



BARRY SWENSON BUILDER
A DIVISION OF GREEN VALLEY CORP.

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Consultant:

Revisions:

- △ OCTOBER 23, 2015
- △ JANUARY 20, 2016

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BARRY SWENSON BUILDER

PIPER DRIVE
RESIDENTIAL
1256 PIPER DRIVE, MILPITAS, CA 95035

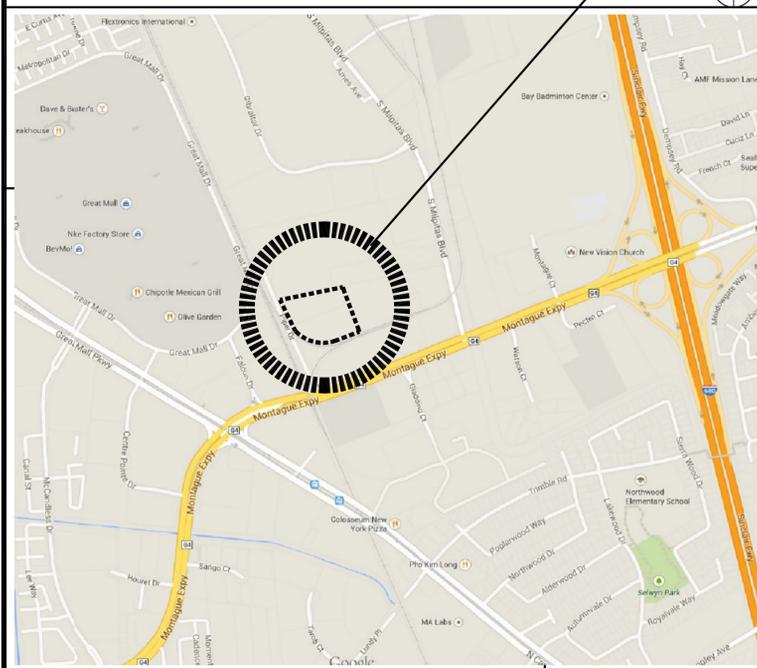
TITLE SHEET



PIPER DRIVE RESIDENTIAL

1256 PIPER DRIVE
MILPITAS, CALIFORNIA 95035

VICINITY MAP



PROJECT DIRECTORY:

OWNER
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PROJECT DESCRIPTION:

THE PROJECT SCOPE FOR THIS DEVELOPMENT INCLUDES, BUT IS NOT LIMITED TO, DEMOLITION OF EXISTING STRUCTURES, GRADING AND LEVELING OF THE SITE, RE-ALIGNMENT OF PARCELS TO A TOTAL OF TWO AND BUILD THE FOLLOWING RESIDENTIAL COMPONENTS:

PARCEL ONE:
(12) STORY RESIDENTIAL TOWER WITH (1) LEVEL OF BELOW GRADE PARKING AND (3) LEVELS OF ABOVE GRADE PARKING. THE LOBBY, RETAIL SPACE, AND AMENITY SPACE OCCUPY THE 1ST FLOOR, THE 4TH FLOOR WILL HAVE A LARGE AMENITY DECK COMPLETE WITH POOL AND SPA, AND THE RESIDENTIAL UNITS WILL BE LOCATED ON FLOORS 4-12.

PARCEL TWO:
(98) 3 STORY TOWNHOMES WITH CIRCULATION WALKWAYS, ROADWAYS, GUEST PARKING, AND PARK-LIKE OPEN SPACE THROUGHOUT.

PLANNING NUMBERS:

SITE DEVELOPMENT PERMIT
SD14-0025

CONDITIONAL USE PERMIT
UP15-0003

VESTING TENTATIVE MAP
MT14-0006

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Date: DECEMBER 23, 2014

Scale:

Drawn by: DM

Job #: 14-9180

A0.0 TITLE SHEETING

Sheet

A0.0

BUILDING & SAFETY DEPARTMENT GENERAL NOTES - TOWER

- Applicable codes shall be 2013 CBC, CMC, CEC, CPC, Green Building Standards Code, California Energy Code and 2014 Milpitas Municipal Code.
- Building shall meet LEED Silver threshold as per 2014 MMC sec.II-20-3.01.
- Applicable codes shall be 2013 CBC, CMC, CEC, CPC, Green Building Standards Code, California Energy Code and 2014 Milpitas Municipal Code.
- Applicant shall apply for new building addresses prior to submitting for building permit. Building shall meet LEED Silver threshold as per 2014 MMC sec.II-20-3.01.
- Apartment/Condominium building shall be classified as group R2 occupancy as per 2013 CBC sec. 310. Garages exceeding 3,000 square feet shall be classified as S-2 occupancy as per sec.311.
- Residential high-rise buildings shall be Type I construction minimum per 2013 CBC sec.503.1 and Table 503. Type of construction may be reduced as per sec.403.2.1.1.
- Allowable building area for building shall be per 2013 CBC section 506. Basic allowable building height and basic allowable building area shall be per Table 503.
- In buildings with an occupied floor more than 120 feet above the lowest level of fire department vehicle access, a minimum of two fire service access elevators shall be provided in accordance with 2013 CBC sec.3007 as per sec.403.6.1.
- The maximum area of protected and unprotected openings in exterior walls shall comply with 2013 CBC sec. 705.8.
- Wall and floor separating units in the same building and separating units from other occupancies are required to be one-hour fire resistive construction per 2013 CBC, section 420, 708 and 711.
- Corridor with occupant load over 10 shall be one-hour rated with 20-minute doors leading to it per 2013 CBC section 1018.1.
- Minimum no. of exits shall be provided per 2013 CBC Table 1021.1 and the exits provided shall comply with 2013 CBC sec. 1019 through 1027. The required number of exits from any story shall be maintained until arrival at grade or public way per 2013 CBC sec. 1021.1. Elevator shall not be used as a component of a required means of egress per 2013 CBC sec. 1003.7.
- In the units provide carbon monoxide detectors in addition to smoke detectors as per 2013 CBC sec.420.6.
- Elevators opening into corridor shall be provided with an elevator lobby as per 2013 CBC section 713.14.1. The lobby shall completely separate the elevator from corridor by fire or smoke partition.
- Elevator shall be enclosed in a shaft enclosure per 2013 CBC section 708.2.
- An enclosed elevator lobby shall be provided at each floor without exception for fire-sprinklered building per 2013 CBC sec. 713.14.1.
- All required stairway in a high rise building shall have an approved hatch openable to the exterior per 2013 CBC section 1009.16.
- Roofing material shall be per 2013 CBC, Table 1505.1.
- Exit enclosure in high-rise building shall be two-hour fire-resistive construction per 2013 CBC section 1022.2.
- One stairway shall extend to the roof surface, unless the roof has a slope steeper than 4:12 per 2013 CBC section 1009.16.
- Exterior openings required for natural light shall open directly onto a public way, yard or court as set forth in 2013 CBC sec. 1205.1.
- Provide acoustical report to determine sound insulation requirements for at least exterior walls. Interior sound insulation shall be as per 2013 CBC sec.1207 or as per acoustical report.
- Dwelling units, which has non-openable windows as required by acoustical report shall be provided with mechanical ventilation as per 2013 CBC sec.1203.1 and 2013 CMC sec.402.3. As per City policy BDP-ME05, City does not allow the use of exhaust only fans to achieve the fresh outside air requirement through infiltration.
- Bicycle short term and long term parking shall be provided as per 2013 California Green Building Standards Code sec.5.106.4.1.
- Clean air vehicles parking shall be provided as per 2013 California Green Building Standards Code sec.5.106.5.2. As per City policy BDP-BLG17 if EV charging stations are provided at least one such parking space shall be accessible and accessible EV charging parking space shall not be counted as one of the required accessible parking spaces as required by CBC, because the space is allowed to be used by non-disabled people.

