

IMPROVEMENT PLANS GENERAL NOTES

IMPROVEMENT PLANS

PROJECT NAME: DIXON MART & LIQUORS SITE IMPROVEMENT

LOT NO. _____, PARCEL MAP/TRACT NO. APN 2605021

FILE: 100.03 PJA: 1067 ACTION: P-UP 14-0012

GENERAL

- All work and materials shall comply with standard specifications, construction details, and standard drawings (listed on this sheet) of the City of Milpitas available in the City Engineer's office. It is the responsibility of the contractor to obtain permits necessary to perform the improvements in these plans from the appropriate agencies and to comply with the agencies' requirements. All plans shall be prepared on City's Improvements Title Block. The contractor must comply with all applicable national, state and local laws.
- Plans used for construction of public facilities purposes must be signed by the City Engineer or his representative. Any subsequent changes shall be approved by the City Engineer or his representative prior to their construction.
- The official copy of these plans are on file in the office of the City Engineer in Milpitas.
- This plan is subject to review and subsequent approval in the event the work has not commenced within six (6) months of the date of plan approval.
- All utilities and improvements that become damaged during construction shall be completely restored to the satisfaction of the City Engineer.
- A \$2,000 deposit shall be made to the City of Milpitas and a construction water meter shall be obtained for incidental water used during grading and roadway construction. Water meter(s) shall be installed for incidental water use during building (s) construction and pressure test of water line within the building (s).
- The contractor shall notify Underground Service Alert (U.S.A.) at (800) 642-2444 48 hours prior to any construction activities, and obtain a reference number.
- Prior to any construction or installation of public facilities, the developer's engineer shall arrange a pre-construction conference between the contractors and the City Public Works Inspector. This shall take place a minimum of 7 days prior to the scheduled start of work. At the conference, the developer's engineer shall present the Public Works Inspector with a certified copy of a material list and specifications for installation. Prior to the installation, approval by the City Engineer is required of any non-standard materials. Any non-standard materials shall be demonstrated by the developer's engineer and contractor to equal or exceed City standards.
- The contractor shall call City of Milpitas Public Works Facilities Inspection at (408) 586-2884 to schedule inspections, 48 hours prior to start of construction.
- Prior to any work, the contractor shall obtain a City Business license and a Public Works Construction or Encroachment Permit.
- The Contractor is responsible for the preservation and or perpetuation of all existing monuments and stakes within the Contractor's area of work. The Contractor shall not disturb or remove any monuments or stakes without the permission of the City Engineer, and he shall bear the expense of resetting any monuments or stakes which may be disturbed or removed with or without permission. The Contractor shall provide a minimum of 15 Working days notice to the City Engineer prior to disturbance or removal of existing monuments or stakes. The Contractor shall utilize the services of a California Licensed Land Surveyor to reset all disturbed or removed monuments and stakes or provide witness monuments, and file the required documentation with the County Surveyor pursuant to the Business and Professions Code Section 8771.
- When it is found that field conditions are not as shown on the plans, the consulting engineer shall make revisions and/or adjustments to the satisfaction of the City Engineer prior to further construction.
- Upon completion of improvements, the developer's engineer shall submit a letter to the City Engineer certifying that those privately maintained improvements (street, lighting, utilities, etc.) have been constructed per the improvement plans.
- Developer shall coordinate with Pacific Gas and Electric Company for the design and installation of all gas and electric facilities.
- Developer shall coordinate with Pacific Bell for the design and installation of all Telephone facilities.
- Construction shall not begin until 7 AM and shall end by 7 PM, weekdays and weekends, except holidays.
- A National Pollution Discharge Elimination System Permit (NPDES construction permit) is required prior to commencement of construction activity related to this site and shall be obtained by the owner and/or owner's contractor as appropriate. Any discharge (during construction) of groundwater into the downstream storm system must be uncontaminated. The contractor shall make this determination prior to any discharge.
- If archaeological materials are uncovered during grading, trenching or other excavation, earthwork within 100' of this area shall be stopped until a professional archaeologist who is certified by the Society of California archaeologist (SCA) or the Society of Professional Archaeologist (SOPA) has had an opportunity to evaluate the significance of the find and suggest appropriate mitigation measures, if they are deemed necessary.
- Record drawings original plans, including a copy of the AutoCAD files (digital format) shall be furnished to the City Engineer within 60 days of the completion of construction and prior to initial acceptance of public improvements.
- All grading shall comply with City of Milpitas Grading Ordinance, this plan, and the Preliminary Soils Report prepared by _____ dated _____ and all subsequent addendums.
- City approval of plans does not relieve the developer from his/her responsibility to correct errors and omissions discovered during construction. Upon request, any required plan revisions shall be promptly submitted to the City Engineer for approval.
- A water valve shall be installed for each residential unit after the meter and prior to entry of the building such that it is accessible to homeowner and City Meter Reader.

23. The following entities shall be responsible for inspection and maintenance / ownership of the listed facilities and completion certificate by design engineer (state ownership's name and inspection by P.W. inspection or Build. Div.):

Facilities	Ownership	Inspection	Design Engineer
Water	*	**	***
Sewer	*	**	***
Storm	*	**	***
Street	*	**	***
Street Light	*	**	***
Park	*	**	***
Common Area Homeowner's Association Build. Div. Required			
* "City of Milpitas" or "Homeowner's Association/Homeowners"			
** "P.W. inspection" or "Build. Division"			
*** Design Engineer completion certificate "Required" if inspection by Build. Div., "Not required" if inspection by P.W. inspection.			

24. Each parcel shall have separate solid waste enclosure and BFI service. Unless, necessary agreements have been recorded to provide for joint use of enclosure and or BFI services for more than one parcel.

STREET SURFACE NOTES

- Upon completion of rough grading, actual thickness (structural section) of the base material and AC pavement shall be determined based on the results of R-values, Sand equivalents laboratory testing. Geotechnical/Soil Engineer shall recommend the structural sections of streets to the City Engineer for review and approval.
- The contractor shall not order or place any Portland cement concrete or asphalt concrete paving until the forms and subgrade and/or aggregate base have been inspected by the City Public Works Inspector and approved by the engineer in charge of construction.
- Edge of existing pavement shall be tack coated prior to constructing new pavement.
- Standard street monuments shall be installed on all street intersections and other locations shown on this plan in conformance with City Standard Drawing No. 446.
- Driveway locations shall be set by owner's engineer in compliance with City Standard Drawing No. 430 or 432, unless locations are shown on these plans.
- One street name sign assembly shall be installed in conformance with City Standard Drawing No. 440 at each intersection, and where shown on plans.
- All fire hydrants, electroliers and meter boxes shall clear driveways and other facilities by 5', 5' and 1' respectively.
- All existing facilities shall be adjusted to finish grade as directed by City Public Works Inspector. Manholes, water valve boxes, clean out frames and covers shall be brought to finished grade by the contractor after paving is completed.
- Minimum 24" box size tree with a caliper of 2" measure 6" above rootball shall be installed, one per lot per street for residential developments and at 20'-50' separation for non-residential developments in conformance with the Approved Street Tree List and according to the City Standard Drawing No. 448.
- Mailboxes shall be provided as required by U. S. Postal Services, but will not be inspected by the Public Works Inspector.
- The final or surface layer of asphalt concrete shall not be placed until all on-site improvements have been completed, including all grading, and until all unacceptable concrete work has been removed and replaced, unless otherwise approved by the City Engineer.

UNDERGROUND

- The letter "W" shall be impressed in the face of curb where each water service crosses the curb, the letter "S" shall be impressed in the face of curb where each sewer lateral crosses the curb and the letter "R" shall be impressed in the face of curb where each recycled water service crosses the curb.
- The location, depth and existence of underground improvements are shown in their approximate positions based upon information available to the engineer. The contractor shall excavate inspection holes "pot holes" and determine the location and depth of all underground structures and utilities that are in the vicinity of and/or may be affected by the proposed improvement work prior to any construction work which could damage or conflict with said structures and/or utilities.
- Minimum cover for utilities in roadway (from top of pipe to roadway surface) shall be provided (60" sanitary sewer, 42" water line in street, 48" water line in easement, 24" storm line in street). Where the minimum cover cannot be achieved, such locations shall be specifically identified on the plans and the method of protecting the pipe and valve stems shall be indicated. The following solutions shall be subject to the City Engineer's approval:
 - Use of ductile iron pipe and butterfly valves.
 - Concrete cap.
 - Any other solution devised by the Engineer and Contractor.
- Water services and mains are to be separated a minimum of 10' horizontal distance and 1' vertical distance from sewer and recycled water laterals and mains. Potable water lines shall be above all storm drain, sanitary sewer and recycle water lines.

