

AL-HILAAL MASJID & COMMUNITY CENTER

372-374 TURQUOISE STREET, MILPITAS, CALIFORNIA

- PLANNING SUBMITTAL PACKAGE -



ARCHVERSA
ARCHITECTURE

2325 Cimarron Dr, Santa Clara, CA 95051
408.250.0558 | archversa@gmail.com

CONSULTANTS

OWNER: AL HILAAL ISLAMIC CHARITABLE FOUNDATION	PROJECT CONTACT/PROJECT MANAGER: Contact: Salim Akhter Address: 90 Dempsey Road, Milpitas, CA 95035 Phone: -- email: salim_akhter@yahoo.com	ARCHITECT: ARCHVERSA ARCHITECTURE Contact: Mark Tiernan Phone: 408-582-3782 email: mstcs2000@aol.com	ARCHITECT: ARCHVERSA ARCHITECTURE Contact: Amin Adil Qazi, AIA Address: 2325 Cimarron Dr, Santa Clara, CA-95051 Phone: 408-250-0558 email: archversa@gmail.com
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PROJECT DATA

PROJECT ADDRESS: 372-374 TURQUOISE ST, MILPITAS, CA

ACCESSORS PARCEL #: APN 086-39-025
USE ZONE: M2 HEAVY INDUSTRIAL ZONE.
SITE AREA: 97,674 SF (2.24ACRES)
EXISTING LAND USE: OFFICE/ R&D.
PROPOSED USE: OFFICE/R&D AND COMMUNITY CENTER

BUILDING DATA
OCCUPANCY: B, A3
BUILDING TYPE: V-B
NUMBER OF STORIES: 1
FIRE SUPPRESSION: AUTO SPRINKLER SYSTEM

GROSS BUILDING AREA: 31,051 SF

	EXISTING AREA	PROPOSED AREA
TENANT 1:	2,762 SF	2,762 SF
TENANT 2:	2,055 SF	2,055 SF
TENANT 3:	13,125 SF	5,244 SF
TENANT 4:	9,164 SF	3,920 SF
COMMON:	3,945 SF	3,091 SF
TOTAL:	31,051 SF	17,072 SF

PROPOSED NEW
COMMUNITY CENTER: N/A 13,125 SF
TOTAL: 31,051 SF

ZONING ANALYSIS	REQUIRED	PROVIDED (EXISTING, NO CHANGE)
FAR:	0.4 MAX.	0.31
SITE COVERAGE:	40% MAX.	31 %
BUILDING HEIGHT:	NO LIMIT W/ PC APPROVAL	26'-0" TOP OF PARAPET
SETBACK MAJOR STREET:	35 FEET	93' FROM CURB ON EAST
SETBACK NON-MAJOR STREET:	25 FEET	25' FROM CURB ON NORTH
SETBACK SIDE YARD	NONE	71' FROM WEST PROPERTY LINE
SETBACK REAR YARD	NONE	68' FROM SOUTH PROPERTY LINE

CODE COMPLIANCE REVIEW

CONSTRUCTION TYPE: V-B
OCCUPANCY GROUP: B/A3

MAX HEIGHT ALLOWED FOR TYPE V-B: 40'-0"
HEIGHT INCREASE FOR AUTO SPRINKLER SYSTEM: 20'-0"
ALLOWABLE HEIGHT FOR MAIN BLDG.: 60'-0"

NO. OF STORIES ALLOWED: 1
INCREASE FOR AUTO SPRINKLER SYSTEM: 1
TOTAL STORIES ALLOWED: 2

ALLOWABLE AREA FOR B OCCUPANCY (TABLE 503):
BASIC ALLOWABLE: Aa = 9,000 SF
FRONTAGE INCREASES: H = [F/P - 0.25] W / 30
H = [800/800 - 0.25] 30/30
H = [0.75] 1
H = 0.75
AUTOMATIC SPRINKLER SYSTEM INCREASE:
Is = 3