ELECTRICAL

- All new electrical services shall be underground per 2014 Milpitas Municipal Code section II-6-2.02.
- The main services disconnect shall be located in the first floor of the building per 2014 Milpitas Municipal Code II-6-2.03.
- Grounding system shall comply with 2014 Milpitas Municipal Code sec.II-6-2.04.

ELECTRICAL GENERATOR

- Notes for the electrical generator
 - Fuel tank(s) located below grade shall be considered underground tanks in accordance with the California code of Regulations, Title 23, Division 3, Chapter 16 (State Underground Tank Regulations).
 - If the fuel tank system(s) is not to be considered an underground tank, as defined by the underground tank regulations, provide documentation demonstrating compliance with the specified State Water Resource Control Board's Guidance letter LG-165-2. Construction drawings, for the fuel tank, shall be submitted to the City for compliance with the California Fire Code Chapters 27 and 34.

ACCESSIBILITY

- People with disabilities accessible parking shall be provided per 2013 CBC, section 1109A.3 (2% shall be accessible of the covered dwelling units). Signage is not required.
- Each type of parking shall be accessible as per 2013 CBC sec.1009A.3 and 1009A.4.
- If visitor parking is provided, a minimum of 5% parking stalls shall be accessible and shall be provided with signage as per 2013 CBC sec.1009A.5.
- Accessible parking spaces shall be dispersed and located closest to the accessible entrances and elevators as per 2013 CBC per sec.1009A.7.
- One in every eight accessible parking spaces shall be " Van accessible ", but not less than one per 2013 CBC section 1109A.8.6.
- An accessible route of travel shall be provided to all accessible building entrances. At least one accessible route shall be provided from public transportation stop, accessible parking and public street to building entrance per 2013 CBC section 1110A.1.
- Accessibility signs shall be provided at every primary public entrance and at every major junction along or leading to an accessible route of travel and at building entrance that are accessible per 2013 CBC, section 1110A.2.
- All primary entrances and required exit doors to building and facilities shall be accessible to people with disabilities per 2013 CBC, section 1117A.2.
- At least one accessible means of egress shall be an elevator as per 2013 CBC sec.1007.2.1 unless building is provided with approved automatic fire sprinkler system and horizontal exit at each floor.
- All entrances to and vertical clearances within parking structures shall have a minimum of 8 feet 2 inches where required for persons with disabilities per 2010 CBC section 1109A.8.1.
- Each accessible portion of the space shall be served by accessible means of egress in at least the same number as required by 2013 CBC sec. 1015.1 or 1021.1 per sec. 1007.1.
- Areas of refuge shall be provided with a 2-way communication system between the area of refuge and a central control point per 2013 CBC sec. 1007.6.3.
- All elevators shall be accessible as per 2013 CBC section 1124A.
- All elevators in high-rise buildings shall be provided with not less than one medical emergency service to all landings meeting the provisions of 2013 CBC sec. 3002.4a.
- If an elevator is considered as part of an accessible means of egress, it shall comply with the emergency operation, signaling device and standby power requirements and shall be accessed from an area of refuge per 2013 CBC sec. 1007.4.
- Bathing and toilet facilities within covered multifamily dwelling units shall comply with 2013 CBC sec. 1134A.
- Provide maneuvering clearance at all interior doors per 2013 CBC sec. 1132A.5 and at entrance doors and exit doors per 2013 CBC sec. 1126A.3.
- Kitchens within covered multifamily dwelling units shall comply with 2013 CBC sec. 1133A.

PUBLIC AND COMMON AREA

- Public-use and common-use areas shall be accessible per 2013 CBC section 1127A.
- Fitness center, swimming pools and all common facilities shall be fully accessible to people with disabilities per 2013 CBC sections 1102A.4, sec.1141A and sec.1127A.

PROPOSED TOWER DATA

| | | | |
|---|--|--|---------------------|
| RELATIVE ADDRESS: | 1256 PIPER DRIVE, MILPITAS, CA 95035 | | |
| ZONING | R4 - T.O.D. | MULTI FAMILY RESIDENTIAL, VERY HIGH DENSITY (R4) - T.O.D. TRANSIT OVERLAY DISTRICT | |
| HEIGHT LIMIT | 75 FT., 12 STORIES, UPTO 20 STORIES (U.P.) | MILPITAS TRANSIT AREA SPECIFIC PLAN, TABLE 5-1 | |
| APN: | 086-32-035 AND 036 | TOTAL UNITS | |
| AREA OF TOWER SITE (S.F.): | 68,338.00 | ACRES: 1.57 | UNITS PER ACRE: 134 |
| AREA OF ADJACENT SITE (TOWNHOMES): | 180,697.10 | ACRES: 4.15 | UNITS PER ACRE: 24 |
| TOTAL: | 249,035.10 | 5.72 | UNITS PER ACRE: 54 |

