA CLARA COUNTY RECORDS, STATE OF CALIFORNIA AND THERE TERMINATING AT SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 76° 34' 43" EAST 4.91 FEET TO THE NORTHWESTERLY LINE OF PARCEL 1, AS SHOWN ON SAID MAP AND THERE TERMINATING.

THE SIDELINES OF THE ABOVE DESCRIBED EASEMENT SHALL BE LENGTHENED OR SHORTENED SO AS TO TERMINATE AT SAID NORTHWESTERLY LINE.

PARCEL SIX:  
A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PRIVATE STORM DRAIN, AS GRANTED BY DOCUMENT RECORDED DECEMBER 4, 1997 UNDER SERIES NO. 13963593, OFFICIAL RECORDS, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 11, IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SAID PARCEL IS SHOWN ON THAT CERTAIN MAP ENTITLED, "PARCEL MAP, THE GREAT MALL," FILED DECEMBER 27, 1993 IN BOOK 652 OF MAPS, AT PAGES 35 THROUGH 48, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT DISTANT NORTH 86° 32' 48" EAST 60.49 FEET FROM THE SOUTHEASTERLY TERMINUS OF THAT CERTAIN COURSE LABELED AS "NORTH 23° 00' 30" WEST 229.47 FEET" AS DESCRIBED IN THE DEED RECORDED SEPTEMBER 22, 1987 AS SERIAL NO. 9440154, SANTA CLARA COUNTY RECORDS, STATE OF CALIFORNIA AND THERE TERMINATING AT SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 76° 34' 43" EAST 4.91 FEET TO THE NORTHWESTERLY LINE OF PARCEL 1, AS SHOWN ON SAID MAP AND THERE TERMINATING.

EXCEPTING THEREFROM THAT PORTION OF SAID STORM DRAIN EASEMENT THAT LIES WITHIN SAID PARCEL 1 (652 MAPS 35-48), AS SHOWN ON EXHIBIT 'B'

PARCEL SEVEN:  
A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PRIVATE STORM DRAIN, AS GRANTED BY DOCUMENT RECORDED DECEMBER 4, 1997 UNDER SERIES NO. 13963594, OFFICIAL RECORDS, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 11, IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SAID PARCEL IS SHOWN ON THAT CERTAIN MAP ENTITLED, "PARCEL MAP, THE GREAT MALL," FILED DECEMBER 27, 1993 IN BOOK 652 OF MAPS, AT PAGES 35 THROUGH 48, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE SOUTHEASTERLY TERMINUS OF THAT CERTAIN COURSE LABELED AS "NORTH 23° 00' 30" WEST 229.47 FEET" AS DESCRIBED IN THE DEED RECORDED SEPTEMBER 22, 1987 AS SERIAL NO. 9440154, SANTA CLARA COUNTY RECORDS, STATE OF CALIFORNIA AND THERE TERMINATING AT SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 76° 34' 43" EAST 4.91 FEET TO THE NORTHWESTERLY LINE OF PARCEL 1, AS SHOWN ON SAID MAP AND THERE TERMINATING.

EXCEPTING THEREFROM THAT PORTION OF SAID STORM DRAIN EASEMENT THAT LIES WITHIN SAID PARCEL 1 (652 MAPS 35-48), AS SHOWN ON EXHIBIT 'B'

PARCEL EIGHT:  
A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PRIVATE STORM DRAIN, AS GRANTED BY DOCUMENT RECORDED DECEMBER 4, 1997 UNDER SERIES NO. 13963595, OFFICIAL RECORDS, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 11, IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SAID PARCEL IS SHOWN ON THAT CERTAIN MAP ENTITLED, "PARCEL MAP, THE GREAT MALL," FILED DECEMBER 27, 1993 IN BOOK 652 OF MAPS, AT PAGES 35 THROUGH 48, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE SOUTHEASTERLY TERMINUS OF THAT CERTAIN COURSE LABELED AS "NORTH 23° 00' 30" WEST 229.47 FEET" AS DESCRIBED IN THE DEED RECORDED SEPTEMBER 22, 1987 AS SERIAL NO. 9440154, SANTA CLARA COUNTY RECORDS, STATE OF CALIFORNIA AND THERE TERMINATING AT SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 76° 34' 43" EAST 4.91 FEET TO THE NORTHWESTERLY LINE OF PARCEL 1, AS SHOWN ON SAID MAP AND THERE TERMINATING.

EXCEPTING THEREFROM THAT PORTION OF SAID STORM DRAIN EASEMENT THAT LIES WITHIN SAID PARCEL 1 (652 MAPS 35-48), AS SHOWN ON EXHIBIT 'B'

PARCEL NINE:  
A NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PRIVATE STORM DRAIN, AS GRANTED BY DOCUMENT RECORDED DECEMBER 4, 1997 UNDER SERIES NO. 13963596, OFFICIAL RECORDS, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A PORTION OF PARCEL 11, IN THE CITY OF MILPITAS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AS SAID PARCEL IS SHOWN ON THAT CERTAIN MAP ENTITLED, "PARCEL MAP, THE GREAT MALL," FILED DECEMBER 27, 1993 IN BOOK 652 OF MAPS, AT PAGES 35 THROUGH 48, INCLUSIVE, IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, SAID PORTION BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A STRIP OF LAND 10.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE SOUTHEASTERLY TERMINUS OF THAT CERTAIN COURSE LABELED AS "NORTH 23° 00' 30" WEST 229.47 FEET" AS DESCRIBED IN THE DEED RECORDED SEPTEMBER 22, 1987 AS SERIAL NO. 9440154, SANTA CLARA COUNTY RECORDS, STATE OF CALIFORNIA AND THERE TERMINATING AT SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 76° 34' 43" EAST 4.91 FEET TO THE NORTHWESTERLY LINE OF PARCEL 1, AS SHOWN ON SAID MAP AND THERE TERMINATING.

EXCEPTING THEREFROM THAT PORTION OF SAID STORM DRAIN EASEMENT THAT LIES WITHIN SAID PARCEL 1 (652 MAPS 35-48), AS SHOWN ON EXHIBIT 'B'

APP: 086-24-041 AND 086-24-042

#### EXCEPTIONS

1. AN EASEMENT FOR THE PURPOSE OF ONE 6" PIPELINE FOR THE TRANSMISSION OF NITROGEN GAS, RECORDED: NOVEMBER 30, 1989 IN BOOK 1183, PAGE 275, OFFICIAL RECORDS, AFFECTS: THE NORTH-EASTERLY 5 FEET OF PARCELS ONE AND TWO.

2. AN EASEMENT FOR THE PURPOSE OF PUBLIC SERVICE UTILITY EASEMENT (P.S.U.E.) AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED PARCEL MAP FILED ON DECEMBER 27, 1993 IN BOOK 652 PAGES 35 THROUGH 48, INCLUSIVE OF MAPS, WHICH AFFECTS THE NORTHWESTERLY, WESTERLY AND SOUTHWESTERLY 10 FEET OF PARCEL ONE; THE SOUTHWESTERLY, WESTERLY AND WESTERLY 10 FEET OF PARCEL TWO AND PORTIONS OF PARCELS THREE THROUGH TEN INCLUSIVE.

3. AN EASEMENT OR OTHER PROVISIONS FOR THE PURPOSE OF 25 FOOT WIDE LANDSCAPE EASEMENT (L.E.) AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED PARCEL MAP FILED IN BOOK 652 PAGES 35 THROUGH 48, INCLUSIVE OF MAPS, WHICH AFFECTS THE NORTHWESTERLY, WESTERLY AND SOUTHWESTERLY 25 FEET OF PARCEL ONE; THE SOUTHWESTERLY, WESTERLY AND WESTERLY 25 FEET OF PARCEL TWO AND PORTIONS OF PARCELS THREE THROUGH TEN INCLUSIVE.

4. AN EASEMENT OR OTHER PROVISIONS FOR THE PURPOSE OF PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF ALL PARCELS SHOWN ON SAID MAP AND PARCEL 1 OF PARCEL MAP FILED IN BOOK 570 PAGES 39 THROUGH 41 INCLUSIVE OF MAPS AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED PARCEL MAP FILED IN BOOK 652 PAGES 35 THROUGH 48, INCLUSIVE OF MAPS, WHICH AFFECTS PARCEL NINE. (BLANKET EASEMENT OVER ROADS AND TRAFFIC WAYS)

5. AN EASEMENT OR OTHER PROVISIONS FOR THE PURPOSE OF 10 FOOT PRIVATE STORM DRAIN EASEMENT AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED PARCEL MAP FILED IN BOOK 652 PAGES 35 THROUGH 48, INCLUSIVE OF MAPS, WHICH AFFECTS PARCELS THREE THROUGH NINE INCLUSIVE.

6. AN EASEMENT OR OTHER PROVISIONS FOR THE PURPOSE OF 10 FOOT PRIVATE UTILITY EASEMENT FOR THE BENEFIT OF ALL PARCELS AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED PARCEL MAP FILED IN BOOK 652 PAGES 35 THROUGH 48, INCLUSIVE OF MAPS, WHICH AFFECTS PARCELS TWO THROUGH NINE INCLUSIVE.

7. THE FOLLOWING RECITALS CONTAINED ON SAID PARCEL MAP FILED IN BOOK 652 PAGES 35 THROUGH 42, INCLUSIVE OF MAPS:

"WE HEREBY RESERVE PRIVATE LANDSCAPE EASEMENTS (L.E.); PRIVATE ACCESS EASEMENTS (P.A.E.); PRIVATE UTILITY EASEMENTS (P.U.E.) OVER PARCELS SHOWN ON THIS MAP FOR THE BENEFIT OF THESE PARCELS INDICATED ON EACH EASEMENT. SAID EASEMENTS ARE TO BE KEPT FREE AND CLEAR FROM ALL BUILDINGS AND STRUCTURES OF ANY KIND EXCEPT PRIVATE UTILITY STRUCTURES, LANDSCAPING, IRRIGATION SYSTEMS AND APPLIANCES. THERE TO, MAINTENANCE LIABILITY FOR THE PRIVATE UTILITY SYSTEMS AND SURFACE IMPROVEMENTS WILL REMAIN WITH THE OWNERS OF THE PARCELS SHOWN ON THIS MAP. THEIR SUCCESSORS, HEIRS, AND ASSIGNS, AND THEIR RESPONSIBILITY SHALL BE ADDRESSED AND STIPULATED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE HEREIN RECORDED PARCEL MAP."

8. AN EASEMENT OR OTHER PROVISIONS FOR THE PURPOSE OF 10 FOOT PRIVATE UTILITY EASEMENT FOR THE BENEFIT OF ALL PARCELS AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED PARCEL MAP FILED IN BOOK 652 PAGES 35 THROUGH 48, INCLUSIVE OF MAPS AND AFFECTING A PORTION OF PARCELS THREE THROUGH NINE INCLUSIVE.

9. THE FOLLOWING RECITALS CONTAINED ON SAID PARCEL MAP FILED IN BOOK 652 PAGES 35 THROUGH 42, INCLUSIVE OF MAPS:

"WE HEREBY RESERVE PRIVATE LANDSCAPE EASEMENTS (L.E.); PRIVATE ACCESS EASEMENTS (P.A.E.); PRIVATE UTILITY EASEMENTS (P.U.E.) OVER PARCELS SHOWN ON THIS MAP FOR THE BENEFIT OF THESE PARCELS INDICATED ON EACH EASEMENT. SAID EASEMENTS ARE TO BE KEPT FREE AND CLEAR FROM ALL BUILDINGS AND STRUCTURES OF ANY KIND EXCEPT PRIVATE UTILITY STRUCTURES, LANDSCAPING, IRRIGATION SYSTEMS AND APPLIANCES. THERE TO, MAINTENANCE LIABILITY FOR THE PRIVATE UTILITY SYSTEMS AND SURFACE IMPROVEMENTS WILL REMAIN WITH THE OWNERS OF THE PARCELS SHOWN ON THIS MAP. THEIR SUCCESSORS, HEIRS, AND ASSIGNS, AND THEIR RESPONSIBILITY SHALL BE ADDRESSED AND STIPULATED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE HEREIN RECORDED PARCEL MAP."

10. UNRECORDED ELECTRIC LINE EASEMENT; DISCLOSED BY DEED RECORDED DECEMBER 21, 1984 AS INSTRUMENT NO. 8285980 IN BOOK 4133 PAGE 308 OF OFFICIAL RECORDS, AFFECTS: THE LAND DESCRIBED HEREIN (EXCEPT BY WAY OF FALCON DRIVE); RECORDED: MAY 5, 1994 IN BOOK 1429 PAGES 1153 AND 1159 OF OFFICIAL RECORDS, AFFECTS: PARCEL TWO.