ALLOWABLE AREA B OCCUPANCY: Aa = {At + [At x If] + [At x Is]}
= {9000 + [9000 x 0.75] + [9000 x 3]}
= 15750 + 27000 = 42,750 SF

ALLOWABLE AREA A3 OCCUPANCY: Aa = {At + [At x If] - [At x Is]}
= {8000 + [6000 x 0.75] + [6000 x 3]}
= 10500 + 18000 = 28,500 SF

TOTAL ALLOWABLE FOR MIXED USE OCCUPANCY:
B: 22,795 SF / 42,750 SF = 0.533
A3: 8,256 SF / 28,500 SF = 0.289
SUM OF RATIOS: 0.822 (LESS THAN 1, COMPLIES)

APPLICABLE CODES

2013 CALIFORNIA BUILDING CODE (CBC)
2013 CALIFORNIA MECHANICAL CODE (CMC)
2013 CALIFORNIA PLUMBING CODE (CPC)
2013 CALIFORNIA ELECTRICAL CODE (CEC)
2013 CALIFORNIA FIRE CODE (2009 IFC)
2013 CALIFORNIA GREEN BLDG. STANDARDS (CalGreen)
2013 CALIFORNIA ENERGY CODE (CEnc)
2011 MILPITAS MUNICIPAL CODE.

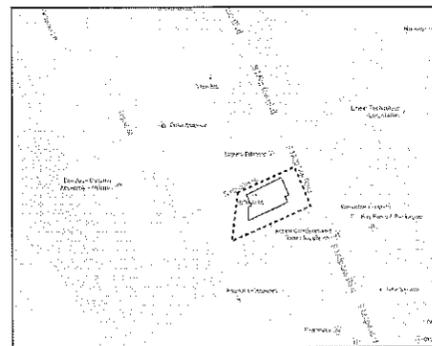
SCOPE OF WORK

THE PROJECT PROPOSES INTERIOR TENANT IMPROVEMENTS IN THE EASTERN PART OF THE BUILDING TO SUPPORT RELIGIOUS AND COMMUNITY CENTER FUNCTION NEEDS OF THE AL-HILAAL FOUNDATION.
THE IMPROVEMENTS INCLUDE DEMOLITION OF EXISTING INTERIOR SPACES AND BUILD-OUT OF NEW SPACES WITHIN THE EXISTING BUILDING ENVELOP.

DEFERRED SUBMITTALS

NONE.

VICINITY MAP



PARKING ANALYSIS

AL-HILAAL SUITE:	AREA/OCCUPANTS	RATIO	REQUIRED PARKING
PRAYER HALLS	437 OCCUPANTS	1 : 5	88
COMMUNITY/MULTIPURPOSE	3,950 SF	1 PER 200 SF	- (20 SPACES)
OFFICE	812 SF	1 PER 240 SF	4
TOTAL REQUIRED:.			88

NOTE: SEE 'OCCUPANT LOAD FOR PARKING REQUIREMENTS' TABLE ON SHEET A-002.

TENANT SUITES:	AREA	RATIO	REQUIRED PARKING
TENANT 1	2,762 SF		
TENANT 2	2,055 SF		
TENANT 3	5,244		
TENANT 4	3,920		
TENANT TOTAL:	13,981 SF	1 PER 240 SF	58

TOTAL PARKING SPACES REQUIRED: 88 + 58 = 146

PARKING SPACES PROVIDED:	
STANDARD:	121
H/C ACCESSIBLE:	5 (2 VAN ACCESSIBLE)
TOTAL:	126

NOTE: ADDITIONAL 20 SPACES ARE AVAILABLE ON TURQUOISE STREET FOR ON-STREET PARKING.