PROPOSED TOWER DATA:

| PROVIDED SF/UNIT | STUDIO | 1B1BTH | 2BD2BTH | TOTAL |
|------------------------------|--------------|--------------|--------------|---------------|
| BALCONY (S.F.) | | | | |
| FLOOR | | | | |
| 1 | | | | 0 |
| 2 | | | | 0 |
| 3 | | | | 0 |
| 4 | 8 | 6 | 4 | 18 |
| 5 | 14 | 6 | 4 | 24 |
| 6 | 14 | 6 | 4 | 24 |
| 7 | 14 | 6 | 4 | 24 |
| 8 | 14 | 6 | 4 | 24 |
| 9 | 14 | 6 | 4 | 24 |
| 10 | 14 | 6 | 4 | 24 |
| 11 | 14 | 6 | 4 | 24 |
| 12 | 14 | 6 | 4 | 24 |
| SUBTOTAL UNITS | 120 | 54 | 36 | |
| TOTAL PROPOSED UNITS: | | | | 210 |
| % UNIT TYPES / TOTAL | 57.1% | 25.7% | 17.1% | 100.0% |

PARKING REQUIRED:

REQUIRED RESIDENTIAL PARKING

| FACTOR (CONFORMING) | STUDIO | 1 BDRM | 2BDRMS | GUEST PARK'G (% OF TOTAL REQ'D) | TOTAL |
|---|-----------|-----------|-----------|------------------------------------|------------|
| | 0.8 | 1.2 | 1.6 | | |
| SUBTOTAL PARKING REQUIRED: | 96 | 65 | 58 | 33 | 252 |
| REDUCTION (MILPITAS TRANSIT AREA SPECIFIC PLAN, PG 5-56) | | | | | 0 |
| TOTAL RESIDENTIAL PARKING REQUIRED: | | | | | 252 |

RESIDENTIAL HC REQUIRED:

| | | |
|--|----|---|
| | 2% | 6 |
|--|----|---|

REQUIRED RETAIL PARKING

| TOTAL RETAIL PARKING REQUIRED | SQFT | SQFT x .85 | LOAD FACTOR | TOTAL |
|-------------------------------|------|------------|-------------|-----------|
| | | 2,937 | 2,496 | 1 PER 250 |

RETAIL HC REQUIRED:

| | | |
|--|--|---|
| | 1 HC SPACE FOR 1 - 25 COMMERCIAL STALLS PROVIDED | 1 |
|--|--|---|

TOTAL REQUIRED PARKING

| | |
|--|------------|
| | 262 |
|--|------------|

TOTAL REQUIRED HC PARKING

| | |
|--|----------|
| | 7 |
|--|----------|

PARKING PROVIDED:

| HC | STORIES | | | | % | SUBTOTAL | TOTAL |
|--------------------------------|-----------|-----------|-----------|-----------|--------------------|-----------|------------|
| | B1 | 1ST FLR | 2nd | 3rd | | | |
| STANDARD (9'X18') | 60 | 8 | 53 | 54 | | 192 | 3 |
| COMPACT (7.5'X15') UP TO 40% | 30 | 6 | 21 | 22 | 28% | 79 | |
| SUBTOTAL | 90 | 39 | 74 | 76 | | | |
| TOTAL PARKING PROVIDED: | | | | | DIFFERENCE= | 17 | 279 |
| TANDEM: | 15 | 4 | 9 | 9 | | | 37 |
| PARKING BAYS: | 75 | 35 | 65 | 67 | | | 242 |

| Bike Parking: | FACTOR | TOTAL | PRIVATE OPEN SPACE (4TH FLR POOL/DECK): | 13,303 |
|-------------------------------------|--------|-----------|--|---------------|
| Per Units | 4 | 52.5 | TOTAL BALCONY AREA: | 13,774 |
| Short-Term (per parking) | 5% | 13 | INDOOR AMENITY SPACE: | 3,819 |
| TOTAL BIKE PARKING REQUIRED: | | 66 | TOTAL PRIVATE / AMENITY AREA PROVIDED (S.F.): | 30,896 |

| | | | |
|-----------------------|-------------|--|------------|
| Parking Ratio: | 1.33 | AVERAGE S.F. AMENITY PER UNIT : | 147 |
|-----------------------|-------------|--|------------|

PROPOSED TOWNHOME DATA

| TOTAL | | | |
|----------------------------------|-------|--------|------------|
| TOTAL TOWNHOMES: | | | 98 |
| VEHICLE PARKING REQUIRED: | UNITS | FACTOR | |
| 2-3 BEDROOMS (COVERED) | 98 | 1.6 | 156.8 |
| GUEST PARKING (% OF REQ'D) | | 20% | 31 |
| TOTAL PARKING REQUIRED: | | | 188 |
| BIKE PARKING: | 5% | | 9 |
| TOTAL PARKING PROPOSED: | | | |
| 2-3 BED ROOMS (COVERED) | 2 | | 196 |
| GUEST PARKING (UNCOVERED) | | | 36 |
| TOTAL PARKING PROPOSED: | | | 232 |

PARK ACREAGE REQUIREMENTS

PARK ACREAGE REQUIREMENTS PER TABLE 5-1 DEV. ST.:

3.5 acres of parkland per 1000 population. Up to 1.5 of each 3.5 park acres may be satisfied by the provision of private recreational areas. The remaining 2.0 acres per 1,000 requirement must be satisfied by either dedication of land to the City for public parks and open space or payment of an in-lieu fee.