11. AN EASEMENT FOR CONDUCTING SUCH ENVIRONMENTAL INVESTIGATIONS AND REPORTS, INCLUDING THE RIGHT TO ACCESS AND INSTAL AND OPERATE ABOVE AND BELOW GROUND WELLS, PIPES, RECOVERY SYSTEMS, PUMPING STATIONS AND FILTRATION SYSTEMS OR MAKE EXCAVATIONS ON THE PROPERTY, AS NOW EXERCISED OR AS DEEMED NECESSARY, APPROPRIATE OR DESIRABLE IN THE FUTURE AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT RECORDED DECEMBER 29, 1993 IN BOOK N224 PAGE 0519 OF OFFICIAL RECORDS. (NOT PLOTTED; BLANKET EASEMENT OVER ENTIRE PROPERTY)

12. LACK OF ABUTTER'S RIGHTS OF ACCESS TO AND FROM MONTAQUE EXPRESSWAY, ADJOINING THE LAND DESCRIBED HEREIN (EXCEPT BY WAY OF FALCON DRIVE); RECORDED: MAY 5, 1994 IN BOOK 1429 PAGES 1153 AND 1159 OF OFFICIAL RECORDS, AFFECTS: PARCEL TWO.

13. AN EASEMENT FOR THE PURPOSES OF PRIVATE LANDSCAPE AND MAINTENANCE, RESERVING TO THE GRANTOR, ITS SUCCESSORS AND ASSIGNS, THE RIGHT OF INGRESS AND EGRESS FOR PEDESTRIANS AND VEHICLES OVER AND THROUGH SAID LANDSCAPE EASEMENT TO AND FROM FALCON DRIVE, WHICH RIGHT RESERVED SHALL INCLUDE THE RIGHT TO CONSTRUCT, REPAIR, MAINTAIN OR REPLACE DRIVEWAYS OVER AND THROUGH SAID EASEMENT; RECORDED: MARCH 28, 1993 IN BOOK N800 PAGE 0233, OFFICIAL RECORDS, AFFECTS: A PORTION OF SAID LAND MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT AND PARCELS ONE AND TWO.

14. AN EASEMENT FOR THE SOLE PURPOSE OF STORM DRAINAGE; RECORDED: MARCH 28, 1993 AS INSTRUMENT NO. 12842762 IN BOOK N800 PAGE 0272, OFFICIAL RECORDS, SAID MATTER AFFECTS A PORTION OF SAID LAND MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT AND PARCELS ONE THROUGH NINE INCLUSIVE.

15. AN EASEMENT FOR THE PURPOSE OF A PRIVATE STORM DRAIN SYSTEM; RECORDED: DECEMBER 4, 1997, AS INSTRUMENT NO. 13963584, OFFICIAL RECORDS, SAID MATTER AFFECTS A PORTION OF SAID LAND MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT AND PARCELS ONE AND TWO INCLUSIVE.

16. AN EASEMENT OR OTHER PROVISIONS FOR THE PURPOSE OF INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1B AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED PARCEL MAP FILED IN BOOK 697 PAGES 17 AND 18 OF MAPS, WHICH AFFECTS A PORTION OF PARCEL ONE.

17. MATTERS CONTAINED IN AN INSTRUMENT ENTITLED "MAINTENANCE AND EASEMENT AGREEMENT FOR THE GREAT MALL OF THE BAY AREA" RECORDED: DECEMBER 10, 1997 AS INSTRUMENT NO. 13970852, OFFICIAL RECORDS, AMENDMENT NO. 1; RECORDED AUGUST 16, 1999 AS INSTRUMENT NO. 14940970 OF O.R. AMENDMENT NO. 2; RECORDED SEPTEMBER 15, 2000 AS INSTRUMENT NO. 15392526 OF O.R.

18. AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS; RECORDED: DECEMBER 11, 1997, UNDER SERIES NO. 13973979, OFFICIAL RECORDS, AFFECTS: THAT PORTION OF PARCEL ONE SHOWN ON PARCEL MAP BOOK 697 PAGES 17 AND 18 AS "INGRESS/EGRESS EASEMENT".

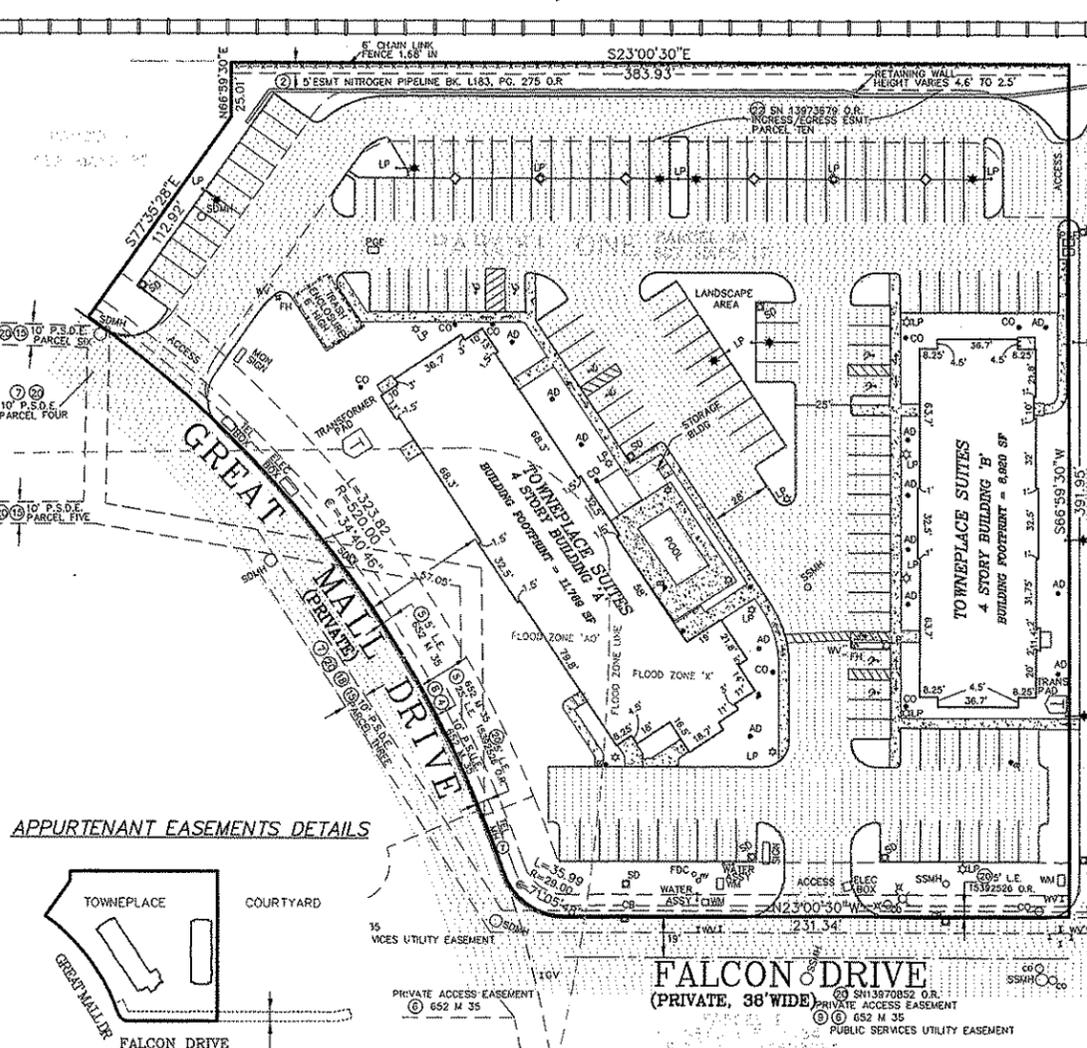
○ DESIGNATES PLOTTED ON SURVEY.

#### PARCEL ONE METES & BOUNDS DESCRIPTION

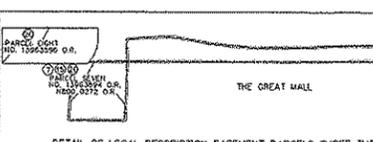
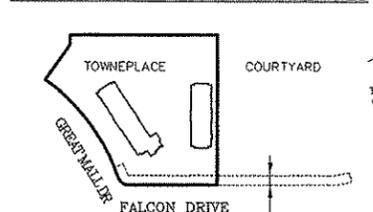
PARCEL ONE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST NORTH-EASTERLY CORNER OF PARCEL 1A (697 M 17); THENCE SOUTH 86° 59' 30" WEST 281.95 FEET TO THE SOUTH LINE OF PARCEL 1A SAID LINE ALSO BEING THE NORTH BOUNDARY LINE OF FALCON DRIVE; THENCE NORTH 23° 00' 30" WEST 231.34 FEET ALONG THE FALCON DRIVE RIGHT-OF-WAY; THENCE ALONG A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 29.00 FEET, THROUGH A CENTRAL ANGLE OF 71° 05' 48" AN ARC DISTANCE OF 53.89 FEET TO A POINT OF REVERSE CURVATURE ON THE EASTERN RIGHT-OF-WAY OF GREAT MALL DRIVE; THENCE ALONG THE REVERSE CURVE TO THE LEFT, ALSO ALONG SAID RIGHT-OF-WAY, HAVING A RADIUS OF 520.00 FEET, THROUGH A CENTRAL ANGLE OF 34° 40' 46" AN ARC DISTANCE OF 323.82 FEET; THENCE LEAVING GREAT MALL DRIVE, RIGHT-OF-WAY SOUTH 77° 20' 20" EAST 112.92 FEET; THENCE NORTH 61° 59' 30" EAST 25.01 FEET TO A POINT ON THE NORTH LINE OF PARCEL 1A (697 M 17); THENCE ALONG THE NORTH LINE OF PARCEL 1A SOUTH 23° 00' 30" EAST 383.93 FEET TO THE POINT OF BEGINNING.

THE LAND AREA OF THE SUBJECT PROPERTY IS 137,935 SQUARE FEET OR 3.166 ACRES, MORE OR LESS.

THE PROPERTY DESCRIBED AND SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN THE STEWART TITLE GUARANTY COMPANY'S COMMITMENT NUMBER 356831A, DATED JANUARY 5, 2011.



#### APPURTENANT EASEMENTS DETAILS



#### PARCEL ONE FEMA FLOOD ZONE DESIGNATION

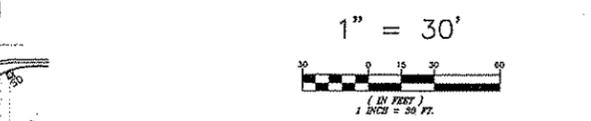
THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE 'AO' OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 060344-0057H, BEARING AN EFFECTIVE DATE MAY 16, 2006.

ZONE 'AO' - AREAS BETWEEN LIMITS OF 100-YEAR SHALLOW FLOODING WHERE THE DEPTHS ARE BETWEEN ONE AND THREE FEET.

THE DASHED LINE ON THE SURVEY PLOT INDICATES APPROXIMATE LOCATION OF THE FLOOD ZONE LINE SEPARATING ZONES 'AO' AND 'X' AS INTERPOLATED FROM RATE MAP CITED ABOVE.

#### LEGEND

- P.U.E. PUBLIC UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- PG&E. PACIFIC GAS & ELECTRIC
- FDC. FIRE DEPARTMENT CONNECTION
- AD. AREA DRAIN
- HL. HARD LIGHT
- SD. STORM DRAIN / SANITARY MANHOLE
- SDCB. STORM DRAIN CATCH BASIN
- FD. FIRE HYDRANT
- W. WATER METERS
- WV. WATER VALVES
- LP. LIGHT POLE
- T. TRANSFORMER
- CONCRETE FEATURES
- EXISTING PAYMENT



RECEIVED

JAN 17 2013

CITY OF MILPITAS  
PLANNING DIVISION

LOCATION MAP  
NOT TO SCALE

TYPE OF SPACE	TOTAL EXISTING
REGULAR	144
HANDICAP	8
TOTAL	152

#### BASIS OF BEARINGS

THE MONUMENT LINE ON GREAT MALL PARKWAY AS SHOWN ON PARCEL MAP ENTITLED "PARCEL MAP, THE GREAT MALL," FILED FOR RECORD ON DECEMBER 27, 1993, IN BOOK 652 OF PARCEL MAPS AT PAGE 35 THRU 48, SANTA CLARA COUNTY RECORDS, TAKEN AS NORTH 68°03'00" WEST, HAS BEEN USED AS BASIS OF BEARING FOR THIS SURVEY.