- Separation between the Recycle water lines from other utilities; such as potable water, fire protection and sanitary sewer; shall be in accordance with the City of Milpitas "Recycled (non-potable) Water Guidelines". Call (408) 586-3329 for a copy.
- House sewers shall not be connected to laterals until sewers are tested.
- One sanitary sewer lateral shall be constructed to each lot at the location to be staked in field by owner's engineer prior to construction. A backflow protection device shall be installed per City Standard Drawing No. 624 when the elevation of the lowest floor containing gravity waste drainage is less than one foot above the surface elevation of the nearest upstream public sewer structure (manhole, etc.).
- Connections to existing water mains shall be approved by City Engineer. Contractor shall perform all excavation, prepare site, furnish all materials, install tapping tee, valve and all thrust blocks, backfill, restore surface, and clean up. Non-metallic water lines shall be installed with a trace wire per City Standard Drawing No. 752.
- All water valves shall be clustered, unless otherwise directed by the City Engineer.
- Each lot shall have separate water, sewer and storm drain services.
- Water service pressure regulators and sewage backflow protection devices are shown on these plans for the information of the developer and City's Building Division. These items are not included in the Public Works inspection or acceptance.
- All utility stubs, especially water line components, shall be capped.
- Abandonment of existing water lines shall take place at the main line.
- Contractors shall not turn water valves without prior approval from Utility Maintenance Supervisor at (408) 586-2640.
- All metallic underground piping shall be protected against corrosion per City standard specifications.
- The contractor is responsible for performing locate services for those facilities installed by the contractor until such time as the work has been officially accepted by the City of Milpitas. The marking, labeling, and timing of such locates shall be in conformance with the requirements of Underground Service Alert.

SIGNING AND STRIPING

- All signs shall conform to State of California, Traffic Manual, Chapter 4, and latest edition of "Uniform Sign Chart."
- Signs shall be of standard size designated for each type in the Traffic Manual, except where noted otherwise.
- Mounting shall conform to appropriate provisions of Chapter 4, Traffic Manual, and applicable "standard plans," State of California (Caltrans), latest edition, except where otherwise indicated on plans.
- All traffic signs (except street nameplates) shall be of minimum .080 gage aluminum blanks with reflective faces of Scotchlite (engineer grade) or approved equal. Except, R1 and R2 signs which require high intensity.
- Striping shall conform to appropriate provisions of Chapter 6, "Markings" of the Traffic Manual and Chapter XVI of the Maintenance Manual, State of California.
- Striping paint for City streets shall be:
 - Paint shall be TMT Pathway, or approved equal. Solvent-based paints shall not be used.
 - TMT Pathway #2675A5 water base white paint, or approved equal
 - TMT Pathway #2676A5 water base yellow paint, or approved equal
 - TMT Pathway #2677A7 water base black paint, or approved equal
 - Glass beads shall conform to State Specification No. 8010-11E-22 (Type II).
 The certification requirements shall be submitted for ready mixed white and yellow paints.
- Raised Pavement Markers of various types shall conform to Section 85, "Pavement Markers", of the State Standard Specifications, these Technical Provisions, and as shown on the plans.
- Painted legends shall conform to standard sizes and patterns used by the City of Milpitas. Arrangements may be made to use the City's Stencils by calling (408) 586-2631.

STREET LIGHTS

- Splicing of street light conductor is permitted only in pull boxes.
- Electroliers shall be connected to the closest underground secondary P.G.&E. source. Pull (junction) boxes shall be required at each electrolier and where more than one bend of the cable is necessary to reach to electrolier, where shown on plans, and at service point where no P.G.&E. box is installed. Install in-line fuses at electroliers, in the hand hole of each pole. Fuses shall be installed on each energized lead, and shall be adequately sized and enclosed in a phenolic case. Head configuration shall be either double door mounted ballast or single door - swing down ballast. 120/240 volt ballasts shall be provided. Voltage and wattage of electroliers shall be as shown on the plans.
- Street Light Numbers will be assigned by the City and installed on the poles by the contractor as directed by the Public Works Inspector.



CITY OF MILPITAS
ENGINEERING DIVISION



VICINITY MAP



INDEX OF DRAWINGS:

- C1. GENERAL NOTES
- C2. EXISTING SITE PLAN
- C3. DRAINAGE PLAN
- C4. LANDSCAPING & IRRIGATION PLAN
- C5. DETAILS
- C6. DETAILS

- A1. ROOF PLAN & FLOOR PLAN
- A2. ELEVATIONS

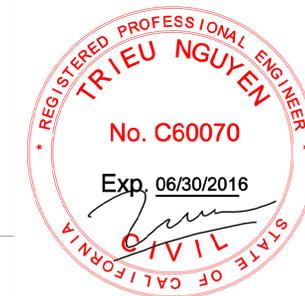
SCOPE OF WORKS:

- FRONTAGE AREA:
 - * PROVIDE 2 NEW TREE WELLS.
 - * REMOVE & REBUILD EXISTING CRACKED SIDE WALK.
 - * PROVIDE NEW PEDESTRIAN WALK WAY TO ACCESS TO THE STORE (SEE SHEET C-2, SITE PLAN)
2. PROVIDE NEW STRIPPING & SIGNAGE (TOT. 9 PARKING SPACE) (SEE SHEET C-2)
3. PROVIDE NEW TRASH ENCLOSURE AT REAR OF BUILDING (SEE SHEET C-2)
4. REMOVE EXISTING ABANDONED SEPTIC TANK. SUBJECT IN DIFFERENT PERMIT FROM COUNTY OF SANTA CLARA, HEALTH DEPARTMENT.
5. PROVIDE NEW TREES AND IRRIGATION (SEE SHEET C-4)

CITY'S BENCHMARK:

CON-DIX : NORTHING: 1993005.107
EASTING: 6154127.444 (CS83 (1992) ZONE 3
ELEV. : 84.557 (NAVD88)

DIX-MIL : NORTHING: 1992136.295
EASTING: 6151988.203 (CS83 (1992) ZONE 3
ELEV. : 33.695 (NAVD88)



CIVIL ENGINEER: I hereby declare that I am the engineer of work for this project, that I have exercised responsible charge over the design of the project as defined in section 6703 of the business and professions codes, and that the design is consistent with current standards. The design shown herein is necessary and reasonable and does not restrict any historic drainage flows from adjacent properties nor increase drainage to adjacent properties. The design includes principles and techniques to reduce quantity and improve the quality of storm water runoff, as required by NPDES. I understand that the check of project drawings and specifications by the City of Milpitas is confined to a review only and does not relieve me, as engineer of work, of my responsibilities for project design.

SIGNATURE: TRIEU NGUYEN P.E. SEAL

Firm: A PLUS ENGINEERS

Address: 3046 SAN JUAN AVE SANTA CLARA CA 95051

Telephone: 408-887-6630 Email: trieuquyend@aol.com

SOILS ENGINEER: These plans have reviewed and found to be in substantial conformance with the intent and purpose of the geotechnical exploration report dated _____, prepared by _____