POPULATION CALCULATION (ESTIMATE)

| | #UNITS | FACTOR | |
|--------------------------|--------|--------|------------|
| TOWNHOMES (2 PER UNIT): | 98 | 2.52 | 247 |
| TOWER (1 PER BEDRM): | | | 246 |
| TOTAL POPULATION: | | | 493 |

PERSCRIPTIVE REQ. PARKLAND PER TABLE 5-1 DEV. ST.:

| FACTOR: | 3.5 | ACRES PER | 1,000 | PEOPLE |
|-----------------------------------|----------|-----------------|------------|---------------|
| | 1 | ACRE PER | 286 | PEOPLE |
| IN-LIEU FEE PERCENTAGE: | | 1.5/2.0 | | 75% |
| REQUIRED PARKLAND (ACRES): | | S.F. | 75,157 | 1.73 |

NON-IN-LIEU FEE S.F. AREA (REQUIRED ON-SITE PARKLAND):

| | |
|---|---------------|
| IN-LIEU FEE S.F. AREA (75%): | 18,789 |
| TOTAL: | 75,157 |
| TOTAL TOWER PRIVATE AMENITY SPACE PROPOSED (POOL DECK AND MISC AMENITY SPACE): | 17,122 |



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Consultant:

Revisions:

- OCTOBER 23, 2015
- JANUARY 20, 2016

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BARRY SWENSON BUILDER

PIPER DRIVE
RESIDENTIAL
 1256 PIPER DRIVE, MILPITAS, CA 95035
PROJECT INFORMATION

Date: DECEMBER 23, 2014

Scale:

Drawn by: DM

Job #: 14-9180

A01 PROJECT INFORMATION

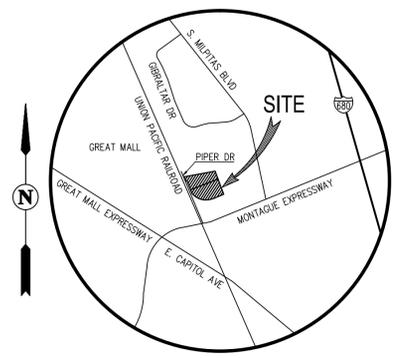
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CONTACTS

- 1. OWNER/SUBDIVIDER: KB HOME SOUTH BAY, INC. 5000 EXECUTIVE PARKWAY, SUITE 125 SAN RAMON, CA 94583 ERIKA SALEM
- 2. ENGINEER: BARRY SWENSON BUILDER 777 NORTH FIRST STREET, 5TH FLOOR SAN JOSE, CA 95112 DAVID MEEDS
- 3. SOILS ENGINEER: CARLSON, BARBEE & GIBSON, INC. 2633 CAMINO RAMON, SUITE 350, SAN RAMON, CA 94583 (925) 866-0322 LEE ROSENBLATT, RCE 65469



GENERAL NOTES

- 1. ASSESSORS PARCEL NO: 086-32-042 086-32-043
- 2. SITE ADDRESS: 1256-1280 PIPER DRIVE, 1310-1346 PIPER DRIVE MILPITAS, CA 95035
- 3. SITE AREA: PARCEL 'A': 2.73± AC PARCEL 'B': 2.99± AC TOTAL: 5.72± AC
- 4. MINIMUM LOT SIZE: SEE SHEET C-4
- 5. ZONING: R4 (MULTI-FAMILY RESIDENTIAL)
- 6. EXISTING LAND USE: INDUSTRIAL PROPOSED LAND USE: TRANSIT-ORIENTED RESIDENTIAL DEVELOPMENT
- 7. UNITS: CONDOMINIUM TOWER: 210 UNITS TOWNHOME-STYLE CONDOMINIUMS: 98 UNITS
- 8. BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTH PROPERTY LINE OF PARCEL A THE BEARING BEING N78°19'00"E PER PARCEL MAP (580 M 49).
- 9. BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BENCHMARK ID BM042 BRASS DISC ON TOP OF NORTH HEADWALL OF MONTAGUE EXPRESSWAY BRIDGE OVER BERRYESSA CREEK; NORTH CORNER OF MONTAGUE EXPRESSWAY AND SOUTH MILPITAS BLVD. ELEVATION: 63.78 (NAVD 88).
- 10. EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN BOUNDARY TO BE REMOVED.
- 11. EXISTING UTILITIES: ALL EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED UNLESS OTHERWISE NOTED.
- 12. STREETS: ALL STREETS WITHIN THE SUBDIVISION WILL BE PRIVATELY MAINTAINED.
- 13. STREETS TREES: STREET TREES ALONG PUBLIC STREETS SHALL BE PROVIDED BY OTHERS AS REQUIRED BY THE CITY AND WILL BE MAINTAINED BY THE CITY OF MILPITAS. STREET TREES ALONG PRIVATE STREETS SHALL BE INSTALLED PER CITY STANDARD NO. 448 AND WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 14. STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER CITY OF MILPITAS STANDARDS. STREET LIGHTS ON PRIVATE STREETS WILL BE PRIVATELY MAINTAINED. STREET LIGHTS ON PUBLIC STREETS WILL BE PUBLICLY MAINTAINED.
- 15. WALLS: ALL WALLS WILL BE PRIVATE FACILITIES AND PRIVATELY MAINTAINED.
- 16. PUBLIC UTILITIES: PROPOSED WATER, STORM DRAIN & SANITARY SEWER FACILITIES WITHIN PUBLIC ROADWAYS WILL BE CONSTRUCTED PER CITY OF MILPITAS STANDARDS AND DEDICATED TO THE CITY OF MILPITAS.
- 17. PRIVATE UTILITIES: PROPOSED WATER, STORM DRAIN & SANITARY SEWER FACILITIES WITHIN PRIVATE ROADWAYS AND SUBDIVISIONS WILL BE PRIVATELY MAINTAINED, EXCEPT AS NOTED.
- 18. LANDSCAPING: ALL LANDSCAPING TO BE PRIVATELY OWNED AND MAINTAINED ON PRIVATE ROADWAYS AND PRIVATE PARCELS. LANDSCAPING WITHIN THE PUBLIC ROADWAYS TO BE CONSTRUCTED PER CITY OF MILPITAS STANDARDS AND WILL BE DEDICATED TO THE CITY OF MILPITAS.
- 19. FLOOD ZONE: ZONE AO AND ZONE X REFER TO: FLOOD INSURANCE RATE MAP PANEL 06085C0067J (FEBRUARY 19, 2014)
- 20. WELLS ONSITE: NONE
- 21. GAS & ELECTRIC: PG&E
- 22. TELEPHONE: AT&T
- 23. CABLE TV: AT&T BROADBAND
- 24. WATER: CITY OF MILPITAS
- 25. SEWER: CITY OF MILPITAS
- 26. STORM: CITY OF MILPITAS
- 27. CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED FOR ALL UNITS. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 308 UNITS.
- 28. PHASING: THIS PROJECT WILL BE CONSTRUCTED IN MULTIPLE PHASES WITH MULTIPLE FINAL MAPS AND A LOT LINE ADJUSTMENT.