SHEET INDEX

G-0 COVER SHEET

ARCHITECTURE

A-001	GENERAL NOTES
A-002	CODE COMPLIANCE FLOOR PLAN
A-100	SITE PLAN
A-100L	LANDSCAPE SITE PLAN
A-100E	ELECTRICAL SITE PLAN
A-101D	DEMO FLOOR PLAN
A-101	PROPOSED FLOOR PLAN
A-201	EXISTING EXTERIOR ELEVATIONS
A-501	SITE AND ACCESSIBILITY DETAILS

STAMP



KEY PLAN

DATE	PLANNING SUBMITTAL DESCRIPTION	NO.
2015-04-27		

AL-HILAAL MASJID & COMMUNITY CENTER

CLIENT: AL-HILAAL ISLAMIC CHARITABLE FOUNDATION

PROJECT: COMMUNITY CENTER

ADDRESS: 372-374 TURQUOISE ST. MILPITAS, CA

PROJECT NO. 1501

SCALE: NONE

TITLE

COVER SHEET

G-0



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CONSULTANTS

STAMP



KEY PLAN

2015-04-27 PLANNING SUBMITTAL
DATE DESCRIPTION NO.

AL-HILAAL MASJID & COMMUNITY CENTER

CLIENT AL-HILAAL ISLAMIC CHARITABLE FOUNDATION

PROJECT COMMUNITY CENTER

ADDRESS 372-374 TURQUOISE ST. MILPITAS, CA

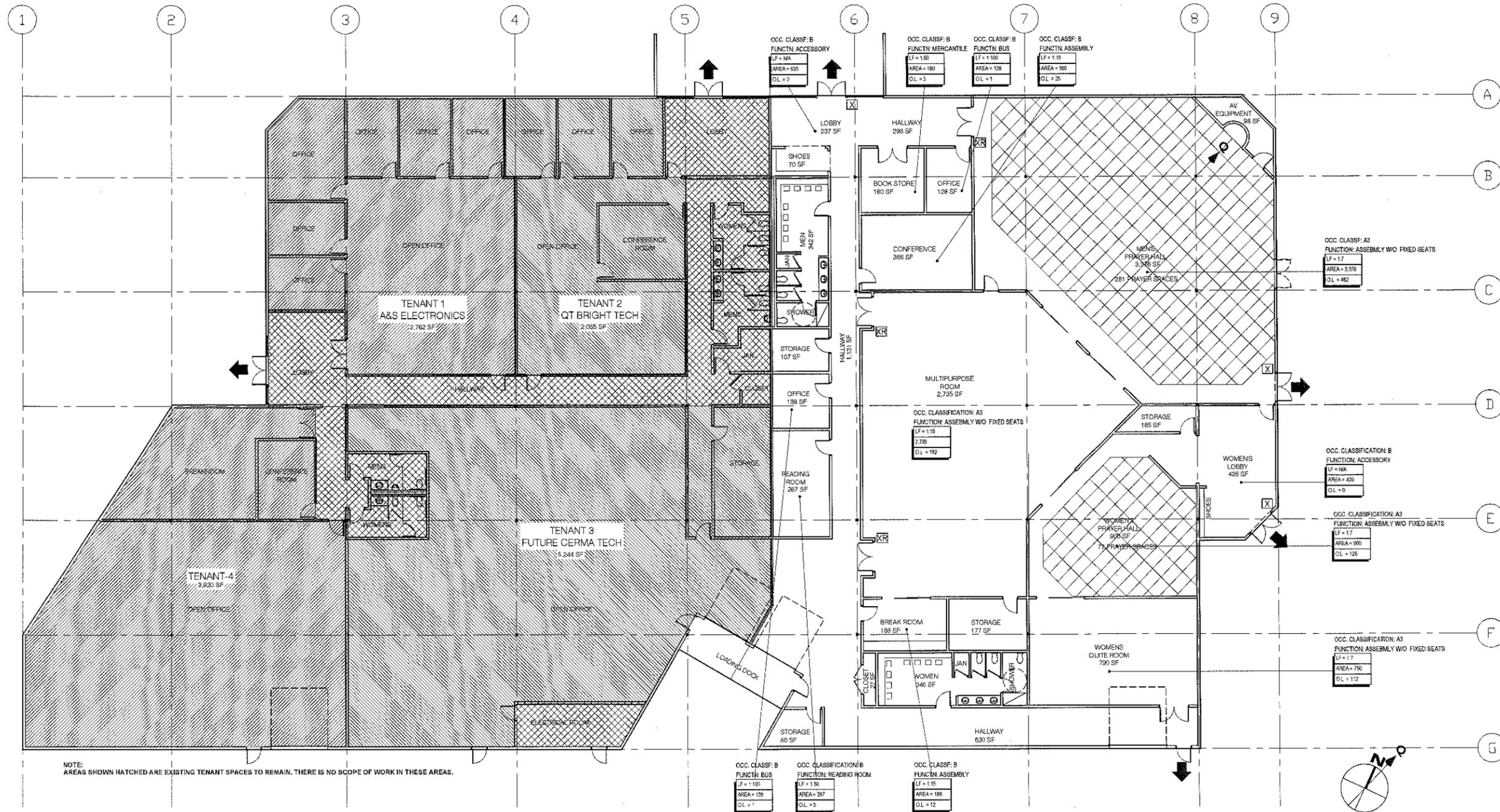
PROJECT NO. 1501

SCALE 1/8"=1'-0"

TITLE

CODE COMPLIANCE FLOOR PLAN

A-002



NOTE: AREAS SHOWN HATCHED ARE EXISTING TENANT SPACES TO REMAIN. THERE IS NO SCOPE OF WORK IN THESE AREAS.

CODE ANALYSIS

GENERAL BUILDING HEIGHTS AND AREAS:

SEE COVER SHEET G-4 FOR ALLOWABLE AREA AND HEIGHT CALCULATION

FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS:	REQUIRED	PROVIDED