(Name) _____ Date _____ SEAL

Firm: _____

Address: _____

Telephone: _____

Record Drawings

To be completed prior to acceptance of work by the City

Signature & Seal _____ Date _____

P.E. No. _____ Exp. _____

Public Works Inspector: _____

Revisions

Num.	Date	By	Description	City Engr. Aprvl	Date

CITY OF MILPITAS ENGINEERING DIVISION

Approved: _____ Project No. _____

City Engineer _____ Date _____ File No. _____

Any changes to public improvements shall be approved by the City engineer

Recommended for approval: _____ E.P. No. _____

Fire Dept. _____ Date: _____ Sheet: _____ of _____

Engineering _____ Date: _____

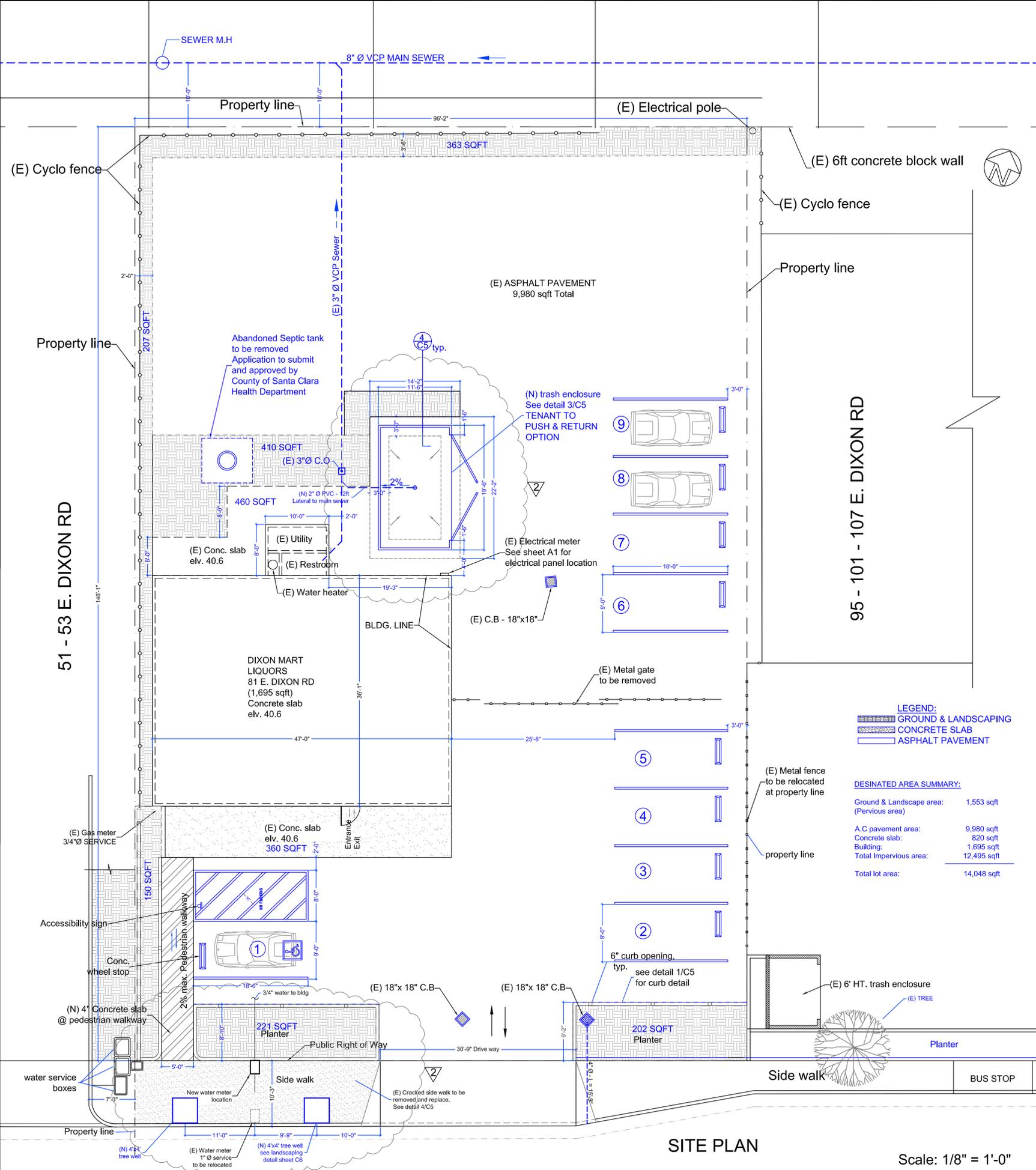
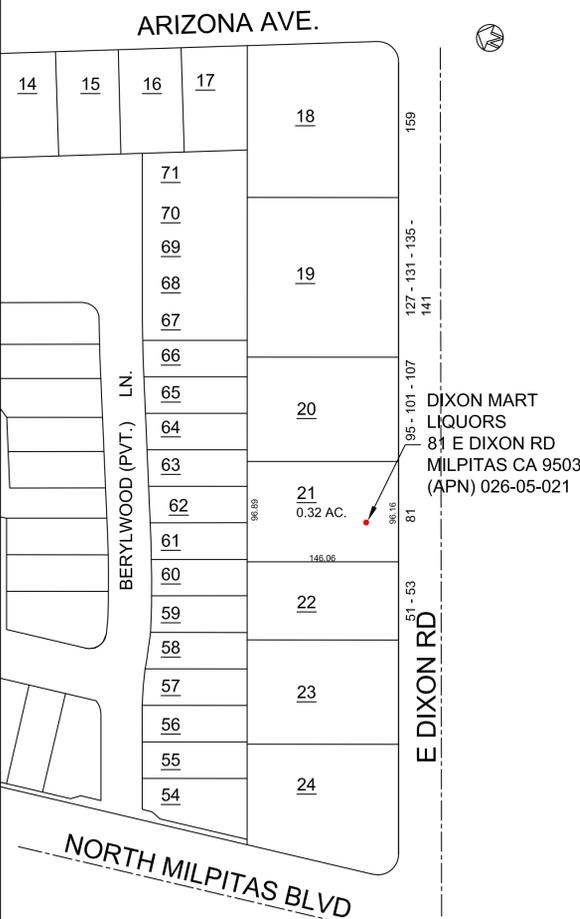
APPLICABLE CODES

BUILDING: 2013 CALIFORNIA BUILDING CODE
 MECHANICAL: 2013 CALIFORNIA MECHANICAL CODE
 PLUMBING: 2013 CALIFORNIA PLUMBING CODE
 ELECTRICAL: 2013 CALIFORNIA ELECTRICAL CODE
 FIRE: 2013 CALIFORNIA FIRE CODE
 ENERGY: 2013 BLDG ENERGY EFFICIENCY STANDARD

PROJECT STATISTICS

CONSTRUCTION TYPE: V-B
 OCCUPANCY: C-1 - COMMERCIAL
 LOT AREA: 14,067 SQFT.
 BUILDING AREA: 1,700 SQFT.
 F.A.R.: 1,700/14,067 = 0.121

PARCEL MAP: (APN) 026-05-021



DIXON MART LIQUORS
 81 DIXON Rd, MILPITAS CA 95035
 SITE IMPROVEMENT



PLANNING - ARCHITECTURE - ENGINEERING

3046 San Juan Ave
 San Jose CA 95051
 Tel: 408.887.6630

PLAN CHECK INFORMATION:

FILE: 100.03
 PJA: 1067
 ACTION: P-UP14-0012
 SUBJECT: DIXON MART & LIQUORS
 LOCATION: 81 DIXON ROAD
 APN: 2605021

CONTRACTOR NOTES

1. ALL CONTRACTORS AND/OR SUB-CONTRACTORS MUST CHECK-IN WITH OWNERS' AGENT AT CONSTRUCTION SITE BEFORE COMMENCING WORK.
2. ALL CONTRACTORS AND/OR SUB-CONTRACTORS MUST PROVIDE OWNERS' AGENT WITH COPIES OF REQUIRED INSURANCE CERTIFICATES AS REQUIRED IN THE TENANT HANDBOOK
3. CONTRACTOR SHALL PERFORM FIRST-CLASS WORKMANSHIP. ACCEPTANCE IS CONTINGENT UPON LANDLORD APPROVAL
4. ALL MATERIALS USED IN THE CONSTRUCTION OF THIS SPACE MUST BE ASBESTOS FREE.

LANDLORD :

DUC NGUYEN & NGAN LE
 81 Dixon Rd,
 Milpitas CA 95035
 Tel: 408-365-3947

DIXON MART LIQUORS
 SITE IMPROVEMENT

ADDRESS:
 81 DIXON RD
 MILPITAS CALIFORNIA 95035

SHEET TITLE :

EXISTING SITE PLAN

Rev.0 09/22/2014
 Rev.1 11/26/2014
 Rev.2 12/15/2014

DESIGN BY :
 THIEU NGUYEN, P.E.

SCALE:
 1/8" = 1 ft - 0 inch, U.O.N

C-2

95 - 101 - 107 E. DIXON RD

51 - 53 E. DIXON RD

SITE PLAN

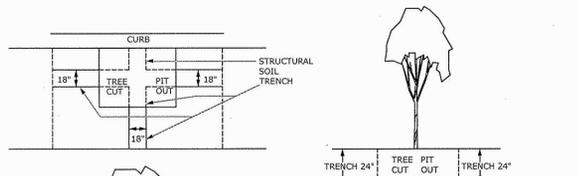
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LEGEND:

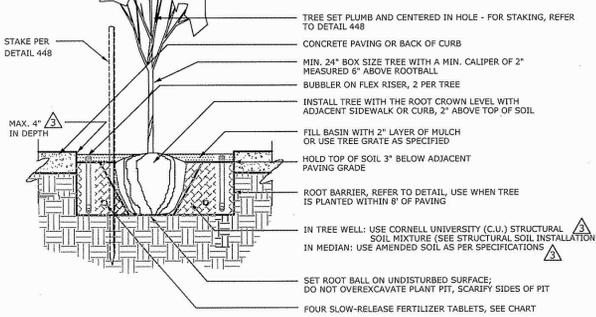
 GROUND & LANDSCAPING
 CONCRETE SLAB
 ASPHALT PAVEMENT

DESIGNATED AREA SUMMARY:

Ground & Landscape area: (Pervious area)	1,553 sqft
A.C pavement area:	9,980 sqft
Concrete slab:	820 sqft
Building:	1,695 sqft
Total Impervious area:	12,495 sqft
Total lot area:	14,048 sqft



STRUCTURAL SOIL INSTALLATION



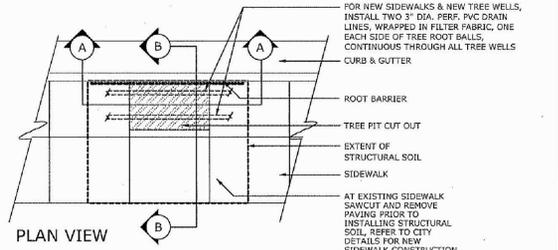
SECTION

Notes:

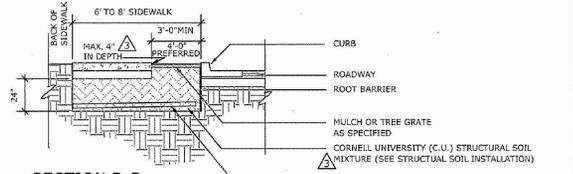
- TREES SHALL NOT BE ROOT-BOUND. CAREFULLY SCARIFY ROOTBALL BEFORE PLANTING, IF DIRECTED.
- REMOVE ANY SPROUTS/SHOOTS WITHIN 6" OF SOIL.
- CONFIRM POSITIVE DRAINAGE OF PLANT PIT PRIOR TO PLANTING TREE. INSTALL DRAIN AS PER TREEWELL DETAIL 448. DRAINAGE RATE OF ALL MATERIALS, INCLUDING MULCH, SHOULD BE NO LESS THAN 1/4" PER HOUR AND NOT EXCEED 2" PER HOUR.
- WHEN TREE GRATES ARE USED, LOWER ALL FEATURES SHOWN WITHIN THE TREE PIT BY 3".