VICINITY MAP
NOT TO SCALE

Carlson, Barbee & Gibson, Inc.
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Revisions:

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**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP
TITLE SHEET

LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|---------------------------|
| --- | --- | SUBDIVISION BOUNDARY |
| --- | --- | PROPERTY LINE |
| --- | --- | CURB, GUTTER AND SIDEWALK |
| --- | --- | EASEMENT |
| --- | --- | SPOT ELEVATIONS |
| --- | --- | POWER POLES |

ABBREVIATIONS

| | |
|------|-----------------------------------|
| BD | BOUNDARY |
| BFE | BASE FLOOD ELEVATION |
| EL | ELEVATION |
| EP | EDGE OF PAVEMENT |
| EVAE | EMERGENCY VEHICLE ACCESS EASEMENT |
| EX | EXISTING |
| FDC | FIRE DEPARTMENT CONNECTION |
| LF | LINEAL FEET |
| PL | PROPERTY LINE |
| PSUE | PUBLIC SERVICE UTILITY EASEMENT |
| PUE | PRIVATE UTILITY EASEMENT |
| R | RADIUS |
| R/W | RIGHT-OF-WAY |
| TC | TOP OF CURB |
| TP | TOP OF PAVEMENT |
| TRC | TOP OF ROLLED CURB |
| W | WATER |

SHEET INDEX

| SHEET NO. | SHEET TITLE |
|-----------|---------------------------------------|
| C-1 | TITLE SHEET |
| C-2 | CITY NOTES AND CONDITIONS |
| C-3 | EXISTING PROPERTY AND DEMOLITION PLAN |
| C-4 | SITE PLAN |
| C-5 | DEVELOPMENT PLAN |
| C-6 | TASP COMPLIANCE |
| C-7 | PRELIMINARY GRADING PLAN |
| C-8 | PRELIMINARY UTILITY PLAN |
| C-9 | TRUCK TURNING EXHIBIT |
| C-10 | SOLID WASTE MANAGEMENT |
| C-11 | PRELIMINARY STORMWATER CONTROL PLAN |

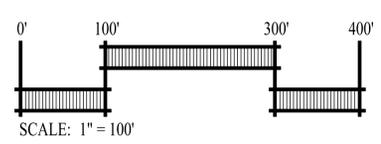
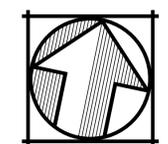
SUBDIVISION TENTATIVE MAP

This Map has been reviewed by the City Engineer.

City Engineer _____ Date _____

Recommended for Approval by the Milpitas Planning Commission, this _____ day of _____, 20____, and Approved by the Milpitas City Council this _____ day of _____, 20____.

Planning and Neighborhood Services Director _____ Date _____



Date: SEPTEMBER 29, 2015
Scale:
Drawn by: [Signature]
Job #: 1515-01
Sheet

C-1

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CITY NOTES AND CONDITIONS OF APPROVAL



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**PIPER DRIVE
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1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP
CITY NOTES AND CONDITIONS

Date: SEPTEMBER 29, 2015

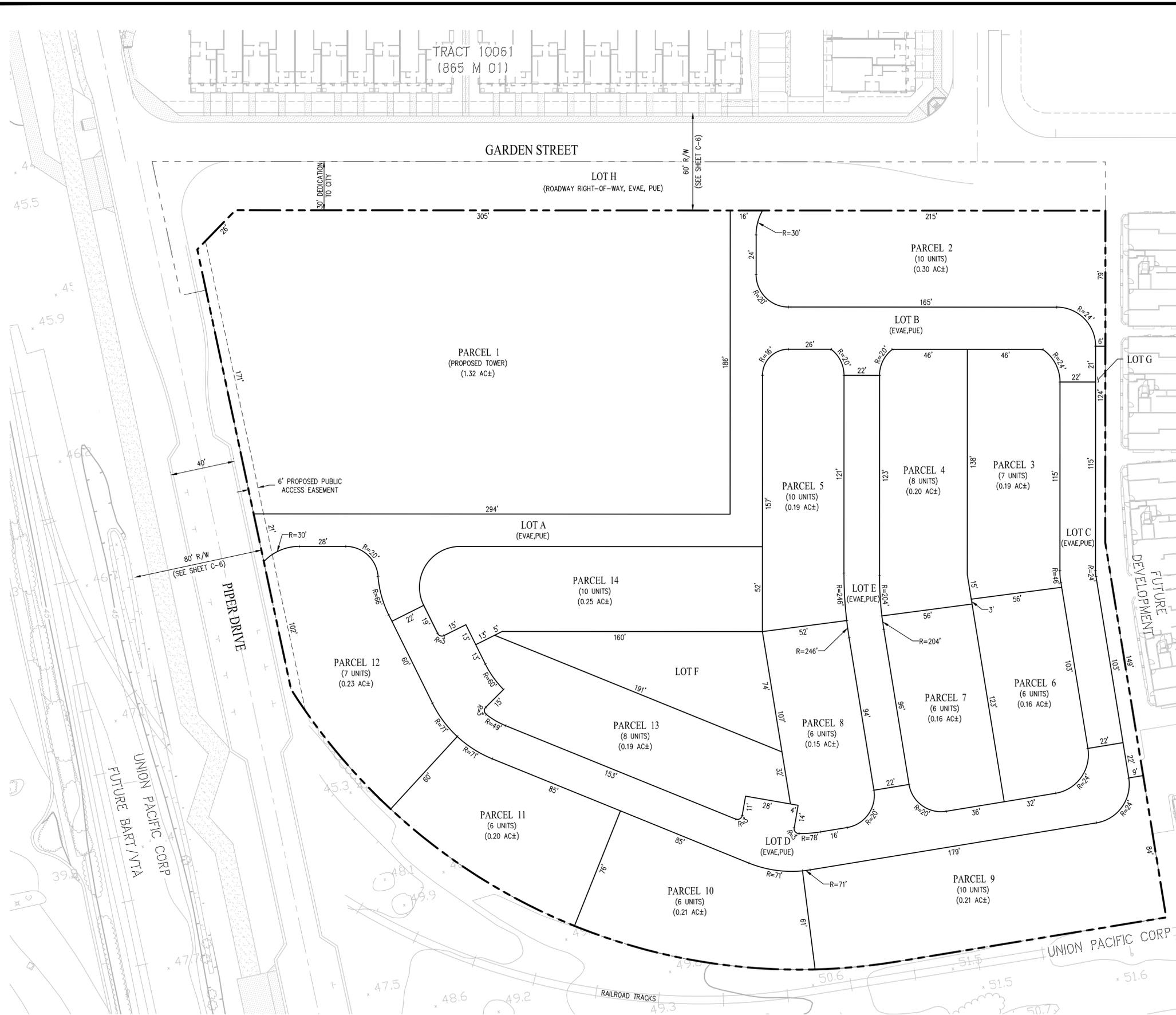
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Drawn by: [redacted]