BUILDING TYPE V-B		
EXTERIOR WALLS NON-BEARING (Table 601)	NON-RATED	NON-RATED
EXTERIOR WALLS <10' FROM PROPERTY	1-HR RATED	1-HR RATED
INTERIOR WALLS NON-BEARING (Table 601)	NON-RATED	NON-RATED
PRIMARY STRUCTURAL FRAME (Table 601)	NON-RATED	NON-RATED
STRUCTURAL FRAME <10' FROM PROPERTY	1-HR RATED	1-HR RATED
FLOOR CONSTRUCTION (Table 601)	NON-RATED	NON-RATED
ROOF CONSTRUCTION (Table 601)	NON-RATED	NON-RATED
SHAFT ENCLOSURE (Section 708.2)	1-HOUR	1-HOUR
STAIR-1 UN-ENCLOSED (Section 708.2)	NON-RATED FOR UN-ENCLOSED STAIRCASE	NON RATED
STAIR-2 EXTERIOR OPEN	NOT REQUIRED	
ELEVATOR LOBBY (Section 708)	NOT REQUIRED	NOT PROVIDED
EXTERIOR WALL OPENINGS (Section 705.8)	NO FIRE RATING REQUIRED	NOT PROVIDED
EXTERIOR WALL OPENING 5' TO LESS THAN 10' FROM PROPERTY (Table 705.8)	FIRE RATING NOT REQUIRED FOR LESS THAN 25% OPENING AREA	NOT PROVIDED

CODE COMPLIANCE LEGEND:

OCC. CLASS: A3
FUNCTION: ASSEMBLY W/O FIXED SEATS
LF = 1.7
AREA = 3,376
DL = 482

OCC. CLASS: B
FUNCTION: BUS
LF = 1.00
AREA = 126
DL = 1

OCC. CLASSIFICATION B
FUNCTION: READING ROOM
LF = 1.50
AREA = 267
DL = 5

OCC. CLASS: B
FUNCTION: ASSEMBLY
LF = 1.15
AREA = 188
DL = 12

XSD TACTILE "EXIT STAIR DOWN" SIGN
BRAILLE SIGN PER CBC 1011.3, NOTE 2

TX TACTILE "TO EXIT" SIGN
BRAILLE SIGN PER CBC 1011.3, NOTE 5.