NOT TO SCALE

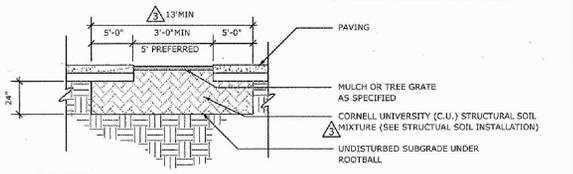
CITY OF MILPITAS, ENGINEERING DIVISION		STANDARD DRAWING
REVISION DATE		NO. 448
1	1991	
2	2001	DATE : 6/15/10
3	2010	
APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283		SHEET 1 OF 5



PLAN VIEW



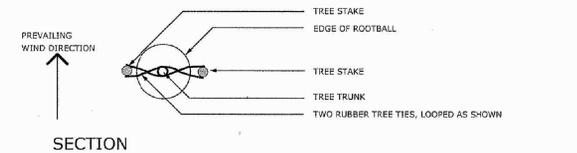
SECTION B-B



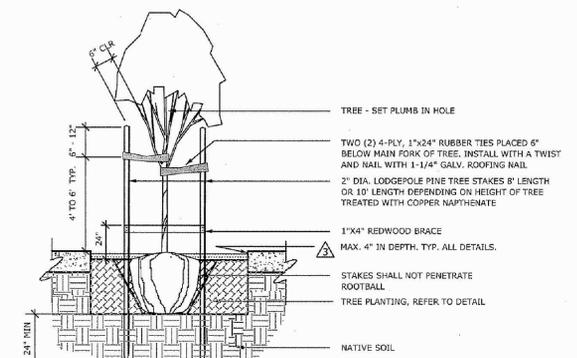
SECTION A-A

NOT TO SCALE

CITY OF MILPITAS, ENGINEERING DIVISION		STANDARD DRAWING
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SECTION



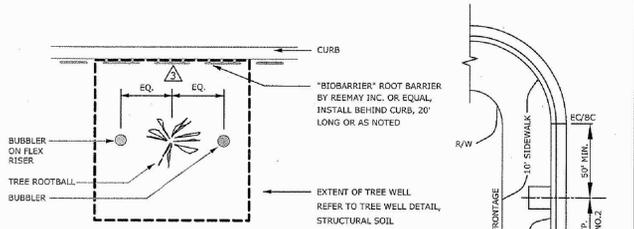
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Notes:

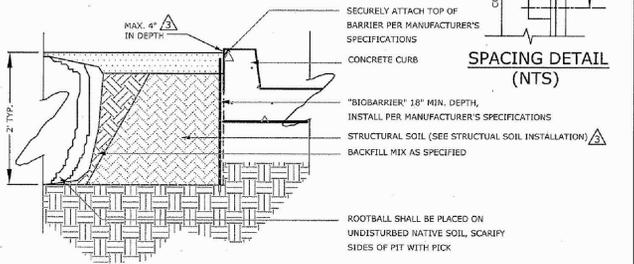
- PROVIDE TWO STAKES AND TIES AS SHOWN.

NOT TO SCALE

CITY OF MILPITAS, ENGINEERING DIVISION		STANDARD DRAWING
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1	1991	
2	2001	DATE : 6/15/10
3	2010	
APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283		SHEET 2 OF 5



PLAN (NTS)



SECTION (NTS)

NOT TO SCALE

Notes:

- ROOT BARRIER IS REQUIRED WHEN THE CENTERLINE OF THE TREE IS WITHIN EIGHT FEET OF STREET CURB OR PAVING.
- ONE STREET TREE SHALL BE PROVIDED PER RESIDENTIAL LOT PER STREET, OR AS SHOWN ON PLANS APPROVED BY THE CITY ENGINEER. SPACING WILL VARY DEPENDING ON TREE SPECIES, IN GENERAL, THE SPACING SHALL BE EQUAL TO THE MATURE CANOPY DIAMETER.

CITY OF MILPITAS, ENGINEERING DIVISION		STANDARD DRAWING
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APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283		SHEET 5 OF 5



City of Milpitas – Stormwater Requirements C.3 Data Form
Santa Clara Valley Urban Run-Off Pollution Prevention Program

Which Projects Must Comply with Stormwater Requirements?

All projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site must fill out this worksheet and submit it with the development project application.

All restaurants, auto service facilities, retail gasoline outlets, and uncovered parking lot projects (stand-alone or part of another development project, including the top uncovered portion of parking structures) that create and/or replace 5,000 sq. ft. or more of impervious surface on the project site must also fill out this worksheet.

Interior remodeling projects, routine maintenance or repair projects such as re-roofing and re-paving, and single family homes that are not part of a larger plan of development are NOT required to complete this worksheet.

What is an Impervious Surface?

An impervious surface is a surface covering or pavement that prevents the land's natural ability to absorb and infiltrate rainfall/stormwater. Impervious surfaces include, but are not limited to rooftops, walkways, paved patios, driveways, parking lots, storage areas, impervious concrete and asphalt, and any other continuous watertight pavement or covering. Pervious pavement, underlain with pervious soil or pervious storage material (e.g., drain rock), that infiltrates rainfall at a rate equal to or greater than surrounding unpaved areas OR that stores and infiltrates the water quality design volume specified in Provision C.3.d of the Municipal Regional Stormwater Permit (MRP) is not considered an impervious surface.

For More Information

For more information regarding selection of Best Management Practices for stormwater pollution prevention or stormwater treatment in Santa Clara County: http://www.scvurppp-w2k.com/c3_handbook_2012.shtml

1. Project Information

Project Name: DIXON MART & LIQUORS SITE IMPROVEMENT APN # 2605021

Project Address: 81 DIXON RD MILPITAS CA 95035

Cross Streets: N. MILPITAS BLVD

Applicant/Developer Name: NGAN T LE

Project Phase(s): 1 of 1 Engineer: TRIEU NGUYEN, PE

Project Type (Check all that apply): New Development Redevelopment

Residential Commercial Industrial Mixed Use Public Institutional

Restaurant Uncovered Parking Retail Gas Outlet Auto Service (SIC code)

Other (9013-5014, 5541, 7532-7534, 7536-7539)

Project Description: 1. PROVIDE NEW PARKING STRIPPING ON THE LOT

2. PROVIDE NEW LANDSCAPING

3. PROVIDE NEW TRASH ENCLOSURE

Project Watershed/Receiving Water (creek, river, or bay): CREEK

City of Milpitas - SCVURPPP C.3. Data Form Page 1 of 4 12/2013

6. Selection of Specific Stormwater Control Measures:

- | | | |
|--|--|---|
| <p>Site Design Measures</p> <ul style="list-style-type: none"> <input type="checkbox"/> Minimize land disturbed <input type="checkbox"/> Minimize impervious surfaces <input type="checkbox"/> Minimum-impact street or parking lot design <input type="checkbox"/> Cluster structures/pavement <input type="checkbox"/> Disconnected downspouts <input type="checkbox"/> Pervious pavement <input type="checkbox"/> Green roof <input type="checkbox"/> Microdetention in landscape <input type="checkbox"/> Other self-treating area <input type="checkbox"/> Self-retaining area <input type="checkbox"/> Rainwater harvesting and use (e.g., rain barrel, cistern connected to roof drains)¹ <input type="checkbox"/> Preserved open space: ac. or sq. ft. (circle one) <input type="checkbox"/> Protected riparian and wetland areas/buffers (Setback from top of bank: ft.) <input type="checkbox"/> Other | <p>Source Control Measures</p> <ul style="list-style-type: none"> <input type="checkbox"/> Alternative building materials <input type="checkbox"/> Wash area/racks, drain to sanitary sewer² <input type="checkbox"/> Covered dumpster area, drain to sanitary sewer² <input type="checkbox"/> Sanitary sewer connection or accessible cleanout for swimming pool/spa/fountain² <input type="checkbox"/> Beneficial landscaping (minimize irrigation, runoff, pesticides and fertilizers; promotes treatment) <input type="checkbox"/> Outdoor material storage protection <input type="checkbox"/> Covers, drains for loading docks, maintenance bays, fueling areas <input type="checkbox"/> Maintenance (pavement sweeping, catch basin cleaning, good housekeeping) <input type="checkbox"/> Storm drain labeling <input type="checkbox"/> Other | <p>Treatment Systems</p> <ul style="list-style-type: none"> <input type="checkbox"/> None (all impervious surface drains to self-retaining areas) <p>LID Treatment</p> <ul style="list-style-type: none"> <input type="checkbox"/> Rainwater harvest and use (e.g., cistern or rain barrel sized for C.3.d treatment) <input type="checkbox"/> Infiltration basin <input type="checkbox"/> Infiltration trench <input type="checkbox"/> Exfiltration trench <input type="checkbox"/> Underground detention and infiltration system (e.g. pervious pavement drain rock, large diameter conduit) <p>Biotreatment³</p> <ul style="list-style-type: none"> <input type="checkbox"/> Bioretention area <input type="checkbox"/> Flow-through planter <input type="checkbox"/> Tree box with bioretention soils <input type="checkbox"/> Other <p>Other Treatment Methods</p> <ul style="list-style-type: none"> <input type="checkbox"/> Proprietary tree box filter⁴ <input type="checkbox"/> Media filter (sand, compost, or proprietary media)⁵ <input type="checkbox"/> Vegetated filter strip⁵ <input type="checkbox"/> Dry detention basin⁵ <input type="checkbox"/> Other |
|--|--|---|

Flow Duration Controls for Hydromodification Management (HM)

- Detention basin
- Underground tank or vault
- Bioretention with outlet control
- Other

¹Optional site design measure; does not have to be sized to comply with Provision C.3.d treatment requirements.
²Subject to sanitary sewer authority requirements.
³Biotreatment measures are allowed only with completed feasibility analysis showing that infiltration and rainwater harvest and use are infeasible.
⁴These treatment measures are only allowed if the project qualifies as a "Special Project".
⁵These treatment measures are only allowed as part of a multi-step treatment process.