Job #: 1513-01

Sheet

C-2



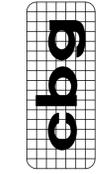
GENERAL NOTES:

| DESCRIPTION | VESTING TENTATIVE MAP |
|--------------------------|--|
| 1. EXISTING ZONING: | R4 (MULTI-FAMILY RESIDENTIAL) |
| 2. PROPOSED ZONING: | R4 (MULTI-FAMILY RESIDENTIAL) |
| 3. EXISTING LAND USE: | INDUSTRIAL |
| 4. PROPOSED LAND USE: | TRANSIT ORIENTED RESIDENTIAL DEVELOPMENT |
| 5. TOTAL SITE AREA: | 5.72± |
| 6. TOTAL NUMBER OF LOTS: | 14 PARCELS, 8 LOTS |
| 7. DENSITY: | 53.8 DU/AC |
| 8. PARKING: | SEE SHEET C-5 |

LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|---------------------------|
| --- | --- | SUBDIVISION BOUNDARY |
| --- | --- | PROPERTY LINE |
| --- | --- | EASEMENT |
| --- | --- | CURB, GUTTER AND SIDEWALK |
| --- | --- | EASEMENT |
| --- | --- | SPOT ELEVATIONS |

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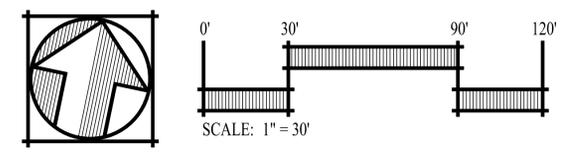


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**PIPER DRIVE
 RESIDENTIAL**
 1256 PIPER DRIVE, MILPITAS, CA 95035
 VESTING TENTATIVE MAP
 SITE PLAN

Date: SEPTEMBER 29, 2015
 Scale:
 Drawn by:
 Job #: 1515-91
 Sheet



TRACT 10061
(865 M 01)

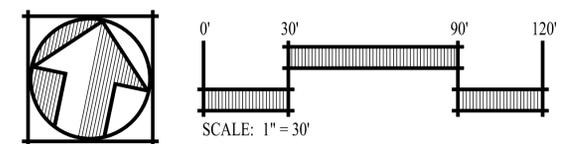
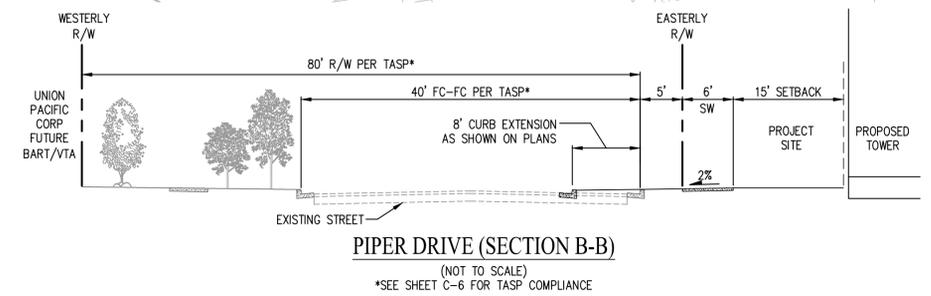
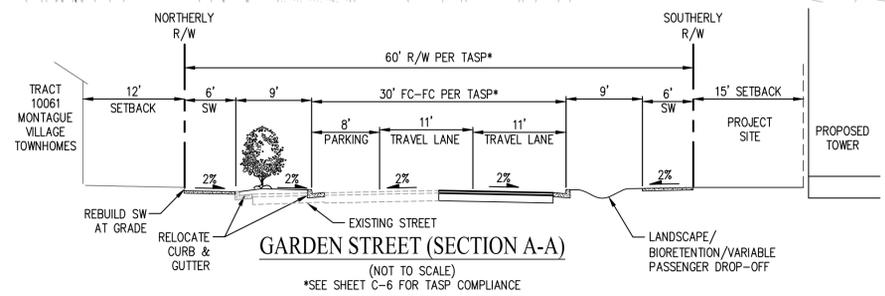
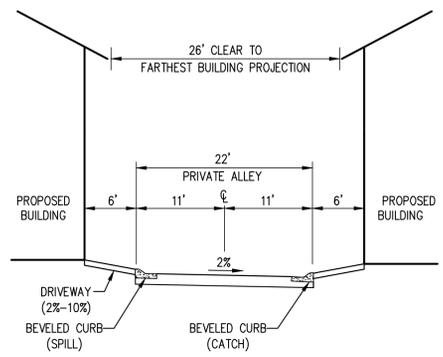
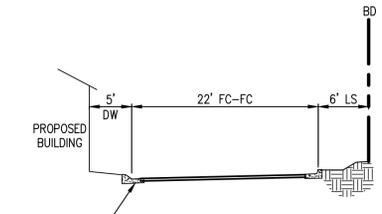
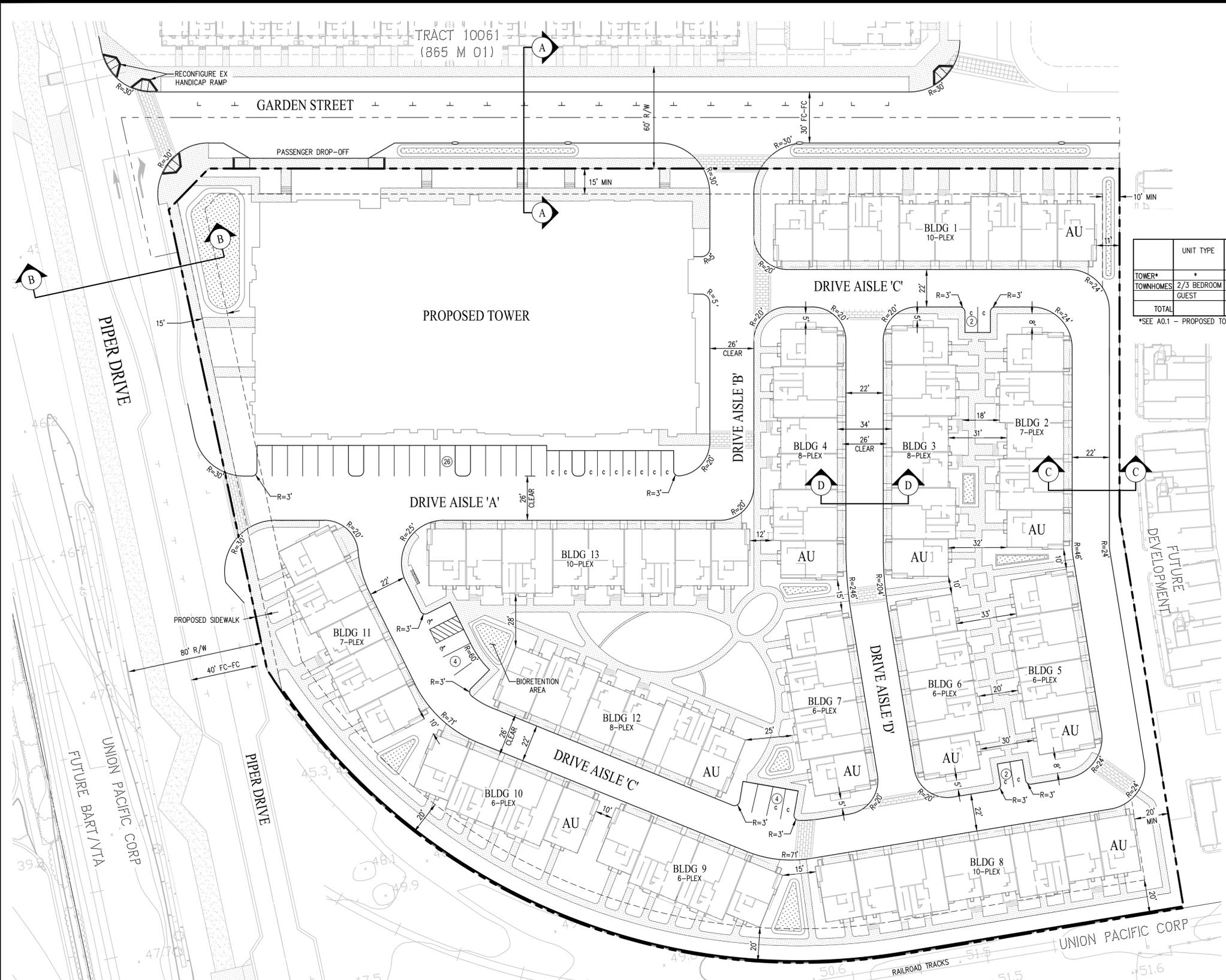
LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|---------------------------|
| --- | --- | SUBDIVISION BOUNDARY |
| --- | --- | SETBACK |
| --- | --- | PROPERTY LINE |
| --- | --- | CURB, GUTTER AND SIDEWALK |
| --- | --- | ADA PATH OF TRAVEL |
| --- | --- | ACCESSIBLE UNIT |