TS TACTILE STAIR LEVEL IDENT. SIGN
BRAILLE SIGN PER CBC 1020.1.6.2

⊗ CEILING MOUNTED EXIT SIGN

→ DIRECTION OF TRAVEL

→ BUILDING EXIT

→ DIRECTION OF TRAVEL

● FIRE EXTINGUISHER CABINET

X TACTILE "EXIT" SIGN
BRAILLE SIGN PER CBC 1011.3, NOTE 1.

XR TACTILE "EXIT ROUTE" SIGN
BRAILLE SIGN PER CBC 1011.3, NOTE 1.

OCCUPANT LOAD FOR EXITING (CBC2013):

AREA FUNCTION	AREA	OCCUPANCY GROUP	LOAD FACTOR	OCCUPANT LOAD
MEN'S PRAYER	3,376 SF	A3	7	482
WOMEN'S PRAYER	900 SF	A3	7	126
WOMEN'S QUIET ROOM	790 SF	A3	7	112
READING ROOM	2,735 SF	B	50	5
MULTIPURPOSE ROOM	188 SF	A3	15	162
BREAK ROOM	366 SF	A3	15	25
CONFERENCE ROOM	180 SF	B	80	3
BOOK STORE	128 SF	B	100	1
OFFICE	136 SF	B	100	1
MEN'S LOBBY	237 SF	-	-	-
ENTRANCE HALLWAY	298 SF	-	-	-
WOMEN'S LOBBY	429 SF	-	-	-
STORAGE ROOMS	549 SF	B	300	2
ACCESSORY SPACES	668 SF	-	-	-
TOTAL				965

EXIT DOOR WIDTH REQUIREMENTS:

REQUIREMENT	REQUIRED	PROVIDED
965 OCCUPANTS	965 x 0.2 = 190" MIN.	238"

PLUMBING FIXTURE COUNT (CPC 2013 TABLE 4-1):

PLUMBING OCCUPANCY GROUP	OCCUPANT LOAD	WC PER PERSON	WC REQUIRED	WC PROVIDED	LAVATORY REQ'D	LAVATORY PROVIDED
WORSHIP PLACES PRINCIPAL ASSEMBLY PLACE	MALE: 288/2 = 144	MALE: 1/150	1 + 1 URINAL	3	1	3
TOTAL	FEMALE: 288/2 = 144	FEMALE: 1/75	2	8	2	4

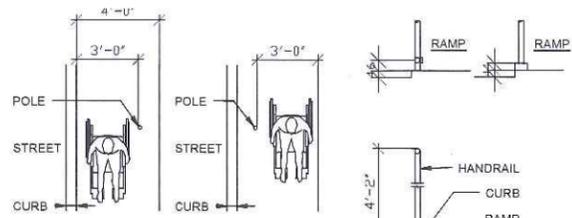
OCCUPANT LOAD FOR PARKING CALCS. (ZONING ORD):

AREA FUNCTION	OCCUPANT LOAD	OCCUPANCY GROUP	LOAD FACTOR	OCCUPANT LOAD
MEN'S PRAYER HALL	281 SPACES	RELIGIOUS	1.5	56
WOMEN'S PRAYER HALL	77 SPACES	RELIGIOUS	1.5	16
WOMEN'S QUIET ROOM	79 SPACES	RELIGIOUS	1.5	16
READING ROOM	NOT IN USE	COMM. CNTR	1/200 SF	-
MULTIPURPOSE ROOM	NOT IN USE	COMM CNTR	1/200 SF	-
BREAK ROOM	NOT IN USE	COMM CNTR	1/200 SF	-
CONFERENCE ROOM	NOT IN USE	OFFICE	1/240 SF	-
BOOK STORE	NOT IN USE	COMM CNTR	1/240 SF	-
OFFICE	NOT IN USE	OFFICE	1/240 SF	-
OFFICE	NOT IN USE	OFFICE	1/240 SF	-
TOTAL				88