City of Milpitas - SCVURPPP C.3. Data Form Page 3 of 4 12/2013

2. Project Size

a. Total Site Area: 0.023 acre	b. Total Site Area Disturbed (including clearing, grading, or excavating) _____ acre			
Existing Area (ft ²)	Proposed Area (ft ²)	Replaced	New	Total Post-Project Area (ft ²)
Impervious Area				
Roof	1,695	0	0	1,695
Parking	10,755	0	0	10,755
Sidewalks and Streets	0	0	45	45
c. Total Impervious Area	12,450	0	0	12,495
d. Total new and replaced impervious area 45				
Pervious Area				
Landscaping	1,598	45	0	1,553
Pervious Paving	0	0	0	0
Other (e.g. Green Roof)	0	0	0	0
e. Total Pervious Area	1,598	0	0	1,553
f. Percent Replacement of Impervious Area in Redevelopment Projects (Replaced Total Impervious Area + Existing Total Impervious Area) x 100% = 0.32 %				

3. State Construction General Permit Applicability:

- a. Is #2.b. equal to one acre or more?
- Yes, applicant must obtain coverage under the State Construction General Permit (i.e., file a Notice of Intent and prepare a Stormwater Pollution Prevention Plan) (see www.swrcb.ca.gov/water_issues/programs/stormwater/construction.shtml for details).
 - No, applicant does not need coverage under the State Construction General Permit.

4. MRP Provision C.3 Applicability:

- a. Is #2.d. equal to 10,000 sq. ft. or more, or 5,000 sq. ft. or more for restaurants, auto service facilities, retail gas outlets, and uncovered parking?
- Yes, C.3. source control, site design, and treatment requirements apply.
 - No, C.3. source control and site design requirements may apply – check with local agency
- b. Is #2.f. equal to 50% or more?
- Yes, C.3. requirements (site design, source control, as appropriate, and stormwater treatment) apply to entire site.
 - No, C.3. requirements only apply to impervious area created and/or replaced.

5. Hydromodification Management (HM) Applicability:

- a. Does project create and/or replace one acre or more of impervious surface AND is the total post-project impervious area greater than the pre-project (existing) impervious area?
- Yes (continue)
 - No – exempt from HM, go to page 3
- b. Is the project located in an area of HM applicability (green area) on the HM Applicability Map? (www.scvurppp-w2k.com/hmp_maps.htm)
- Yes, project must implement HM requirements
 - No, project is exempt from HM requirements

City of Milpitas - SCVURPPP C.3. Data Form Page 2 of 4 12/2013

7. Treatment System Sizing for Projects with Treatment Requirements

Indicate the hydraulic sizing criteria used and provide the calculated design flow or volume:

Treatment System Component	Hydraulic Sizing Criteria Used ¹	Design Flow or Volume (cfs or cu.ft.)

¹Key: 1a: Volume – WEF Method
 1b: Volume – CASQA BMP Handbook Method
 2a: Flow – Factored Flood Flow Method
 2b: Flow – CASQA BMP Handbook Method
 2c: Flow – Uniform Intensity Method
 3: Combination Flow and Volume Design Basis

8. Alternative Certification: Was the treatment system sizing and design reviewed by a qualified third-party professional that is not a member of the project team or agency staff?

- Yes No Name of Reviewer: _____

9. Operation & Maintenance Information

A. Property Owner's Name: NGAN T LE

B. Responsible Party for Stormwater Treatment/Hydromodification Control O&M:

a. Name: NGAN T LE

b. Address: 81 DIXON RD MILPITAS CA 95035

c. Phone/E-mail: 408-365-3947

This section to be completed by City of Milpitas staff.
O&M Responsibility Mechanism
 Indicate how responsibility for O&M is assured. Check all that apply:
 O&M Agreement
 Other mechanism that assigns responsibility (describe below): _____

Reviewed:

Planning Department Public Works Department

Planning Division: _____ Land Development: _____

Other (Specify): _____ Other (Specify): _____

City of Milpitas - SCVURPPP C.3. Data Form Page 4 of 4 12/2013



PLANNING - ARCHITECTURE - ENGINEERING

3046 San Juan Ave
San Jose CA 95051
Tel: 408.887.6630

LANDLORD :

DUC NGUYEN & NGAN LE
81 Dixon Rd,
Milpitas CA 95035
Tel: 408-365-3947

DIXON MART LIQUORS SITE IMPROVEMENT

ADDRESS:
81 DIXON RD
MILPITAS CALIFORNIA 95035

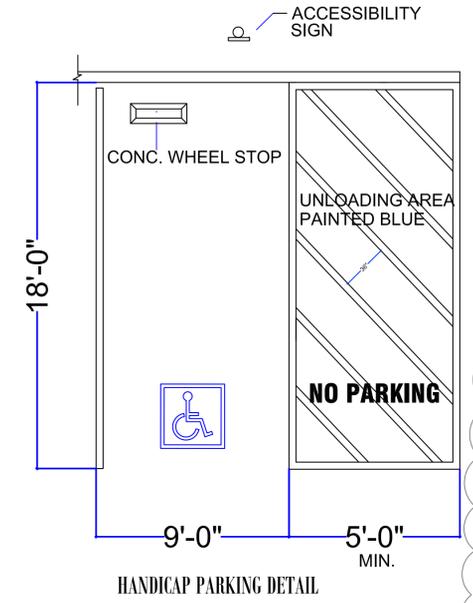
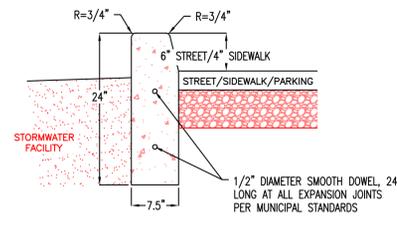
SHEET TITLE :

DETAILS & MISCELLANEOUS

Rev.0 09/22/2014
Rev.1 11/26/2014
Rev.2 12/15/2014

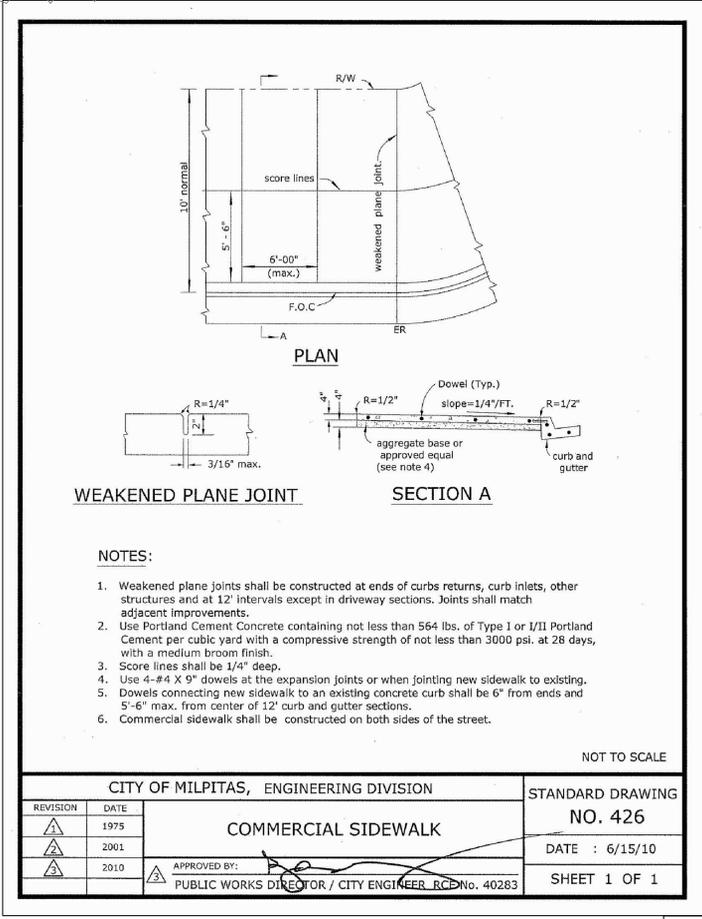
DESIGN BY :
TRIEU NGUYEN, P.E.

SCALE:
1/8" = 1 ft. - 0 inch, U.O.N



- DESIGN NOTES**
- SPECIAL DESIGN CONSIDERATION OR STRUCTURAL REVIEW MAY BE REQUIRED FOR LONGER SWALE EDGE SPANS. STEEL REINFORCEMENT OR ADDITIONAL CONCRETE CHECK DAMS MAY BE NEEDED FOR STABILITY.
 - WHEN SIDEWALK DRAINS TO PLANTER, PROVIDE 4" - 6" WIDE NOTCH OPENINGS, 1" BELOW SIDEWALK, SLOPED TO FACILITY, PER BIORETENTION PLANTER DETAILS. SPACE OPENINGS TO CONVEY FLOWS. PROVIDE MINIMUM 2" COVER BETWEEN DRAINAGE NOTCH OPENING AND DOWELS.
 - CONCRETE AND EXPANSION JOINTS SHALL MEET THE REQUIREMENTS OF THE MUNICIPALITY.
- CONSTRUCTION NOTES**
- FINISH ALL EXPOSED CONCRETE SURFACES.