#### SURVEYOR'S CERTIFICATION

I, DAVID O. ISAISON, A DELAWARE LIMITED LIABILITY COMPANY; WELLS FARGO BANK, NATIONAL ASSOCIATION, ITS SUCCESSORS AND ASSIGNS; AND STEWART TITLE GUARANTEE COMPANY.

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY SUPERVISION IN ACCORDANCE WITH THE MINIMUM STANDARD TITLE REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND MSPS IN 2005 AND INCLUDES ITEMS 2, 3, 4, 6, 7A, 7B1, 7B, 8, 9, 10, 11B AND 13 OF TABLE A THEREOF AND TO THE EXTENT POSSIBLE, SHOWS THE LOCATION OF ALL SETBACK LINES LISTED PURSUANT TO ITEM #1 TABLE A, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND MSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNLESS FURTHER CERTIFIED THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE POSITIVE ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATE: 01-25-11  
DESIGNED BY: KLV  
DRAWN BY: KLV  
CHECKED BY: DO  
JOB NO.: 20101  
SHEET 1 OF 2

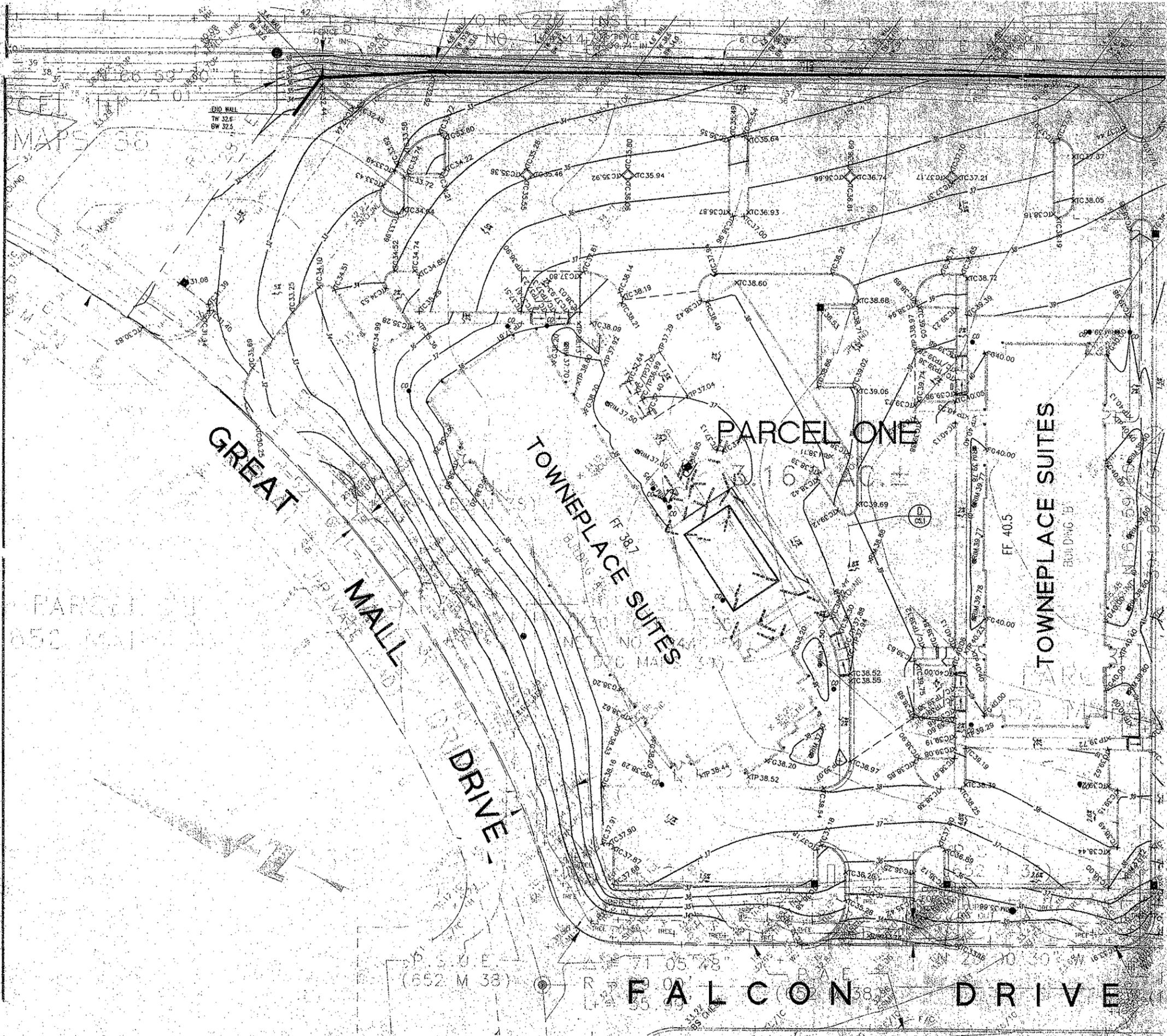
ALTA / ACSM LAND TITLE SURVEY UPDATE

**MARRIOTT TOWNEPLACE SUITES**  
1428 FALCON DRIVE  
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

**Isakson & Assoc. Inc.**  
civil engineering and land surveying  
2250 Tropicana Valley Road, Suite C, Walnut Creek, CA 94598 Phone: (925) 937-9333





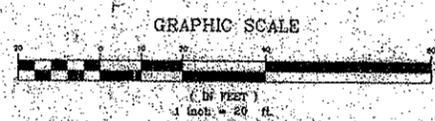


**LEGEND**

- 37 — CONTOUR ELEVATION
- — — — — GRADE BREAK
- — — — — DIRECTION OF SURFACE FLOW
- FF 43.0 FINISHED FLOOR ELEVATION
- + TC 41.65 TOP OF CURB ELEVATION
- + TP 41.76 TOP OF PAVEMENT ELEVATION
- + RM 41.21 INLET RISE ELEVATION
- + FG 42.50 FINISHED GRADE ELEVATION

**NOTES**

1. COURTYARD PROJECT AND TOWNEPLACE SUITES PROJECT WILL BE CONSTRUCTED SIMULTANEOUSLY.
2. STORM DRAIN INLETS TO BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH BMP E6054 OF THE SWPPP (SEE NOTE 3).  
FOSSIL FILTERS WILL BE INSTALLED IN ALL STORM DRAIN INLETS PRIOR TO COMPLETION OF CONSTRUCTION.  
ALL STORM DRAIN INLETS WILL BE STERILIZED PER CITY OF MILPITAS REQUIREMENTS.
3. "STORM WATER POLLUTION PREVENTION PLAN AND MONITORING PROGRAM FOR COURTYARD BY MARRIOTT AND MARRIOTT TOWNEPLACE SUITES, GREAT MALL OF THE BAY AREA, MILPITAS, CALIFORNIA" BRIAN KANDAS FOULK, SEPTEMBER 15, 1997.
4. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY KLEINFELDER, INC. FILE NO. 124-3024-10/001, DATED MARCH 19, 1997, FOR THIS PROJECT. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
5. THE GEOTECHNICAL ENGINEER SHALL BE NOTICED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
6. THE GEOTECHNICAL ENGINEER SHALL BE PRESENT AT THE SITE DURING GRADING OPERATIONS AND SHALL PERFORM ALL TESTING DEEMED NECESSARY. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL GRADING OPERATIONS.
7. UPON COMPLETION OF THE GRADING OPERATIONS, THE GEOTECHNICAL ENGINEER SHALL PROVIDE A WRITTEN REPORT DOCUMENTING THE RESULTS OF THE GEOTECHNICAL ENGINEER'S SITE OBSERVATIONS AND TESTING ACTIVITIES PERFORMED DURING THE GRADING OPERATIONS.
8. UPON COMPLETION OF BUILDING CONSTRUCTION, CONTRACTOR SHALL PROMOTE FEMA ELEVATION CERTIFICATE.



NO.	DATE	DESCRIPTION

**GRADING PLAN**  
 FILE NAME: 1275001.dwg  
 PROJECT NO: 976002-10  
 DRAWN BY: JPL/JMS  
 ISSUE DATE: 7/18/97  
 REVISION: 1 (1/11/98)



**JOHNSON BRAND DESIGN GROUP, INC.**  
 ARCHITECTURE AND PLANNING  
 150 ANDOVER PARK  
 EAST SUITE 501  
 SEATTLE, WA 98148  
 TEL: 206-431-7900  
 FAX: 206-431-7900



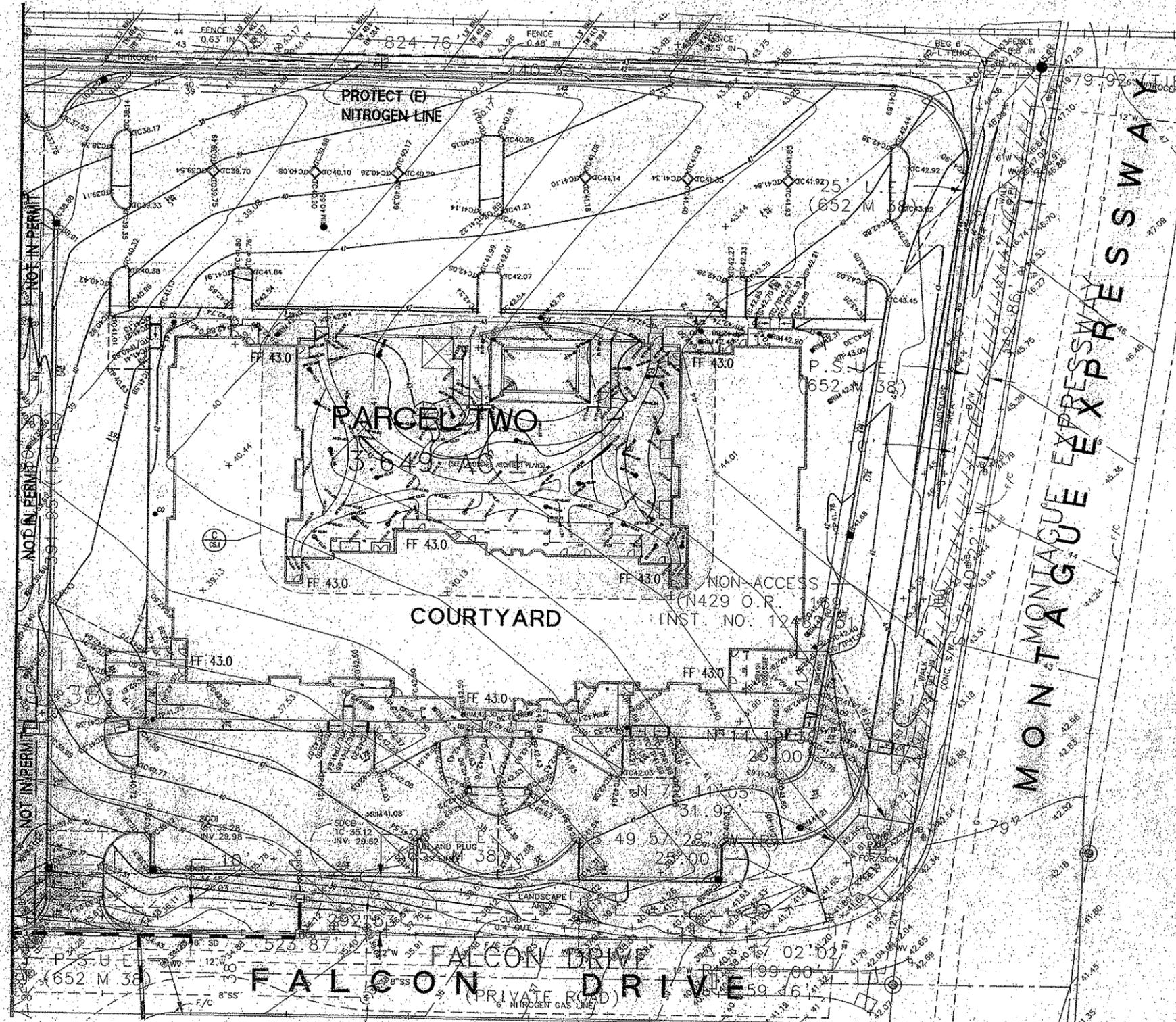
**Brian Kandas Foulk**  
 CIVIL ENGINEER  
 2757 N. MAIN STREET, SUITE 200  
 MILPITAS, CALIFORNIA 95035  
 PHONE: (415) 944-2202 FAX: (415) 944-2202