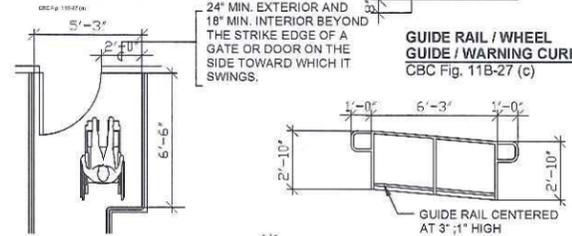
NOTE: MAXIMUM OCCUPANCY IN THE BUILDING IS DURING THE PRAYER SERVICE. ALL OTHER COMMUNITY CENTER AREAS ARE NOT IN USE DURING THE PRAYER SERVICE.

PLUMBING OCCUPANT LOAD (CPC 2013 TABLE A):

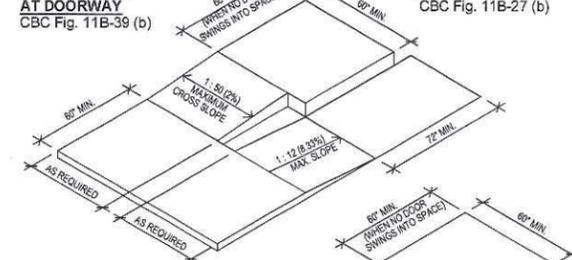
PLUMBING OCCUPANCY GROUP	AREA	LOAD FACTOR	OCCUPANT LOAD
GROUP A WORSHIP PLACES	5,333 SF	30	177
GROUP A CONFERENCE	3,295 SF	30	109
GROUP B OFFICE	265 SF	200	2
TOTAL:			288



13 PEDESTRIAN RAMP AND SIDEWALK DIAGRAM
SCALE: 1/4" = 1'-0"



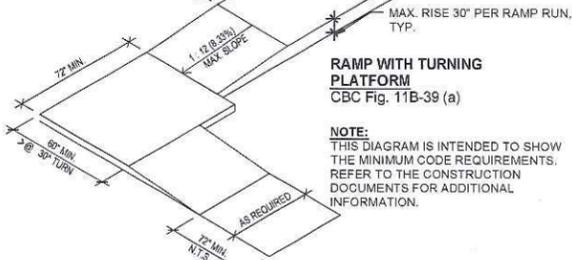
14 ACCESSIBLE PARKING STALLS
SCALE: 1/4" = 1'-0"



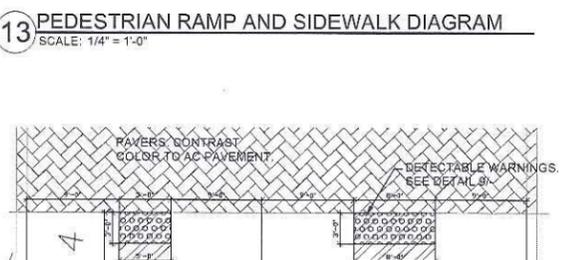
15 RAMP LANDING AT DOORWAY
SCALE: 1/4" = 1'-0"



16 RAMP WITH INTERMEDIATE SWITCH-BACK PLATFORM
SCALE: 1/4" = 1'-0"



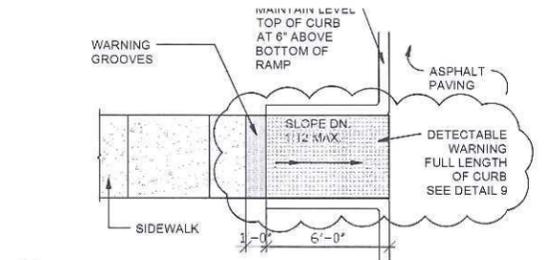
17 RAMP AND GUIDE RAIL DETAILS NOT USED IN THIS PROJECT
SCALE: 1/4" = 1'-0"