DEEP CURB
N.T.S. (111)

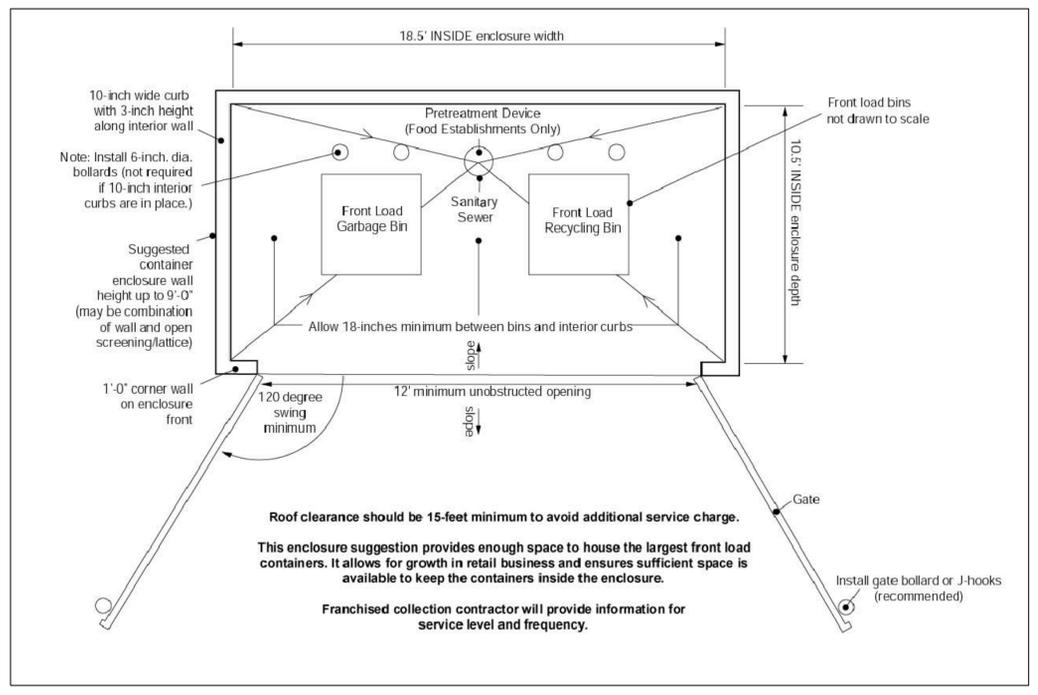


- NOTES:**
- Weakened plane joints shall be constructed at ends of curbs, returns, curb inlets, other structures and at 12' intervals except in driveway sections. Joints shall match adjacent improvements.
 - Use Portland Cement Concrete containing not less than 564 lbs. of Type I or II Portland Cement per cubic yard with a compressive strength of not less than 3000 psi. at 28 days, with a medium broom finish.
 - Score lines shall be 1/4" deep.
 - Use 4-#4 X 9" dowels at the expansion joints or when jointing new sidewalk to existing.
 - Dowels connecting new sidewalk to an existing concrete curb shall be 6" from ends and 5'-6" max. from center of 12' curb and gutter sections.
 - Commercial sidewalk shall be constructed on both sides of the street.

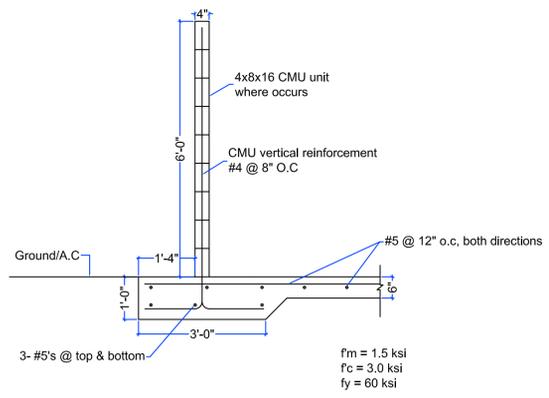
CITY OF MILPITAS, ENGINEERING DIVISION

REVISION	DATE	STANDARD DRAWING
1	1975	NO. 426
2	2001	DATE : 6/15/10
3	2010	SHEET 1 OF 1

APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER, RCD No. 40283



TYPICAL FRONT LOAD SERVICE TRASH ENCLOSURE PER CITY OF MILPITAS REQUIREMENT



NOTE:
CMU UNITS TO BE SPLIT FACE BLOCK OR MASONRY FINISHED TO MATCH THE BUILDING OR OTHER SOLID SCREENING MATERIAL UTILIZING COLORS AND MATERIALS WHICH COMPLEMENT THE BUILDING.



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LANDLORD :

DUC NGUYEN & NGAN LE
81 Dixon Rd.
Milpitas CA 95035
Tel: 408-365-3947

DIXON MART LIQUORS
SITE IMPROVEMENT

ADDRESS:
DIXON RD
MILPITAS CALIFORNIA 95035

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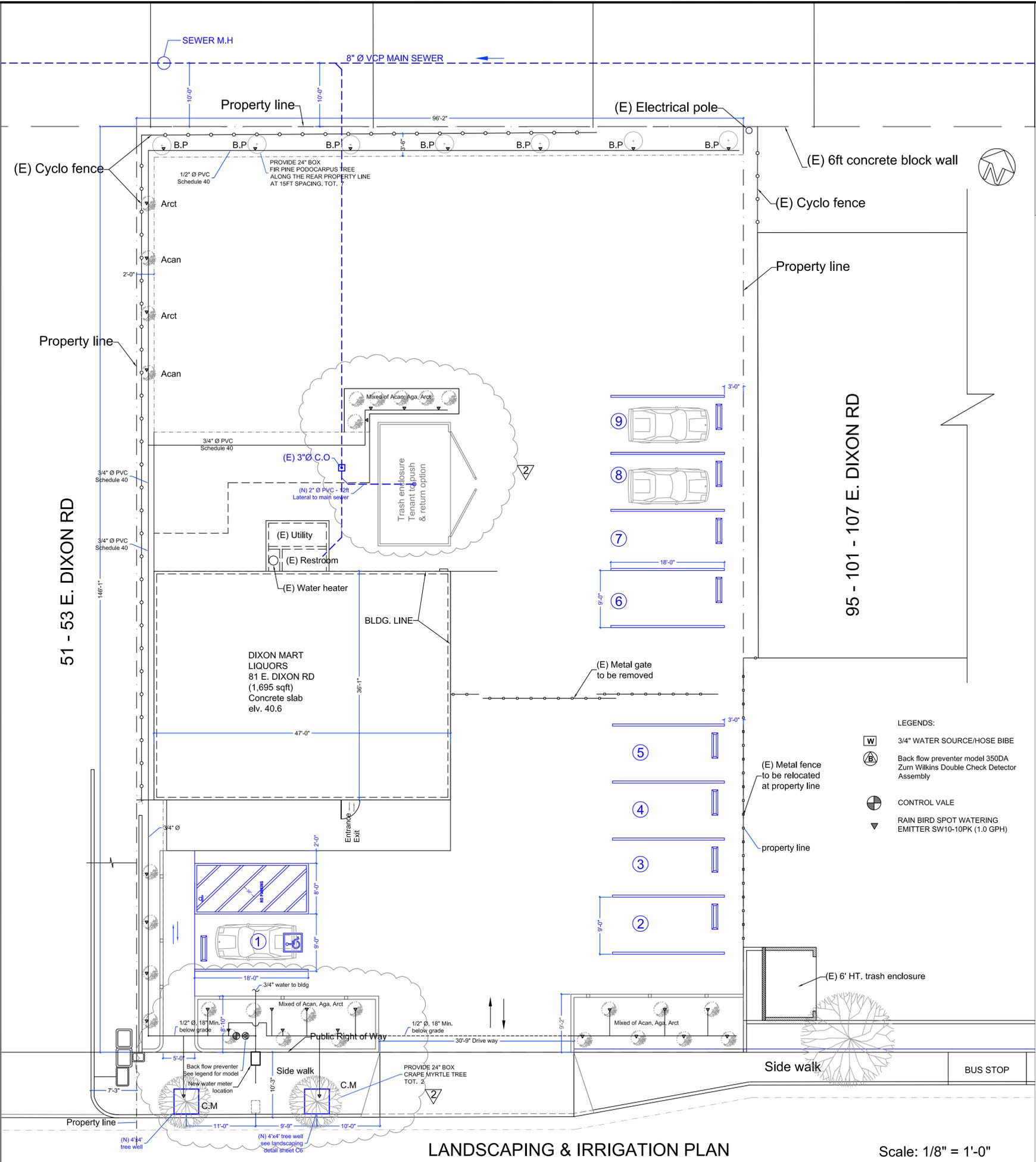
DETAILS & MISCELLANEOUS

Rev.0 09/22/2014
Rev.1 11/26/2014
Rev.2 12/15/2014

DESIGN BY :
TRIEU NGUYEN, P.E.

SCALE :
1/8" = 1 ft - 0 inch, U.O.N.