**TOWNEPLACE SUITES by MARRIOTT**  
 MILPITAS, CALIFORNIA  
 FOR: MARRIOTT INTERNATIONAL, INC. DEPARTMENT 954 33  
 MARRIOTT DRIVE, WASHINGTON, D. C. 20005 (800) 380-9000

RECEIVED  
 DEC - 4 1997  
 KOLL CONSTRUCTION

C3.1



- LEGEND**
- 37 — CONTOUR ELEVATION
  - — GRADE BREAK
  - — DIRECTION OF SURFACE FLOW
  - FF 43.0 FINISHED FLOOR ELEVATION
  - + TC 41.68 TOP OF CURB ELEVATION
  - + TP 41.78 TOP OF PAVEMENT ELEVATION
  - + RM 41.21 INLET RM ELEVATION
  - + FG 42.50 FINISHED GRADE ELEVATION

- NOTES:**
1. COURTYARD PROJECT AND TOWNSHIP SITES PROJECT WILL BE CONSTRUCTED SIMULTANEOUSLY.
  2. STORM DRAIN INLETS TO BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH BMP 15254 OF THE SWPPP (SEE NOTE 3). FOSSIL FILTERS WILL BE INSTALLED IN ALL STORM DRAIN INLETS PRIOR TO COMPLETION OF CONSTRUCTION. ALL STORM DRAIN INLETS WILL BE STICKERED PER CITY OF MARIETTA REQUIREMENTS.
  3. STORM WATER POLLUTION PREVENTION PLAN AND MONITORING PROGRAM FOR COURTYARD BY MARRIOTT AND MARRIOTT TOWNSHIP SITES, GREAT HALL OF THE BAY AREA, MARIETTA, CALIFORNIA, BRAN KANGAS FOLEY, SEPTEMBER 15, 1997.
  4. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY KLEINFELDER, INC. FILE NO. 13-3004-10/00, DATED MARCH 10, 1997, FOR THIS PROJECT. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
  5. THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
  6. THE GEOTECHNICAL ENGINEER SHALL BE PRESENT AT THE SITE DURING GRADING OPERATIONS AND SHALL PERFORM ALL TESTING DEMAND NECESSARY. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL GRADING OPERATIONS.
  7. UPON COMPLETION OF THE GRADING OPERATIONS, THE GEOTECHNICAL ENGINEER SHALL PROVIDE A WRITTEN REPORT DOCUMENTING THE RESULTS OF THE GEOTECHNICAL ENGINEER'S SITE OBSERVATIONS AND TESTING ACTIVITIES PERFORMED DURING SITE GRADING OPERATIONS.
  8. UPON COMPLETION OF BUILDING CONSTRUCTION, CONTRACTOR SHALL PROVIDE FEMA ELEVATION CERTIFICATE.



RECEIVED  
DEC 16 1997  
CITY OF MARIETTA

NO.	DATE	BY	DESCRIPTION
1	12-16-97	PAUL DOWLING	GRADING PLAN
2	12-16-97	PAUL DOWLING	CONSTRUCTION



**JOHNSON BRAUND DESIGN GROUP, INC.**  
ARCHITECTURE AND PLANNING  
130 ANDOVER PARK  
EAST SUITE 301  
SEATTLE, WA 98188  
TEL 206 431 7960  
FAX 206 431 7960

**Urban Campus Inc.**  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
2707 N. 19TH STREET, SUITE 200  
MARIETTA, CALIFORNIA 95955  
PHONE (916) 436-3388 FAX (916) 436-3388



**COURTYARD by MARRIOTT**  
MARIETTA, CALIFORNIA  
FOR: MARRIOTT INTERNATIONAL, INC.  
MARRIOTT DRIVE, DEPARTMENT 834437  
WASHINGTON, D. C. 20036

GRADING PLAN  
DATE: 12/16/97  
PROJECT NO: 13-3004-10  
DRAWN BY: JLD/ALS  
ISSUE DATE: 12/16/97  
REVISION:

C3.1

**COURTYARD BY MARRIOTT  
FENCE LANDSCAPING**

1480 FALCON DR.  
MILPITAS, CA

ISSUE	DATE



**PLANT LIST:**

KEY SYMBOL	SCIENTIFIC NAME	COMMON NAME	DBH (")	HEIGHT (')	SPACING	WATER
Q1	DIANELLA T. VARIETY	YAGHAWI PLANT 14LY	30"	5.0' GAL		MEDIUM
Q2	LANTANA	LANTANA	30"	5.0' GAL	2' x 2' SEC	LOW
Q3	RHAPHIOLEPIS	LEAFY PLANT	30"	5.0' GAL		LOW
Q4	PITTOSPORIUM T. VARIETY	WOOD CRABAPPLE	45"	5.0' GAL		LOW
Q5	DIANELLA T. VARIETY	YAGHAWI PLANT 14LY	30"	5.0' GAL		LOW
Q6	GROUND COVER					
Q7	GROUND COVER					
Q8	GROUND COVER					
Q9	GROUND COVER					
Q10	GROUND COVER					

**KEY NOTES LEGEND**

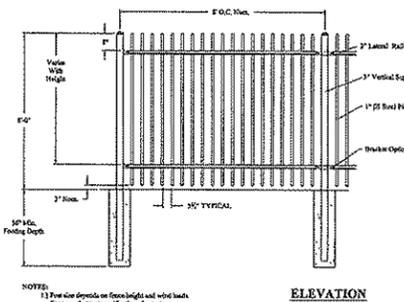
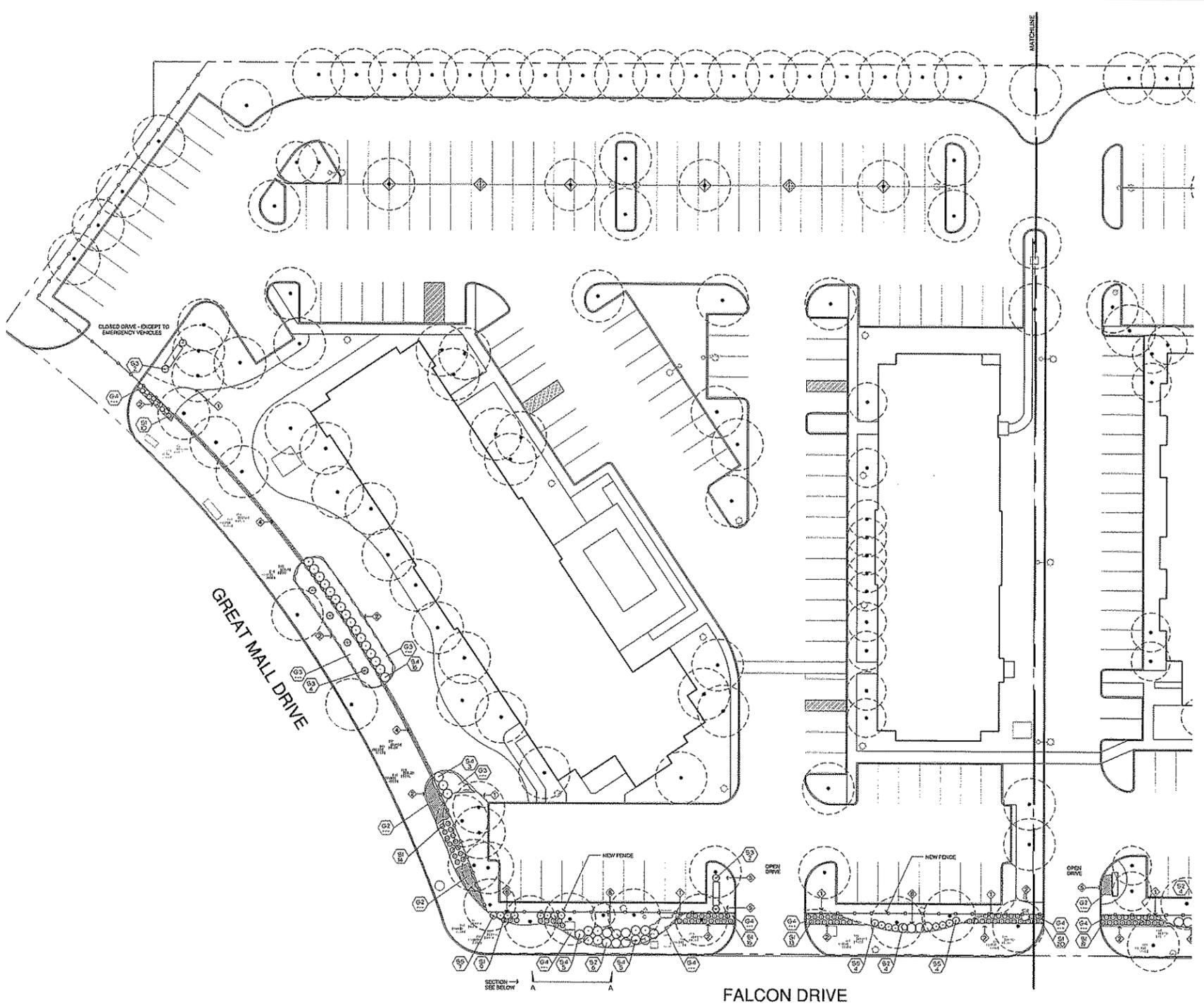
- ⊕ REMOVE EXISTING HEADER BOARD
- ⊕ ADD NEW HEADER BOARD
- ⊕ REMOVE EXISTING LAWN
- ⊕ ADD CONCRETE HOW BOARD, SEE DETAIL XL40 FOR MORE INFORMATION
- ⊕ REMOVE EXISTING PROGRAM SHIELD
- ⊕ REMOVE EXISTING PLANT MATERIAL

**PLANT SYMBOLS**

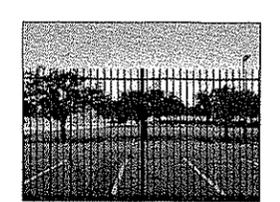
- EXISTING TREE TO REMAIN
- ⊗ EXISTING TREE TO BE REMOVED

**PLANT NOTES:**

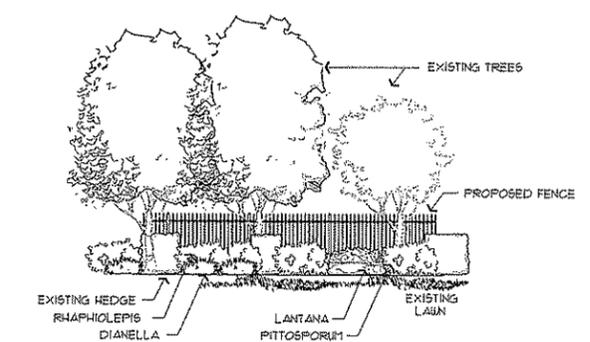
1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN QUANTITIES SHOWN IN THE LEGEND ARE FOR CONFORMANCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2 INCH).
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
10. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS IS TO BE RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
11. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT: 1-800-227-2600



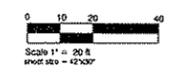
**FENCE ELEVATION**  
NOTES:  
1) Fencing height is shown in feet and inches. See manufacturer specifications for panel, railing, post and setting dimensions.  
2) Available in 3-foot increments.  
3) Fencing shown as example and can be used for landscape options. See product specifications for landscape requirements.