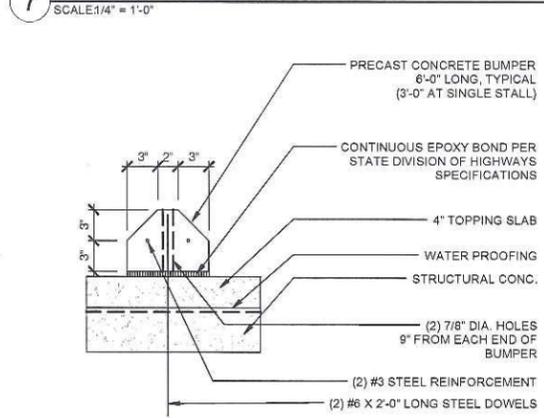
18 RAMP WITH TURNING PLATFORM
SCALE: 1/4" = 1'-0"



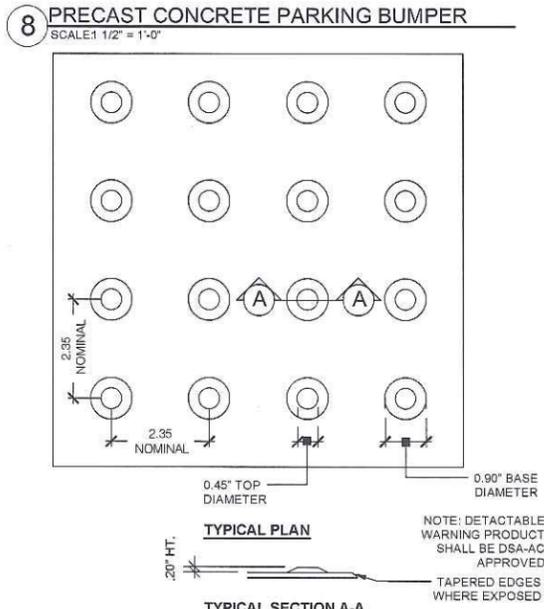
19 STRAIGHT RAMP RUN
SCALE: 1/4" = 1'-0"



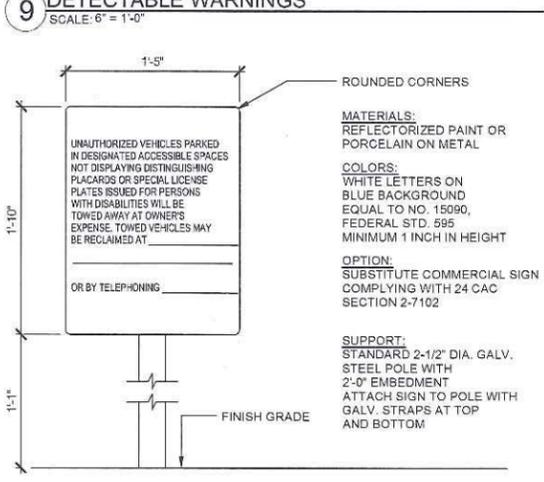
7 CURB CUT AT SIDEWALK
SCALE: 1/4" = 1'-0"



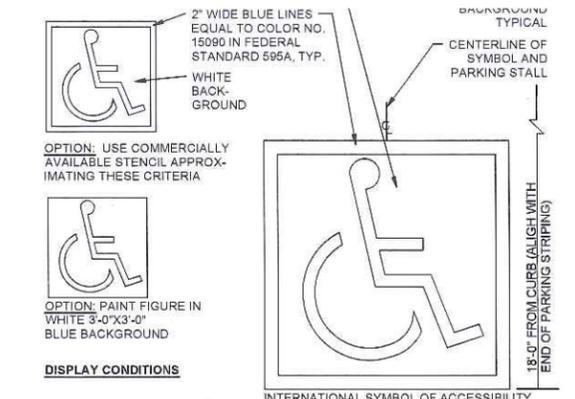
8 PRECAST CONCRETE PARKING BUMPER
SCALE: 1 1/2" = 1'-0"