C-5



TREE - SHRUB - GROUND COVER LIST

TYPE	SYMBOL	BOTANICAL NAME	COMMON NAME	ABBREVIATION	BOX SIZE (in)	QUANTITY
TREE		Lagerstroemia Indica	Crape Myrtle	C.M	24	2
TREE		Podocarpus	Buddhist pine, Chinese yew	B.P	24	7
SHRUB		Bear's Breach Lily of the Nile Manzanita	Acanthus mollis Agapanthus africanus Arctostaphylos cultivars	Acan Aga Arct		22



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SHEET TITLE :

LANDSCAPING & IRRIGATION

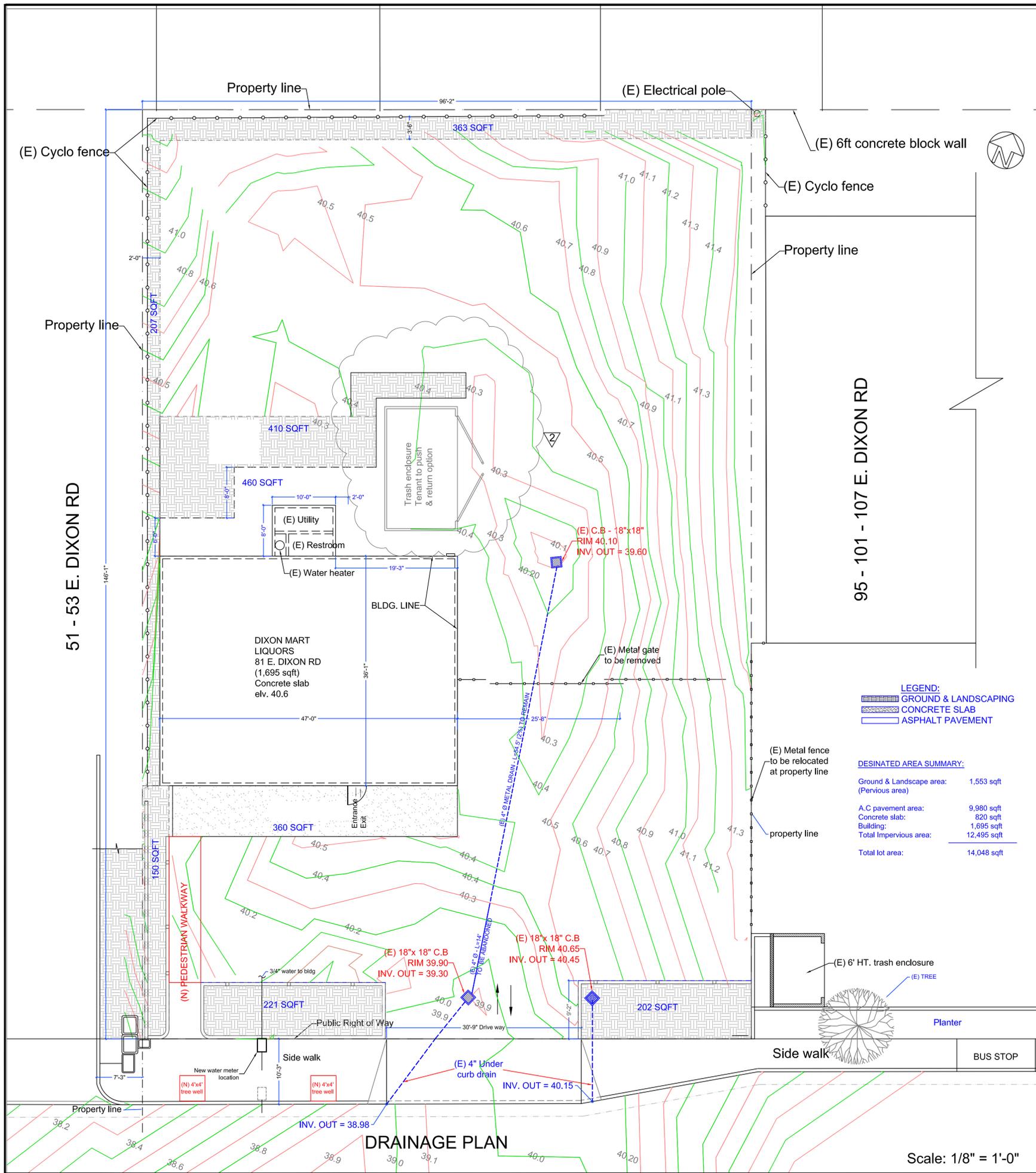
Rev.0 09/22/2014
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 Rev.2 12/15/2014

DESIGN BY :
 TRIEU NGUYEN, P.E.

SCALE :
 1/8" = 1 ft - 0 inch, U.O.N.

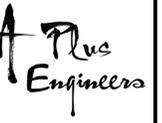
C-4

LANDSCAPING & IRRIGATION PLAN Scale: 1/8" = 1'-0"



DRAINAGE PLAN

Scale: 1/8" = 1'-0"



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 NGAN LE**
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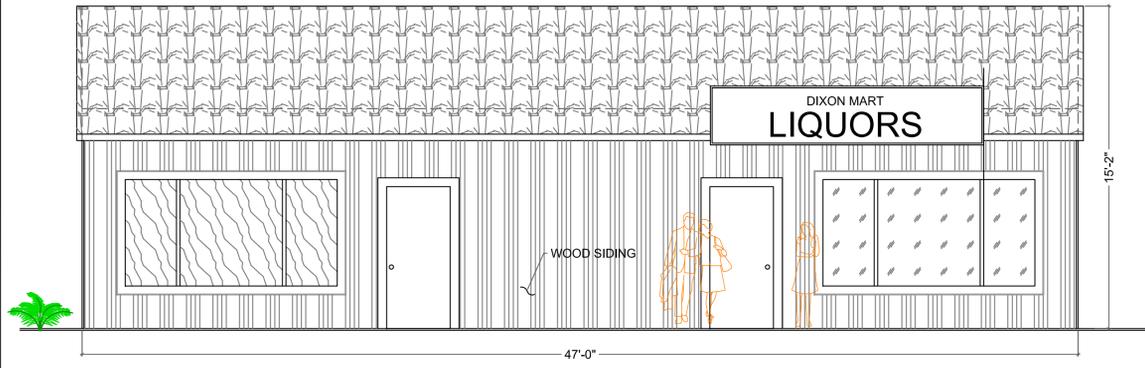
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DRAINAGE PLAN

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 Rev.1 11/26/2014
 Rev.2 12/15/2014

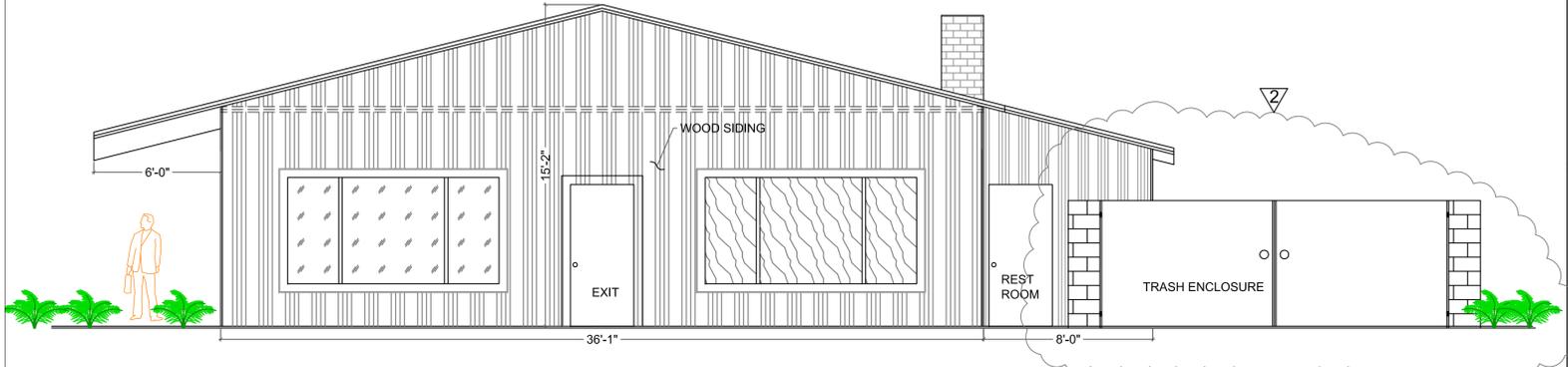
DESIGN BY :
 TRIEU NGUYEN, P.E.