**IMAGE**



**SECTION 'A'**



**PLANTING PLAN**

**L1.0**

ISSUE	DATE

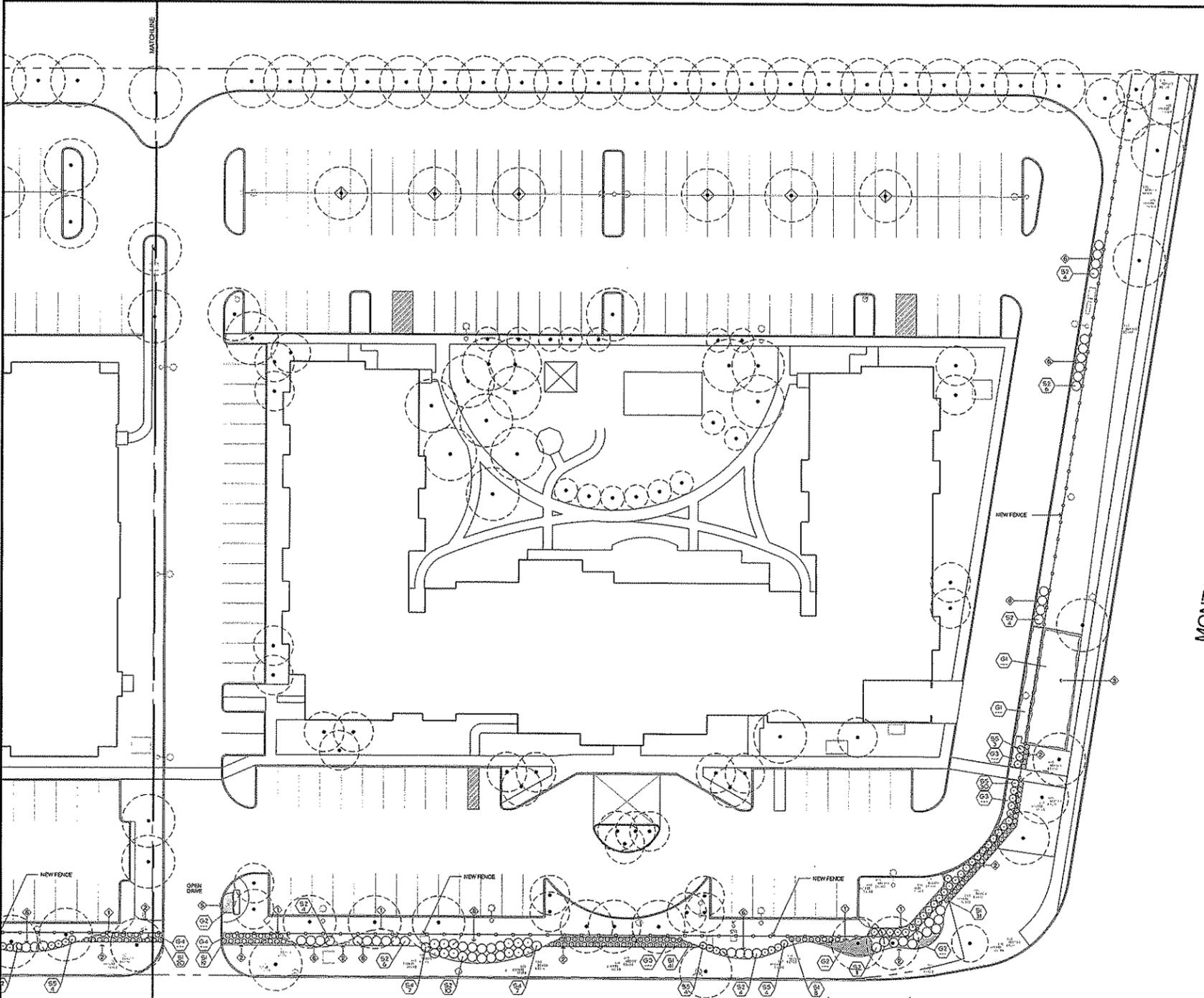


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Approved: *PR*  
Drawn: *RJR/MS* Reviewed: *PR*  
Project No.: 12.69  
Scale: 1"=20'  
Issue Date: 01.04.13

**PLANTING PLAN**

**L1.1**



**PLANT LIST:**

KEY IDENTIFICTION NUMBER	COMMON NAME	PLANT SIZE	QUANTITY	WINDSPEED
01	DIANEIA	2' GAL	10	MEDIUM
02	DIANEIA	2' GAL	10	MEDIUM
03	DIANEIA	2' GAL	10	MEDIUM
04	DIANEIA	2' GAL	10	MEDIUM
05	DIANEIA	2' GAL	10	MEDIUM
06	DIANEIA	2' GAL	10	MEDIUM
07	DIANEIA	2' GAL	10	MEDIUM
08	DIANEIA	2' GAL	10	MEDIUM
09	DIANEIA	2' GAL	10	MEDIUM
10	DIANEIA	2' GAL	10	MEDIUM
11	DIANEIA	2' GAL	10	MEDIUM
12	DIANEIA	2' GAL	10	MEDIUM
13	DIANEIA	2' GAL	10	MEDIUM
14	DIANEIA	2' GAL	10	MEDIUM
15	DIANEIA	2' GAL	10	MEDIUM
16	DIANEIA	2' GAL	10	MEDIUM
17	DIANEIA	2' GAL	10	MEDIUM
18	DIANEIA	2' GAL	10	MEDIUM
19	DIANEIA	2' GAL	10	MEDIUM
20	DIANEIA	2' GAL	10	MEDIUM

**KEY NOTES LEGEND**

- ⊕ REMOVE EXISTING HEAD BOARD
- ⊕ ADD NEW HEAD BOARD
- ⊕ REMOVE EXISTING LAMN
- ⊕ ADD CONCRETE MON BAND. SEE DETAIL SHEET FOR MORE INFORMATION
- ⊕ REMOVE EXISTING FLOORING GRID
- ⊕ REMOVE EXISTING PLANT MATERIAL

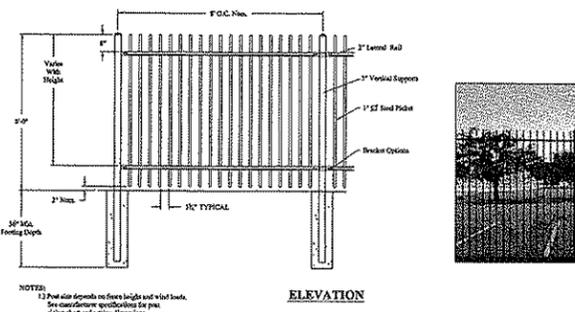
**PLANT SYMBOLS**

- EXISTING TREE TO REMAIN
- ⊗ EXISTING TREE TO BE REMOVED

**PLANT NOTES:**

1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUNDCOVER IN SHRUB AREAS AS NOTED. USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3% SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2% SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2" MIN).
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
10. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
11. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT: 1-800-227-2600

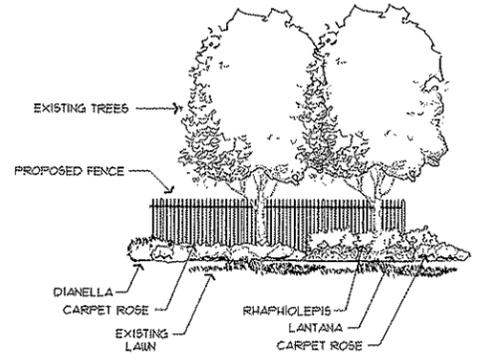
**FALCON DRIVE**



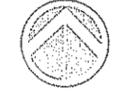
**FENCE ELEVATION**



**IMAGE**



**SECTION 'B'**



**COURTYARD BY MARRIOTT  
FENCE LANDSCAPING**

1480 FALCON DR.  
MILPITAS, CA

ISSUE	DATE



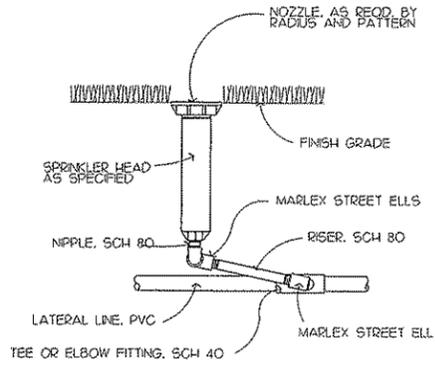
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Approved: *[Signature]*  
 Drawn: PJS/HJC Reviewed: *[Signature]*  
 Project No. 12-09  
 Scale: Issue Date 01.04.13

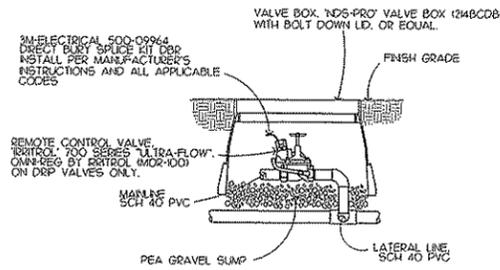
**CONSTRUCTION  
DETAILS**

**L2.0**

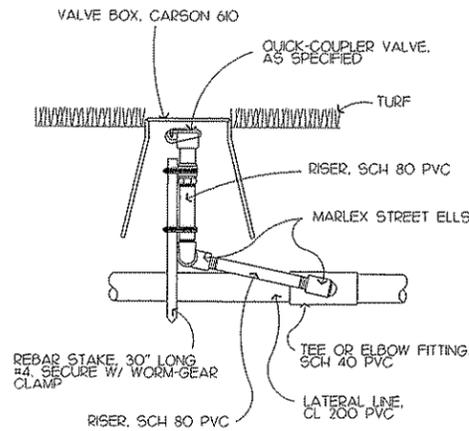
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1 (E) IRRIGATION HEAD DETAIL

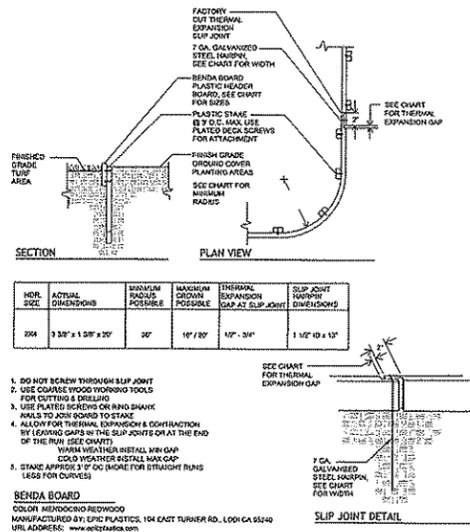


2 (E) CONTROL VALVE DETAIL

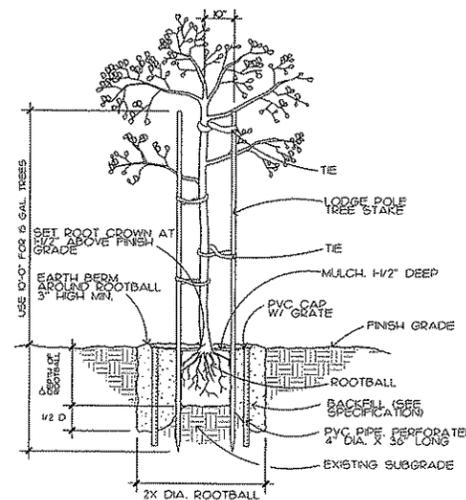


3 (E) QUICK-COUPLER DETAIL

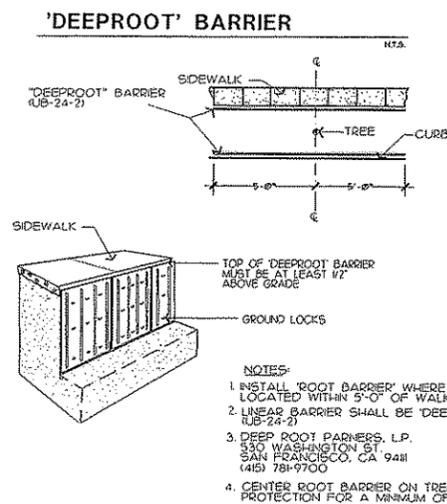
4 NOT USED



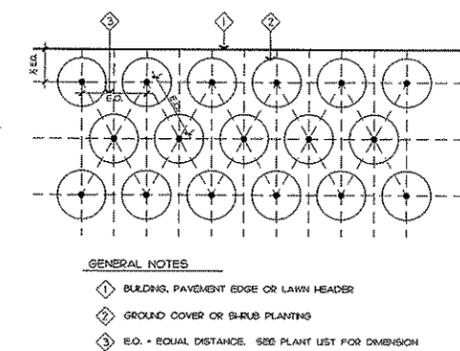
5 'BENDABOARD' LAWN HEADER (OR EQUAL) DETAIL



6 TREE PLANTING DETAIL



7 TREE ROOT BARRIER DETAIL



8 GROUND COVER SPACING

9 NOT USED

LANDSCAPE SPECIFICATIONS

IRRIGATION SPRINKLER SYSTEM AND LANDSCAPE PLANTING

1.0 GENERAL

- A. THE WORK INCLUDES LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK INDICATED IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS.
1. PERFORM WORK IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES AND UNDER CONTINUOUS SUPERVISION OF A COMPETENT FOREMAN CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.
B. PRIOR TO CONSTRUCTION, VERIFY THAT CONTRACT DOCUMENTS REFLECT LATEST REVISIONS, INCLUDING PLAN CHECK REQUIREMENTS.
C. CONSTRUCT IRRIGATION SYSTEM USING MATERIAL AND METHODS CONFORMING TO APPLICABLE PROVISIONS OF UNIFORM PLUMBING CODE, PUBLISHED BY WESTERN PLUMBING OFFICIALS ASSOCIATION, NATIONAL ELECTRICAL CODE, AND OTHER CODES PROPERLY GOVERNING THESE ACTIVITIES AT THE LOCATION OF THE WORK.
1. VERIFY LOCATIONS OF EXISTING UTILITIES WHETHER OR NOT SHOWN IN DRAWINGS. ASSUME RESPONSIBILITY FOR THEIR PROTECTION.
D. THE CONTRACT DOCUMENTS ARE NOT INTENDED TO CONFLICT WITH REQUIREMENTS OF COVERING ORDINANCES WHEN DRAWINGS AND SPECIFICATIONS DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF BETTER QUALITY, HIGHER STANDARD, PROVISIONS OF DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE.
E. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED FOR THE WORK.
F. BEFORE PROCEEDING WITH THE WORK, VERIFY DIMENSIONS AND QUANTITIES. IMMEDIATELY INFORM LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS, AND ACTUAL CONDITIONS. COMMENCE WORK IN AREAS OF DISCREPANCY ONLY AFTER RECEIVING INSTRUCTIONS FROM LANDSCAPE ARCHITECT.
G. DIMENSIONS INDICATED IN DRAWINGS ARE APPROXIMATE. PROVIDE OFFSETS, FITTINGS, SLEEVES, ETC., REQUIRED TO COMPLETE THE PROJECT. PERFORM SIMILAR OPERATIONS FOR LIKE CONDITIONS WITHOUT ADDITIONAL COST TO OWNER.