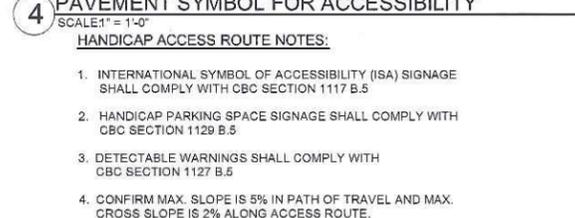
9 DETECTABLE WARNINGS
SCALE: 6" = 1'-0"



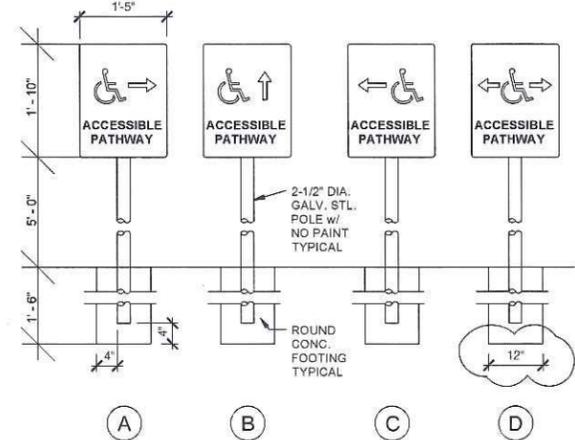
10 SITE ACCESSIBLE SIGN
SCALE: 1 1/2" = 1'-0"



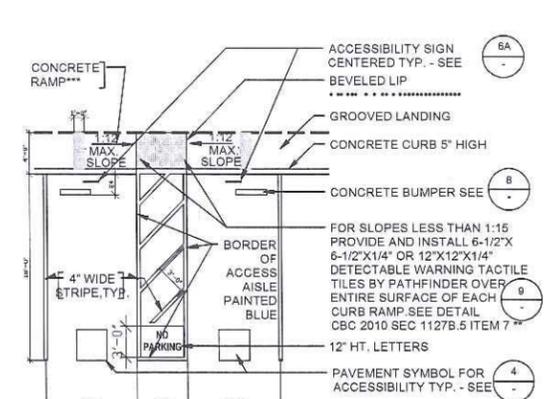
4 PAVEMENT SYMBOL FOR ACCESSIBILITY
SCALE: 1" = 1'-0"



5 HANDICAP ACCESS PATH SIGN
SCALE: 3/4" = 1'-0"



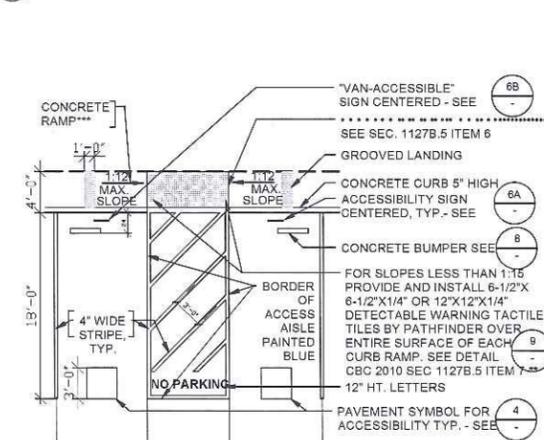
6 ACCESSIBLE PARKING SIGNAGE
SCALE: 3" = 1'-0"



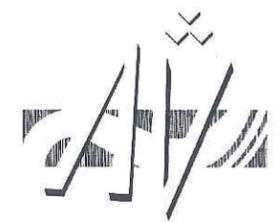
1 ACCESSIBLE PARKING STALLS
SCALE: 1/8" = 1'-0"



2 ACCESSIBLE PARKING STALLS - VAN
SCALE: 1/8" = 1'-0"



3 BUILDING EXTERIOR SIGN
SCALE: 3" = 1'-0"



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CLIENT AL-HILAAL ISLAMIC CHARITABLE FOUNDATION

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SCALE AS NOTED

TITLE

ADA AND SITE DETAILS

A-501