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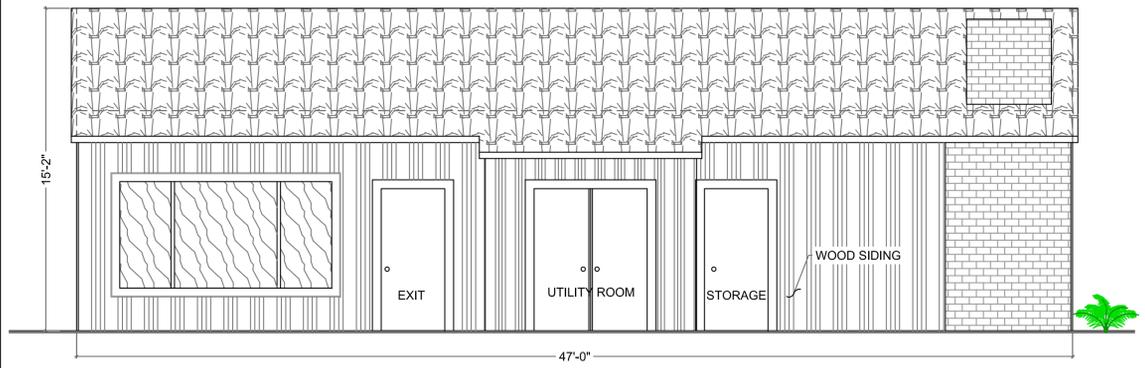
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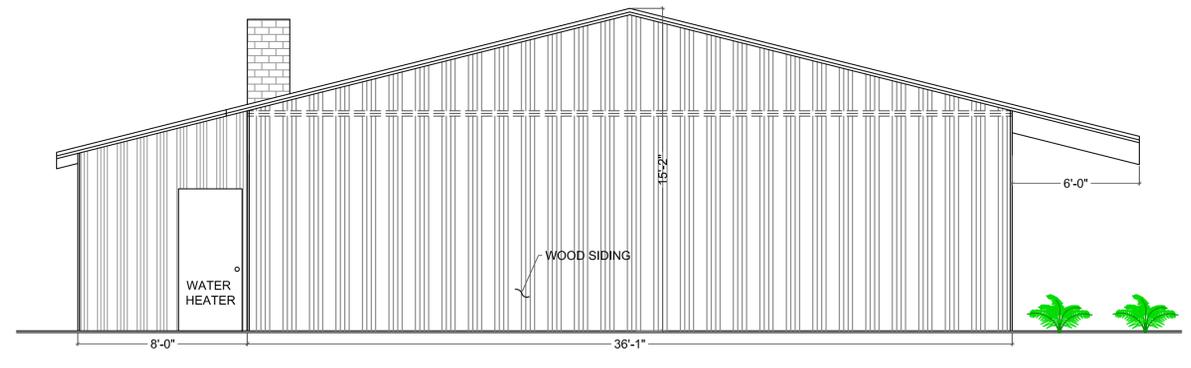
LEFT ELEVATION

Scale: 1/4" = 1'-0"



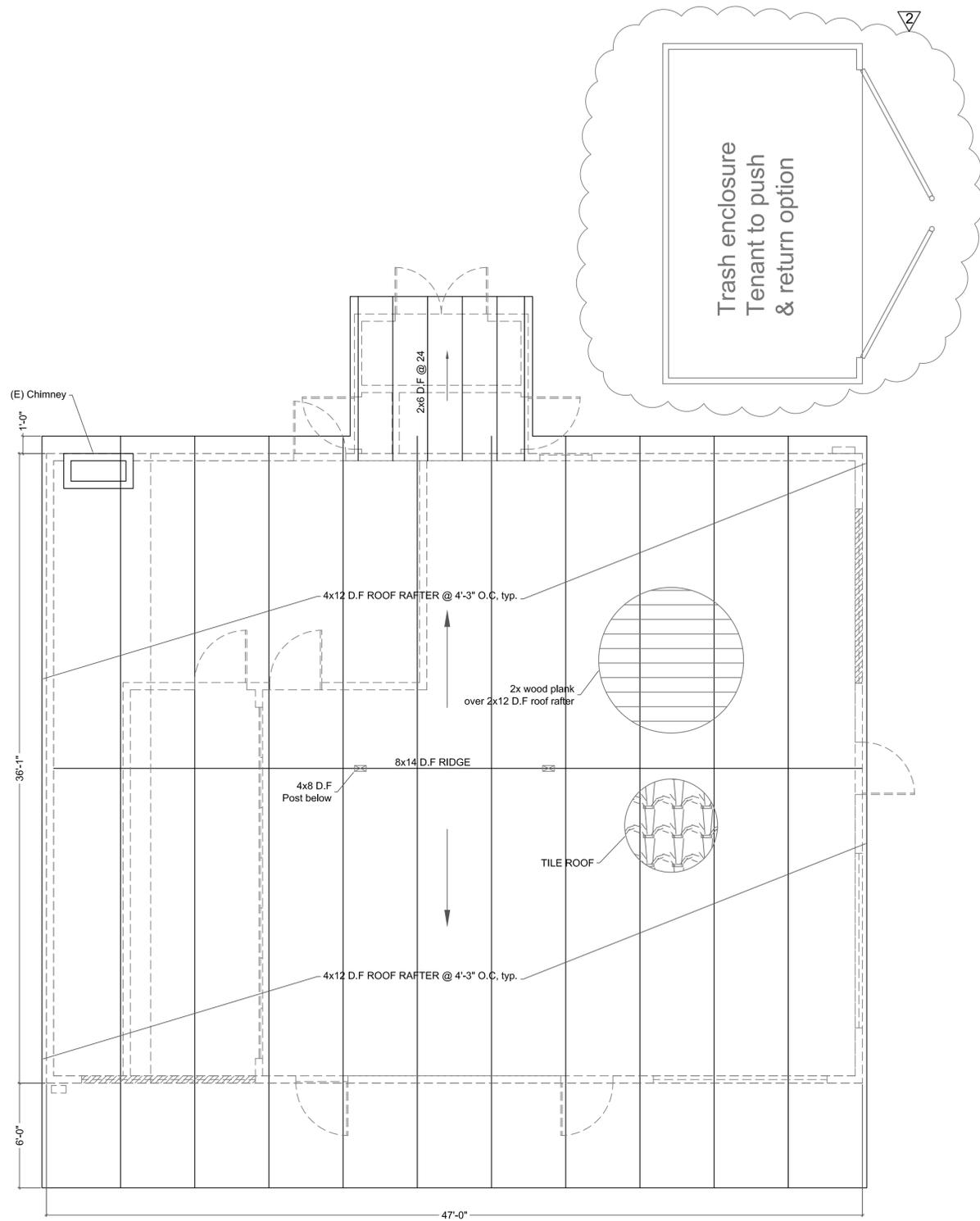
REAR ELEVATION

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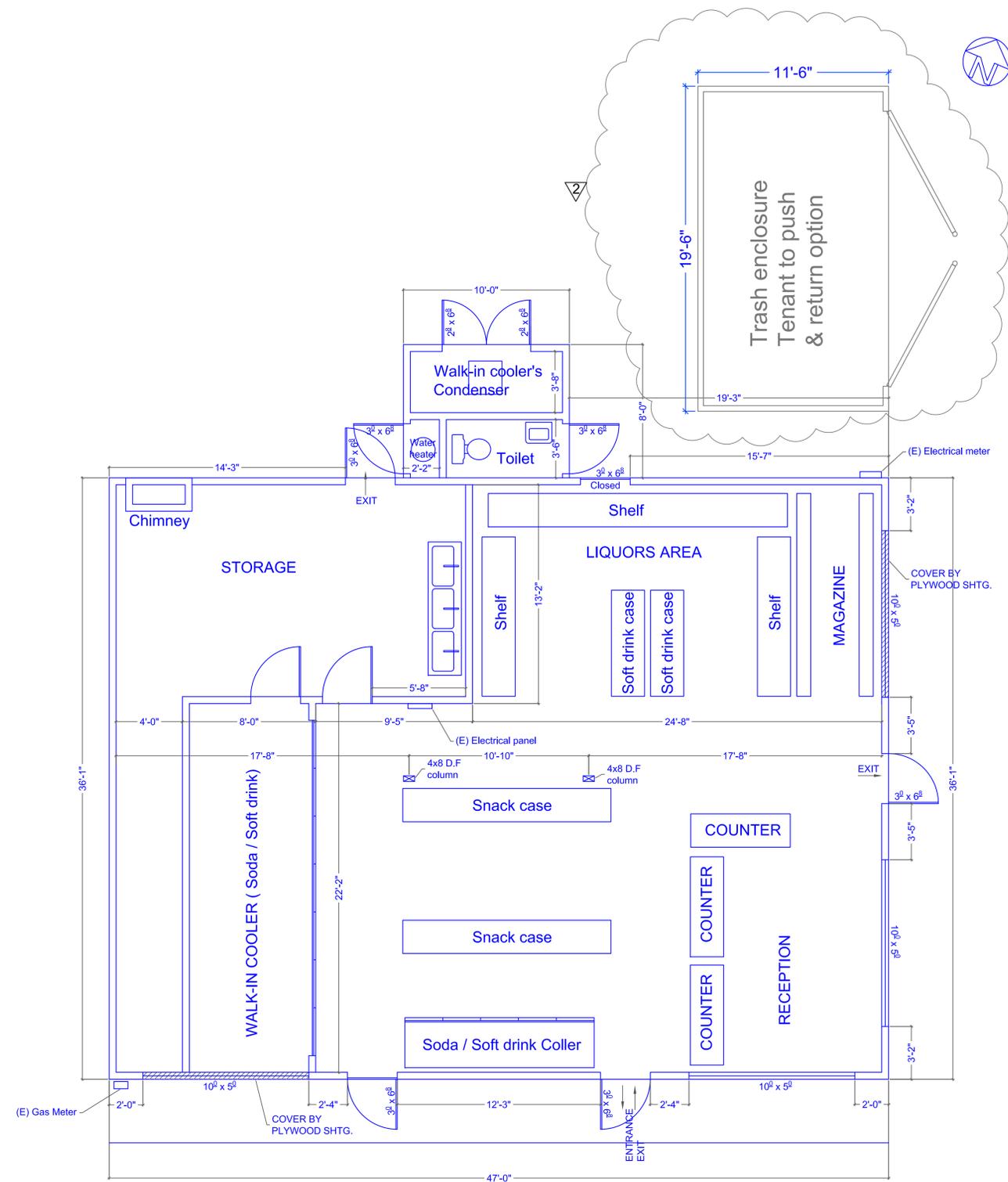
RIGHT ELEVATION

Scale: 1/4" = 1'-0"



ROOF PLAN

Scale: 1/4" = 1'-0"



FLOOR PLAN

Scale: 1/4" = 1'-0"