1.1 SUBSTITUTIONS

- A. FURNISH MATERIALS IN QUANTITIES, SIZE, AND MANUFACTURE INDICATED IN DRAWINGS AND SPECIFICATIONS.
B. FOR A PERIOD OF 30 DAYS AFTER EXECUTION OF CONTRACT, LANDSCAPE ARCHITECT WILL CONSIDER FORMAL REQUESTS FOR SUBSTITUTION OF PRODUCTS IN PLACE OF THOSE SPECIFIED ONLY UNDER THESE CONDITIONS.
1. WHEN SPECIFIED PRODUCTS ARE NOT AVAILABLE THROUGH NO FAULT OF SUB-CONTRACTOR.
2. WHEN IT IS CLEARLY SEEN IN THE JUDGMENT OF OWNER, THAT A SUBSTITUTION WILL BE TO OWNER'S BEST INTERESTS IN TERMS OF TIME, COST, OR OTHER CONSIDERATIONS.
C. SUBMIT A SEPARATE REQUEST FOR EACH SUBSTITUTION. PROVIDE COMPLETE DATA SUBSTANTIATING COMPLIANCE OF PROPOSED SUBSTITUTION, INCLUDING PRODUCT IDENTIFICATION, MANUFACTURER'S NAME AND ADDRESS, MANUFACTURER'S LITERATURE, AND SAMPLES AS APPLICABLE.
D. MANUFACTURER'S WARRANTIES WILL NOT RELIEVE SUB-CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE, ONLY SUPPLEMENT THE GUARANTEE.

1.2 RECORD DRAWINGS

- A. FURNISH OWNER WITH A SET OF RECORD DRAWINGS (REPRODUCIBLE VELLUMS) OF IRRIGATION SPRINKLER SYSTEM AT CONCLUSION OF THE INSTALLATION.
1. OBTAIN VELLUMS FROM LANDSCAPE ARCHITECT AT COST OF REPRODUCTION PLUS 25 PERCENT.
B. INDICATE IN RECORD DRAWINGS ALL CHANGES MADE TO IRRIGATION SYSTEM DESIGN.

1.3 EXTRA MATERIALS

- A. FURNISH OWNER WITH 2 EACH OF THE FOLLOWING MATERIALS FOR EACH TYPE OF VALVE AND SPRINKLER HEAD INSTALLED IN THE SYSTEM.
1. VALVE KEYS
2. SERVICE WRENCHES
3. QUICK COUPLER VALVE KEYS
HOSE SWIVELS COMPATIBLE WITH QUICK COUPLER VALVES.
5. KEYS TO OPEN AUTOMATIC CONTROL CABINET.

1

B. INSTALLATION

- 1. PRIOR TO INSTALLATION, LAYOUT AND STAKE PRESSURE SUPPLY LINES, LATERAL LINES, AND LOCATION OF SPRINKLER HEADS. OBTAIN APPROVAL LAYOUT FROM LANDSCAPE ARCHITECT.
A. IF EQUIPMENT IS INCORRECTLY LOCATED WITHOUT APPROVAL, RELOCATE PER DIRECTIONS OF LANDSCAPE ARCHITECT WITHOUT ADDITIONAL COST TO OWNER.
2. CONNECT SPRINKLER IRRIGATION SYSTEM TO POINT OF CONNECTION (P.O.C.) INDICATED IN DRAWINGS.
A. MAKE CONNECTIONS AT APPROXIMATE LOCATIONS SHOWN IN DRAWINGS.
B. ASSUME RESPONSIBILITY FOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.

C. TRENCHING & BACKFILLING

- 1. EXCAVATION INCLUDES REMOVAL OF WATER AND MATERIALS, OR OBSTRUCTIONS OF ANY NATURE THAT WOULD INTERFERE WITH THE WORK.
2. REMOVE FROM THE SITE EXCESS AND WASTE MATERIAL RESULTING FROM TRENCHING OPERATIONS.
3. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF DITCH.
A. LAY PIPE TO AN EVEN GRADE. FOLLOW LAYOUT FOR TRENCHING EXCAVATION INDICATED IN DRAWINGS AND AS NOTED.
4. COVERAGES
A. PROVIDE MINIMUM COVER OF 18 INCHES FOR PRESSURE SUPPLY LINES.
B. PROVIDE MINIMUM COVER OF 15 INCHES FOR ALL NON-PRESSURE LINES INDICATED IN DRAWINGS.
C. PROVIDE MINIMUM COVER OF 24 INCHES OVER PIPE UNDER VEHICULAR WAYS.
D. PROVIDE MINIMUM COVER OF 18 INCHES FOR CONTROL WIRING.
E. PROVIDE 3 INCH SAND BACKFILL, ALL SIDES OF PVC PIPE, WHERE SOILS CONTAIN GREATER THAN 50% ROCKS OR OTHER MATERIAL 1/2 INCH OR LARGER IN DIAMETER WITHIN NATIVE BACKFILL MATERIAL.

D. COMPACTION

- 1. COMPACT BACKFILL FOR TRENCHING TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL IN PLANTING AREAS AND TO 90% IN PAVED AREAS.
2. CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS, OR OTHER IRREGULARITIES.
3. PLACE INITIAL BACKFILL ON ALL LINES OF A FINE GRANULAR MATERIAL.
4. FOREIGN MATTER LARGER THAN 1/2 INCH IN SIZE WILL NOT BE PERMITTED.
5. IF SETTLEMENT OCCURS AND ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING, OR OTHER CONSTRUCTION ARE NECESSARY, MAKE REQUIRED ADJUSTMENTS WITHOUT ADDITIONAL COST TO OWNER.

E. HANDLING OF PIPE

- 1. INSTALL PVC PIPE ALLOWING A SMALL AMOUNT OF EXCESS LENGTH IN THE LINE TO COMPENSATE FOR CONTRACTION OR EXPANSION OF THE PIPE.
A. ACCOMPLISH EXCESS LENGTH BY "SHAKING" THE LINE IN THE TRENCH DURING TIME OF INSTALLATION.
2. HANDLE AND ASSEMBLE PIPE, FITTINGS, AND ACCESSORIES BY SKILLED TRADESMEN USING APPROVED METHODS AND TOOLS. EXERCISE CARE TO PREVENT DAMAGE TO MATERIALS OR EQUIPMENT.
A. KEEP INTERIOR OF PIPES, FITTINGS, AND ACCESSORIES CLEAN AT ALL TIMES. CLOSE OPENINGS IN PIPING RUNS AT THE END OF WORK EACH DAY TO PREVENT ENTRY OF FOREIGN MATERIALS.
B. BENDING OF GALVANIZED STEEL PIPE WILL NOT BE PERMITTED.
3. PERFORM JOINTING BY COMPETENT TRADESMEN SPECIALLY TRAINED IN THE TYPE OF WORK REQUIRED, USING TOOLS AND EQUIPMENT RECOMMENDED BY THE MANUFACTURERS OF THE PIPE, FITTINGS, OR EQUIPMENT.
A. TAKE EVERY PRECAUTION TO SECURE A PERMANENT, WATER-TIGHT JOINT BETWEEN EACH LENGTH OF PIPE.
B. JOINTING PROCEDURES AND METHODS ADOPTED BY CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH RECOMMENDATIONS OF MANUFACTURER OF JOINTING MATERIAL USED.

5

1.4 WARRANTY

- A. FURNISH OWNER WITH GUARANTEE THAT IRRIGATION SPRINKLER SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE, OR NEGLECT ACCEPTED.
B. PROVIDE GUARANTEE FOR REPAIR OR REPLACEMENT OF DEFECTS IN MATERIAL OR WORKMANSHIP, SETTLING OF BACKFILLED TRENCHES, AND TO REPAIR OR REPLACE DAMAGE RESULTING FROM THE REPAIRS OR REPLACEMENTS OF DEFECTS WITHOUT ADDITIONAL COST TO OWNER.
C. MAKE REPAIRS OR REPLACEMENTS, INCLUDING COMPLETE RESTORATION OF DAMAGED PLANTING, PAVING, OR OTHER IMPROVEMENTS OF ANY KIND, WITHIN A REASONABLE TIME AS DETERMINED BY OWNER, AFTER RECEIPT OF WRITTEN NOTICE.
D. IN THE EVENT OF FAILURE BY CONTRACTOR TO MAKE REPAIRS OR REPLACEMENTS WITHIN A TEN DAY PERIOD AFTER RECEIPT OF WRITTEN NOTICE, REPAIRS OR REPLACEMENTS WILL BE MADE BY OTHERS AT THE EXPENSE OF SUB-CONTRACTOR.
E. WARRANTY PERIOD FOR IRRIGATION SPRINKLER SYSTEM, 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER.

1.5 LANDSCAPE MAINTENANCE AND GUARANTEE

- A. PROVIDE MAINTENANCE FOR PLANTING AND IRRIGATION FOR 60 CALENDAR DAYS AFTER STAGE ACCEPTANCE.
1. WORK INCLUDES, BUT IS NOT LIMITED TO, WATERING, WEEDING, MOWING, FERTILIZING, CULTIVATING, SPRAYING, CUTTING, AND PRUNING NECESSARY TO KEEP PLANTS IN A HEALTHY GROWING CONDITION AND TO KEEP PLANTED AREAS NEAT AND ATTRACTIVE IN APPEARANCE THROUGHOUT MAINTENANCE PERIOD.
2. IMMEDIATELY REPLACE DAMAGED, UNHEALTHY, OR DEAD TREES, SHRUBS, AND GROUND COVERS WITH SIZE AND KIND INDICATED IN DRAWINGS.
3. PRIOR TO END OF MAINTENANCE PERIOD, APPLY FERTILIZED 'D' (15-2-6) AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET UNIFORMLY OVER ALL PLANTING AREAS.
4. UPON COMPLETION OF INITIAL 60 DAY MAINTENANCE PERIOD, NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DATE OF INITIAL INSPECTION.
B. GUARANTEE THAT PLANTS AND PLANTING AREAS ARE IN HEALTHY, THRIVING CONDITION FOR AN ADDITIONAL 60 DAYS AFTER INITIAL ACCEPTANCE OF PROJECT BY LANDSCAPE ARCHITECT.
1. FINAL ACCEPTANCE MAY BE GRANTED AT THIS TIME AS DETERMINED BY LANDSCAPE ARCHITECT.

2.0 PRODUCTS

2.1 IRRIGATION SPRINKLER MATERIALS

A. PVC PLASTIC PIPE AND FITTINGS

- 1. MAIN LINE (PRESSURE) PIPING, TYPE 1120-1220 SCHEDULE 40, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
A. MAIN LINE PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED.
2. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1120-1220 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
A. LATERAL PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED, LASCO, SLOANS, OR APPROVED EQUAL.
3. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 80 PVC THIRDS WHIPPLES IN RISER ASSEMBLIES.
4. USE ONLY PVC PLASTIC PIPE FREE FROM BUSTERS, INTERNAL STRATONS, BEATS, WRINKLES, CRACK HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS-LIKE APPEARANCE.
A. CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE MATERIAL, SIZE SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION.

B. GALVANIZED PIPE AND FITTINGS

- 1. WHERE INDICATED IN DRAWINGS, USE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE, GALVANIZED, WITH MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON FITTINGS.
A. GALVANIZED COUPLINGS MAY BE MERCHANT COUPLING.

2

C. CUT PIPE CUT STRAIGHT AND TRUE.

D. AFTER CUTTING, REAM OUT ENDS TO THE FULL INSIDE DIAMETER OF THE PIPE.

E. IN CHANGING PIPE DEPTHS, USE 450 ELBOWS.

F. SPRINKLER HEADS

- 1. INSTALL TURF HEADS, WHERE ADJACENT TO FIXED OBJECTS SUCH AS HEADERBOARDS, CURBS, OR MOTORIST STRIPS, SO POWERED EDGING TOOLS CAN PASS BETWEEN TURF HEAD AND FIXED OBJECT WITHOUT DIFFICULTY.
2. LOCATE SHRUB HEADS MINIMUM 12 INCHES FROM BACK OF CURBS AND EDGE OF WALKWAYS WHEN SHRUB HEAD IS MOUNTED ABOVE GRADE ON A RISER.

G. CONTROL VALVES

- 1. INSTALL ELECTRIC, NORMALLY CLOSED ANGLE CONTROL VALVES AS INDICATED IN DRAWINGS AND AS SPECIFIED BY MANUFACTURER.
2. SET VALVES IN VERTICAL POSITION, HOUSED IN AMETEK OR EQUAL VALVE BOX WITH REMOVABLE COVER, FLUSH WITH FINISHED GRADE. WHEREVER POSSIBLE, INSTALL IN A SHRUB AREA.

H. ELECTRICAL WORK

- 1. PERFORM ELECTRICAL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE STATE OF CALIFORNIA ELECTRICAL SAFETY ORDERS, OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
2. ASSUME RESPONSIBILITY FOR THE COORDINATION OF ALL ELECTRICAL SERVICE CONNECTIONS TO THE CONTROLLER.

I. FIELD QUALITY CONTROL

- 1. FLUSH PIPES BY REMOVING HEADS AND OPERATING THE SYSTEM AT FULL PRESSURE UNTIL ALL RUST, SCALE, SAND, ETC., IS REMOVED.
A. DIVERT FLUSHING WATER TO PREVENT PONDING OR SOIL EROSION.
2. TEST PIPING UNDER FULL PRESSURE, WITH RISERS CAPPED FOR A PERIOD OF TWO HOURS.
3. INSPECT PIPE FOR LEAKS.
A. CORRECT ANY LEAKAGE DISCOVERED DURING TESTS.
4. REPEAT TESTS UNTIL SATISFACTORY.
5. TEST SPRINKLER HEADS:
A. TO DETERMINE THAT THEY FUNCTION ACCORDING TO MANUFACTURER'S DATA, AND
B. TO DETERMINE THAT THE INSTALLATION WILL PROVIDE DESIGN COVERAGE.
6. ALLOW OR CAUSE WORK TO BE COVERED UP OR ENCLOSED ONLY AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY LANDSCAPE ARCHITECT.
A. SHOULD ANY WORK BE COVERED OR COVERED UP BEFORE INSPECTION AND TESTS ARE SATISFACTORYLY COMPLETED, UNCOVER THE WORK, AND AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED, MAKE ALL REPAIRS WITH MATERIALS AS MAY BE NECESSARY TO RESTORE DISTURBED WORK TO ITS ORIGINAL AND PROPER CONDITION WITHOUT ADDITIONAL COST TO OWNER.

3.2 LANDSCAPE PLANTING PROCEDURES

- A. CLEARING & GRUBBING
1. PRESERVE EXISTING TREES IN AN UNDISTURBED CONDITION.
2. ROUGH GRADE EARTHEN MOUNDS TO CONTOURS INDICATED IN DRAWINGS.
3. CONSTRUCT MOUNDS WITH ENOUGH EXCESS MATERIAL TO ALLOW FOR FUTURE SETTLEMENT.
A. FINAL LOCATION OF MOUNDS SHALL NOT CONFLICT WITH EXISTING UTILITIES, UTILITY BOXES, VALVE BOXES, ETC.
4. NO COMPACTION WILL BE ALLOWED, EXCEPT FOR NORMAL GRADING AND SHAPING OPERATIONS.
5. UPON COMPLETION OF GRADING OPERATIONS, SPREAD EXCESS MATERIAL IN AREAS DIRECTED BY LANDSCAPE ARCHITECT.
B. SOIL CONDITIONS
1. CULTIVATE PLANTED AREAS TO A LIGHT AND FRABLE CONSISTENCY. UNIFORMITY TILL THE

6

C. CONTROL WIRE

- 1. DIRECT BURIAL REMOTE CONTROL WIRES, U.L. APPROVED TYPE U.F. MINIMUM OF 4/64 INCH VINYL INSULATION. CONSULT VALVE MANUFACTURER'S CURRENT WIRE SIZING CHART FOR REQUIRED WIRE SIZES.
2. COMMON RETURN WIRE = WHITE, PILOT WIRE = RED, ORANGE, OR BLACK.
3. MAKE SPLICES WITH "SCOTCH LOK" NO. 3577 CONNECTOR SEALING PACKS, OR APPROVED EQUAL.

D. SPRINKLER HEADS, REMOTE CONTROL VALVES, AUTOMATIC CONTROLLER, QUICK COUPLER

- 1. TYPE, SIZE, AND LOCATION INDICATED IN DRAWINGS.
2. LOCATE REMOTE CONTROL VALVES AND QUICK COUPLERS A MAXIMUM OF 12 INCHES FROM CURB, WALK, OR HEADERBOARD.

E. BACKFLOW PREVENTION

- 1. BACKFLOW PREVENTERS AS INDICATED IN DRAWINGS OR AS APPROVED BY LOCAL GOVERNING BODY.
2. DO NOT LOCATE IN LAWN AREAS.
3. SCREEN UNIT WITH PLANT MATERIAL SHOWN ON PLANTING PLAN IN LOCATION OF BACKFLOW PREVENTER OR ELSEWHERE ON SITE WHEN DIRECTED BY LANDSCAPE ARCHITECT.
4. AVOID USING PVC PIPING IN BACKFLOW PREVENTER ASSEMBLIES.

F. VALVE BOXES

- 1. CONTROL VALVE BOXES, AMETEK NO. 10-70-80 WITH GREEN COVER UD NO. 10-173-004, OR EQUAL. PROVIDE EXTENSIONS IF REQUIRED.
2.2 LANDSCAPE PLANTING MATERIALS

A. SOIL

- 1. EXISTING SURFACE SOIL, UNLESS OTHERWISE INDICATED IN DRAWINGS, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, ROCKS, STICKS, BRUSH OR OTHER DELETERIOUS MATERIALS.
2. NATIVE SOIL MATERIAL EXCAVATED FROM PLANTING HOLES, FREE FROM ROCK OVER 1/2 INCH IN DIAMETER.
3. IMPORTED SOIL, IF REQUIRED, SANDY LOAM TEXTURE.
A. SUBMIT SOIL SAMPLES AND ANALYSIS OF IMPORTED SOIL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY TO PROJECT SITE.
B. SHOULD LANDSCAPE ARCHITECT REJECT ANY PORTION OF DELIVERED SOIL, FOR ANY REASON, SELECT SOIL MATERIAL FROM A DIFFERENT SOURCE AND RESUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL WITHOUT ADDITIONAL COST TO OWNER.
B. FERTILIZERS AND SOIL AMENDMENTS
1. COMMERCIAL GRADE FERTILIZERS AND SOIL AMENDMENTS, UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING, DELIVERED TO SITE IN ORIGINAL, UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
2. MATERIAL WHICH BECOMES CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL BE REJECTED.
A. FERTILIZER 'A': FERTILIZER FOR GENERAL SOIL FERTILITY IMPROVEMENT IN ALL TURF AND PLANTING AREAS SHALL BE PELLETED TYPE HAVING A N6-P20-K20 FORMULA.
B. FERTILIZER 'B': FERTILIZER TO BE APPLIED TO LAWN AREAS PRIOR TO SEEDING OR SODDING SHALL BE PELLETED TYPE HAVING N6-P2-K0 (WITH 1% IRON).
C. FERTILIZER 'C': FERTILIZER TO BE INCORPORATED IN EACH PLANT PIT SHALL BE A PLANT TAB WITH FORMULA N20-P10-K5, SUCH AS AGRIFORM.
D. FERTILIZER 'D': FERTILIZER TO BE APPLIED TO LAWN AREAS AFTER TURF IS ESTABLISHED AND AROUND INSTALLED CONTAINER PLANTS DURING THE MAINTENANCE PERIOD SHALL BE PELLETED TYPE COMBINATION CHEMICAL ORGANIC FORMULA N15-P2-K6.
E. SOIL AMENDMENT: RECYCLED COMPOST MATERIAL.

3

FOLLOWING MATERIAL, PER 1,000 SQUARE FEET INTO THE TOP 6 INCHES OF SOIL, USING A ROTOTILLER OR SIMILAR MACHINE, THEN THOROUGHLY WATER.

- 6 CU. YDS. - RECYCLED COMPOST MATERIAL (SOIL AMENDMENT)
25 LBS. - FERTILIZER 'A'
15 LBS. - SOIL SULPHUR
2. CULTIVATE EXISTING PLANTING AREAS WITH HAND TOOLS.
3. PREPARED SOIL MIX FOR BACKFILL IN PITS FOR TREES, VINES, AND SHRUBS, CONSISTING OF THE FOLLOWING:
1/3 YD. - RECYCLED COMPOST MATERIAL (SOIL AMENDMENT)
2/3 YD. - NATIVE SOIL
1 LB. - IRON SULPHATE
AND FERTILIZER 'C' AS FOLLOWS
1 GAL. - 1-TAB
2 GAL. - 2-TABS
15 GAL. - 6-TABS
FOR BOXED MATERIAL.
4. CONDUCT SOIL PREPARATION AND PLANTING OPERATIONS ONLY UNDER FAVORABLE WEATHER CONDITIONS. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET.
A. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO STOP WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.

C. PLANTING TREES, SHRUBS, & VINES

- 1. DIG PITS FOR PLANTS SQUARE PER DETAIL IN DRAWINGS.
A. LEVEL SIZE OF PITS SHALL BE 2 TIMES DIAMETER OF ROOT BALL AND ONE-HALF AGAIN AS DEEP AS THE DEPTH OF ROOT BALL.
B. SOIL AT SIDES AND BOTTOMS SHALL BE LOOSENEED BY SCARIFYING TO ENSURE ROOT PENETRATION. AVOID SMOOTH CIRCULAR SIDES.
2. BACKFILL PITS WITH "PREPARED SOIL" TO THE BOTTOM OF THE ROOT BALL, THEN SET THE PLANT IN AN UPRIGHT POSITION IN CENTER OF HOLE. BACKFILL SPACE AROUND IT WITH PLANTING MIX.
A. WHEN THE BACKFILL AROUND THE PLANT IS APPROXIMATELY TWO-THIRDS COMPLETED, THOROUGHLY WATER. BACKFILL COMPLETE TO THE GRADE OF THE SURROUNDING AREA.
B. THE CROWN OF THE PLANT SHALL BE 1-1/2 INCHES ABOVE (MINIMUM) FINISHED GRADE.
3. PREPARE A SOIL RING AT LEAST 3 INCHES HIGH AND AS WIDE AS ROOT BALL AROUND EACH PLANT (NOT IN A TURF AREA) TO RETAIN WATER.
A. WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
B. REMOVE TURF IN A 24 INCH DIAMETER RING AROUND EACH TREE BASE IN TURF AREAS.

D. PLANTING GROUND COVERS

- 1. PLANTING SHALL TAKE PLACE IN THE EXISTING PREPARED MOIST AND FRABLE SOIL, NEVER DRY OR WET AND SOGGY.
A. THE MOIST CONDITION SHALL EXTEND TO THE FULL DEPTH OF CULTIVATION.
2. SPACE GROUND COVER PLANTS AS INDICATED IN DRAWINGS AND IN THE PLANT LIST.
3. PLANT IN EVENLY SPACED ROWS WITH STAGGERED TRIANGULAR SPACING AND AROUND SHRUBS AND TREES TO WITHIN ONE FOOT.
4. NO GROUND COVER SHALL BE PLANTED LESS THAN ONE-HALF OF THE SPECIFIED SPACING FROM ANY CURB OR WALKWAY.

E. PLANTING TURF GRASS

- 1. AFTER ALL SOIL AMENDMENT AND FERTILIZERS HAVE BEEN APPLIED AND CULTIVATED INTO SOIL, FINE GRADE ALL AREAS.
2. REMOVE RIDGES AND DEPRESSIONS. AREAS SHALL BE SMOOTH, CONTINUOUS, FIRM PLANES THAT ENSURE PROPER SURFACE DRAINAGE.
3. REMOVE ROCKS, SOIL LUMPS, AND DELETERIOUS MATERIALS LARGER THAN 1 INCH, RAKE AND COMPACT AREAS WITH A 200 POUND ROLLER.
4. AVOID ADDITIONAL COMPACTION OF THE SOILS AFTER TREATMENT. DO NOT PERMIT VEHICULAR OR EQUIPMENT TRAFFIC OVER AREAS.

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F. IRON SULFATE: STANDARD COMMERCIAL BRAND.

C. WOOD CHIP MULCH

- 1. ALL PLANTED AREAS, EXCEPT TURF, SHALL RECEIVE A TOP DRESSING OF MULCH CONSISTING OF RECYCLED, DYED WOOD CHIPS OR FIR CHIPS, MEDIAN GRIND 3/8 TO 3/4" DIAMETER. SHREDDED BARK IS UNACCEPTABLE.

D. PLANT MATERIAL

- 1. CONFORM PLANT MATERIAL, INDICATED IN DRAWINGS BY THE LISTED NAMES, TO "STANDARD PLANT NAMES", SECOND EDITION, EXCEPT FOR NAMES NOT INCLUDED, FOLLOW THE ESTABLISHED CUSTOMS OF THE NURSERY TRADE.
2. ALL PLANTS SHALL BE TRUE TO NAME, TAG ONE OF EACH BUNDLE OR LOT WITH THE NAME AND SIZE OF THE PLANT IN ACCORDANCE WITH STANDARDS OF PRACTICE RECOMMENDED BY AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF FEDERAL, STATE, AND COUNTY LAWS, REQUIRING INSPECTION FOR PLANT DISEASES AND INSECT INFESTATIONS.
4. PLANTS SHALL BE SYMMETRICAL, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES, INSECT PESTS, OR OTHER EGGS, WITH HEALTHY, NORMAL ROOT SYSTEMS, WELL FILLING THEIR CONTAINERS, BUT NOT TO THE POINT OF BEING ROOT BOUND.
5. USE ONLY PLANT MATERIALS THAT ARE FIRST CLASS REPRESENTATIVE OF THE SPECIES AND CULTIVARS SPECIFIED AND THAT CONFORM TO ALL STATE AND LOCAL LAWS GOVERNING THE SALE, TRANSPORTATION, AND INSPECTION OF PLANT MATERIALS.
6. PROVIDE ONLY PLANTS WITH STRAIGHT, SINGLE TRUNKS, UNLESS OTHERWISE INDICATED IN DRAWINGS.
7. THOSE SPECIFIED TO BE MULTI-TRUNK SHALL HAVE AT LEAST THREE MAIN LEADERS FROM THE BASE.
8. PLANTS THAT HAVE ENCIROLING ROOTS, NOT ROOT BOUND, SHALL HAVE ROOTBALLS LIGHTLY SLASHED ON A MINIMUM OF 3 SIDES TO STOP ENCIROLING ROOT GROWTH.
9. THE HEIGHT AND SPREAD OF PLANT MATERIALS SHALL BE MEASURED WITH BRANCHES IN THEIR NORMAL POSITION. MEASURE SIZES OF PLANTS ON THE PLANT LIST.
A. 5 AND 15 GALLON CAN CONTAINER STOCK SHALL HAVE BEEN GROWN IN THAT CONTAINER NOT LESS THAN SIX (6) MONTHS, BUT SHALL NOT HAVE BEEN OVERGROWN IN THE CONTAINERS SO AS TO HAVE BECOME ROOT BOUND.
B. 15 GALLON CAN CONTAINER STOCK SHALL HAVE A PLANTED HEIGHT OF 6 FEET WITH 1 INCH CALIPER TRUNK.

2.3 SOURCE QUALITY CONTROL

- A. PERFORM INSPECTIONS OF CONSTRUCTION FOR THE FOLLOWING PARTS OF THE WORK:
1. INSPECTION UPON COMPLETION OF PRELIMINARY FINISH GRADING AND IRRIGATION SPRINKLER SYSTEM.
2. INSPECTION OF PLANTS PRIOR TO LAYOUT.
3. LAYOUT INSPECTION OF SPOTTED PLANTS.
4. INITIAL INSPECTION UPON COMPLETION OF PLANTING AND TREE STAKING, PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD.
5. FINAL INSPECTION AT CONCLUSION OF ADDITIONAL 60 DAY LANDSCAPE MAINTENANCE PERIOD.
B. LISTED INSPECTIONS WILL BE MADE BY LANDSCAPE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE.
1. REQUEST INSPECTION BY LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF THE DATE INSPECTION IS REQUIRED.
3.0 EXECUTION
3.1 IRRIGATION SPRINKLER SYSTEM
A. PREPARATION
1. COORDINATE INSTALLATION OF SPRINKLER MATERIALS, INCLUDING PIPE TO ELIMINATE INTERFERENCE WITH OR DIFFICULTY IN PLANTING SHRUBS, TREES, GROUND COVER, EXISTING OR PROPOSED UTILITIES, AND OTHER CONSTRUCTION. RESTORE TO ORIGINAL CONDITIONS AND ESTABLISHED GRADES CHANGED DURING COURSE OF THE WORK.

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- A. IN THE EVENT OF SUCH COMPACTION, CONTRACTOR WILL BE REQUIRED TO RECULTIVATE COMPACTED AREAS.
5. SODDING: RAKE AREAS TO FINISH GRADE ELEVATION TO 1 INCH LOWER THAN ADJACENT PAVING TO ACCOMMODATE SOIL THICKNESS.
A. SPREAD 20 POUNDS PER 1,000 SQUARE FEET OF FERTILIZER 'B' ON SOIL SURFACES PRIOR TO SODDING. THEN HEAVILY INSTALL SOD SLABS.
B. STAGGER END JOINTS, TIGHTLY JOINTED WITH NO VISIBLE SPACES.
C. LIGHTLY WATER AND ROLL ENTIRE AREAS. THEN HEAVILY WATER TO ASSURE WATER PENETRATION OF AT LEAST A DEPTH OF 8 INCHES.
6. SEEDING: APPLY FERTILIZER 'B' TO FINISH GRADED SURFACES AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET.
A. USE ONLY SEED THAT IS WEED FREE, FRESH, RECLAIMED, OR NEW CROP CONSISTING OF THE PERCENTAGE OF MIX AS DESCRIBED IN DRAWINGS.
B. LABEL SEED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT PRESENTLY IN EFFECT AND SHALL BE DELIVERED TO PROJECT SITE IN BAGS BEARING DEALER'S LABEL AND GUARANTEED ANALYSIS.
C. SOW SEED IN 2 DIRECTIONS AT A TOTAL COMBINED RATE OF 10 POUNDS PER 1,000 SQUARE FEET.
D. SOW SEED BY EXPERIENCED PERSONNEL AT A TIME WHEN LITTLE OR NO WIND IS BLOWING.
E. LIGHTLY RAKE INTO TOP 1/8 INCH OF SOIL.
F. DO NOT MOW UNTIL TURF IS 2-1/2 INCHES HIGH AND FOR INITIAL MOWING DO NOT MOW LOWER THAN 1-1/2 INCHES. REMOVE ALL CUPPLINGS.
7. FERTILIZING DURING MAINTENANCE: APPLY FERTILIZER 'D', 30 CALENDAR DAYS AFTER PLANTING, AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET.
A. REPEAT EVERY 30 DAYS THROUGH MAINTENANCE.

F. WEED CONTROL, PEST CONTROL, & MULCHING

- 1. WEED CONTROL MATERIAL SHALL BE A PRE-EMERGENT HERBICIDE, TRIFLURALIN (TRIFLAN) OR DIPHENAMID (DYND OR ENDE) OR APPROVED EQUAL, APPLIED ON PLANTED AREAS. DON'T APPLY TO TURF DEVELOPED AREAS.
2. CONSIDER IF PART OF CONTRACTOR'S WORK TO CONTROL ON-SITE OR NEARBY PESTS THAT ARE DISTURBING THE CONDITION OF LANDSCAPE IMPROVEMENTS.
3. CONTROL OF PESTS INCLUDES, BUT IS NOT LIMITED TO RODENTS, RABBITS, INSECTS, DEER, ETC.
4. REPAIR DAMAGE THAT OCCURS TO THE ORIGINAL CONDITION OF IMPROVEMENTS, INCLUDING REPLACEMENT OF PLANT MATERIAL WHEN REQUIRED, WITHOUT ADDITIONAL COST TO OWNER.
5. SPREAD BARK CHIP MULCH EVENLY OVER ENTIRE PLANTED AREA, EXCEPT TURF DEVELOPED AREAS, TO A MINIMUM DEPTH OF 2".

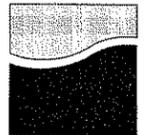
G. PRELIMINARY INSPECTION AND STAGE ACCEPTANCE

- 1. UPON COMPLETION OF PLANTING WORK, NOTIFY LANDSCAPE ARCHITECT THAT PROJECT IS READY FOR INSPECTION.
2. UPON INSPECTION, IF LANDSCAPE ARCHITECT FINDS ENTIRE PROJECT COMPLETE AND IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, STAGE ACCEPTANCE WILL BE GRANTED.
3. IF ASPECTS OF PROJECT ARE INCOMPLETE OR IMPROPERLY INSTALLED, CONTRACTOR WILL BE NOTIFIED AND HAVE 5 WORKING DAYS BY WHICH TO CORRECT OR COMPLETE THE WORK.
4. STAGE ACCEPTANCE WILL BE GIVEN ONLY WHEN ALL WORK IS CORRECT AND COMPLETE.
5. THE STAGE ACCEPTANCE BY LANDSCAPE ARCHITECT OF LANDSCAPE PROJECT WILL ESTABLISH THE BEGINNING OF PLANT MAINTENANCE PERIOD.

3.3 CLEANING

- A. UPON COMPLETION OF WORK, REMOVE EXCESS MATERIALS, RUBBISH, DEBRIS, AND SUB-CONTRACTOR'S CONSTRUCTION AND INSTALLATION EQUIPMENT FROM THE PREMISES.
B. FINAL INSPECTION OF THE WORK WILL BE MADE BY LANDSCAPE ARCHITECT IN THE PRESENCE OF THE SUB-CONTRACTOR WHEN WORK IS COMPLETED. NOTIFICATION SHALL BE MADE BY THE CONTRACTOR 48 HOURS IN ADVANCE OF SUCH INSPECTION.

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REED ASSOCIATES LANDSCAPE ARCHITECTURE 477 SOUTH WILFORD STREET ANAHEIM, CALIFORNIA 92806 TEL: 714-929-7100 FAX: 714-929-7101

COURTYARD BY MARRIOTT FENCE LANDSCAPING

1480 FALCON DR MILPITAS, CA

Approval stamp from Reed Associates Landscape Architecture, dated 01.04.13, signed by [Name], with a scale of 1:1.

Approval table with columns: Approved by, Drawn, Date/Rev, Reviewed, Project No., Scale, Issue Date. Values include RJS/MS, 12.59, and 01.04.13.

LANDSCAPE SPECIFICATION PLAN

L3.0

Courtyard by Marriott®  
Milpitas Silicon Valley

1480 Falcon Drive  
Milpitas, CA 95035  
T 408.719.1966 F 408.719.1962  
courtyard.com/sjcmp

The logo for Courtyard by Marriott, featuring the brand name in a serif font with a small crown icon above the word 'COURTYARD'.

January 14, 2013

Cindy Horn  
City of Milpitas  
Planning Division  
455 E. Calaveras Blvd.  
Milpitas, CA 95035

Dear Ms. Horn,

Attached please find a planning and zoning checklist with the required documents in order for the City of Milpitas to consider making an exception to an existing code prohibiting commercial properties to install fences over 6' in height.

This letter is to explain our proposal to install a 8' perimeter fence surrounding the Milpitas Courtyard and TownePlace Suites by Marriott located at:

1480 Falcon Drive  
1428 Falcon Drive  
Milpitas, CA 95035

The goal of the installing the fence is to limit the access to the hotel property to guests of the facilities. The location of the properties generates heavy foot traffic from Montague Expressway to Great Mall Drive. Currently, pedestrians use our parking lot as a cut through from the main streets surrounding us. With the BART expansion directly behind the hotel facilities, we expect foot traffic to be even more of a concern in the near future given the location of the Milpitas BART stop and proximity to our property. The fence will provide a greater sense of security for the guests of the hotel by minimizing pedestrian traffic.

The hotels have been faced with challenges in the parking lot from non-hotel guests. These incidents include car break-ins, car theft and attempted battery. In addition, we have experienced loitering in the back parking lot areas by non-hotel guests.