PARKING SUMMARY

| UNIT TYPE | UNITS | REQUIRED PARKING | | | PROVIDED PARKING | | | TANDEM SUMMARY | | COMPACT SUMMARY | |
|--------------|------------|------------------|-----------------|------------------------|-------------------------|-----------------------|-------------------------|------------------------|--------------------------|-------------------------|--|
| | | RATIO | SPACES REQUIRED | GARAGE SPACES PROVIDED | SURFACE SPACES PROVIDED | TOTAL SPACES PROVIDED | TANDEM SPACES ALLOWABLE | TANDEM SPACES PROVIDED | COMPACT SPACES ALLOWABLE | COMPACT SPACES PROVIDED | |
| TOWER* | 210 | * | 274 | 273 | 2 | 275 | | | | | |
| TOWNHOMES | 98 | 1.6 | 157 | 196 | - | 196 | 50% OF PROVIDED | 22 | 40% OF PROVIDED | 79 | |
| GUEST | | 0.2 OF REQ'D | 31 | - | 36 | 36 | | | | | |
| TOTAL | 308 | | 462 | 469 | 38 | 507 | TOTAL | 74 | | 94 | |

*SEE A0.1 - PROPOSED TOWER DATA FOR TOWER PARKING SUMMARY.



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**PIPER DRIVE
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DEVELOPMENT PLAN**
1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP

Date: SEPTEMBER 29, 2015
Scale:
Drawn by:
Job #: 1515-01
Sheet

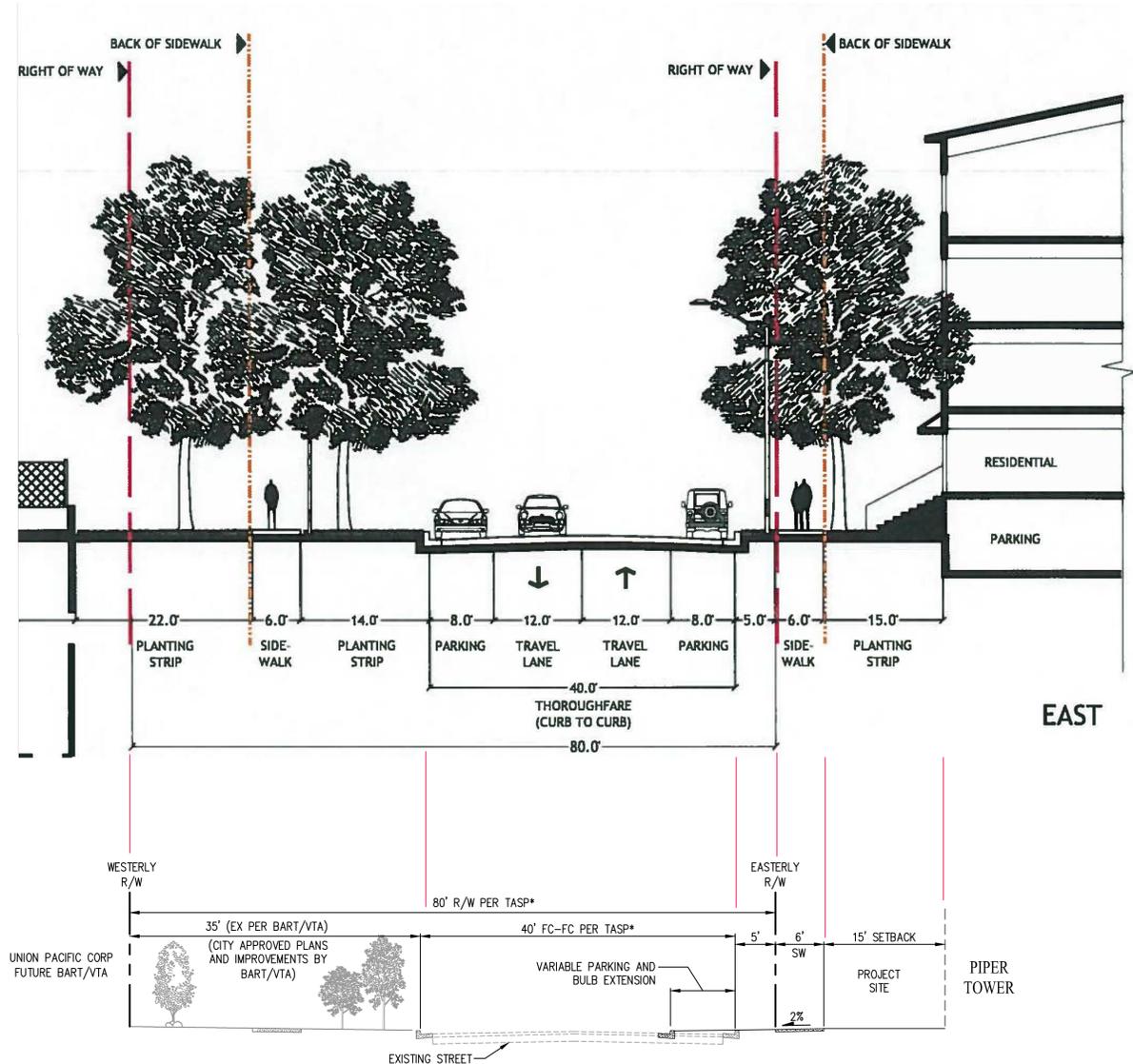
C-5

REVISED: OCTOBER 23, 2015

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PIPER DRIVE

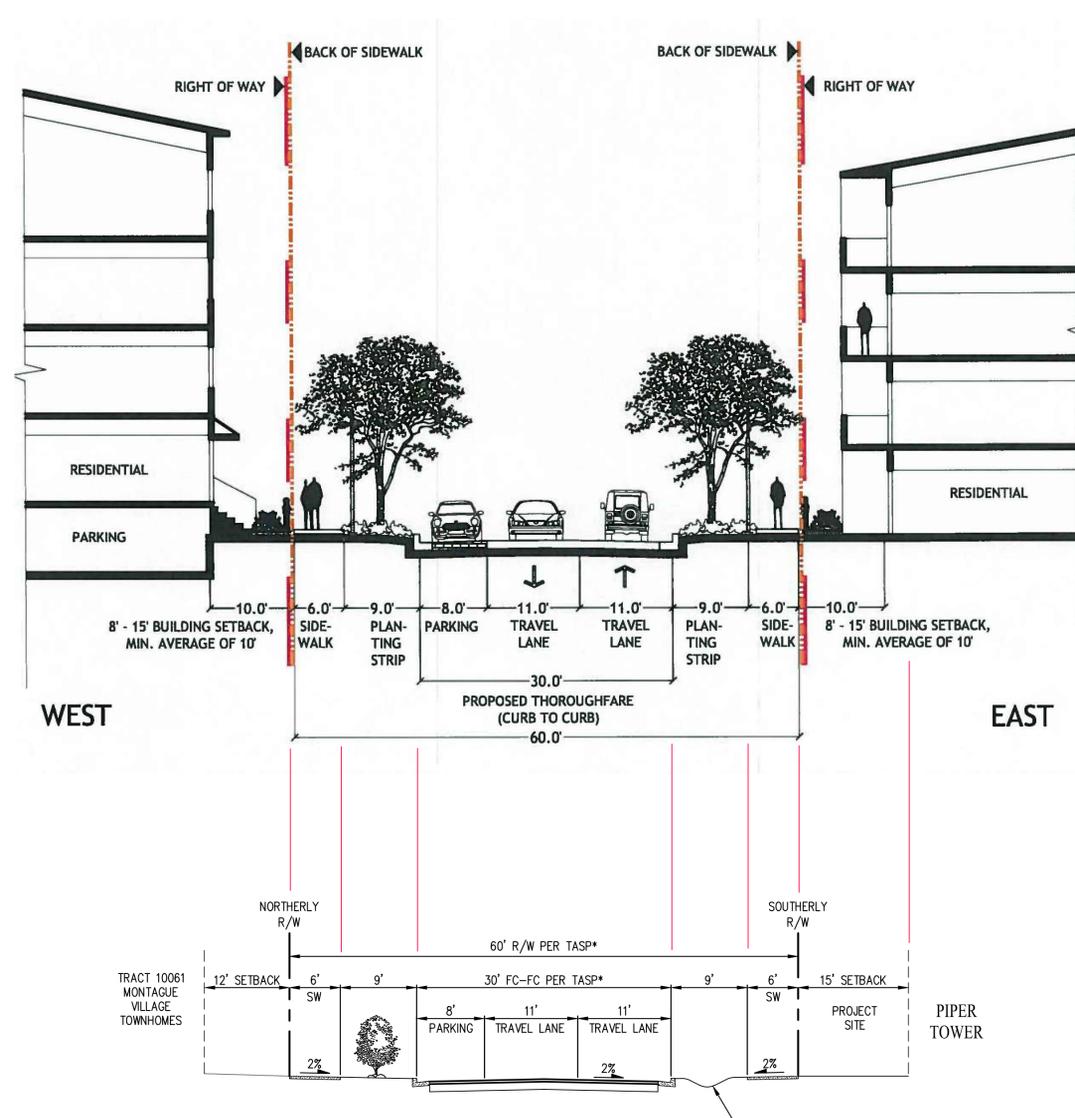
TRANSIT AREA SPECIFIC PLAN SECTION 5-6



PROPOSED PIPER DRIVE
(NOT TO SCALE)

GARDEN STREET

TRANSIT AREA SPECIFIC PLAN SECTION 5-7



PROPOSED GARDEN STREET
(NOT TO SCALE)

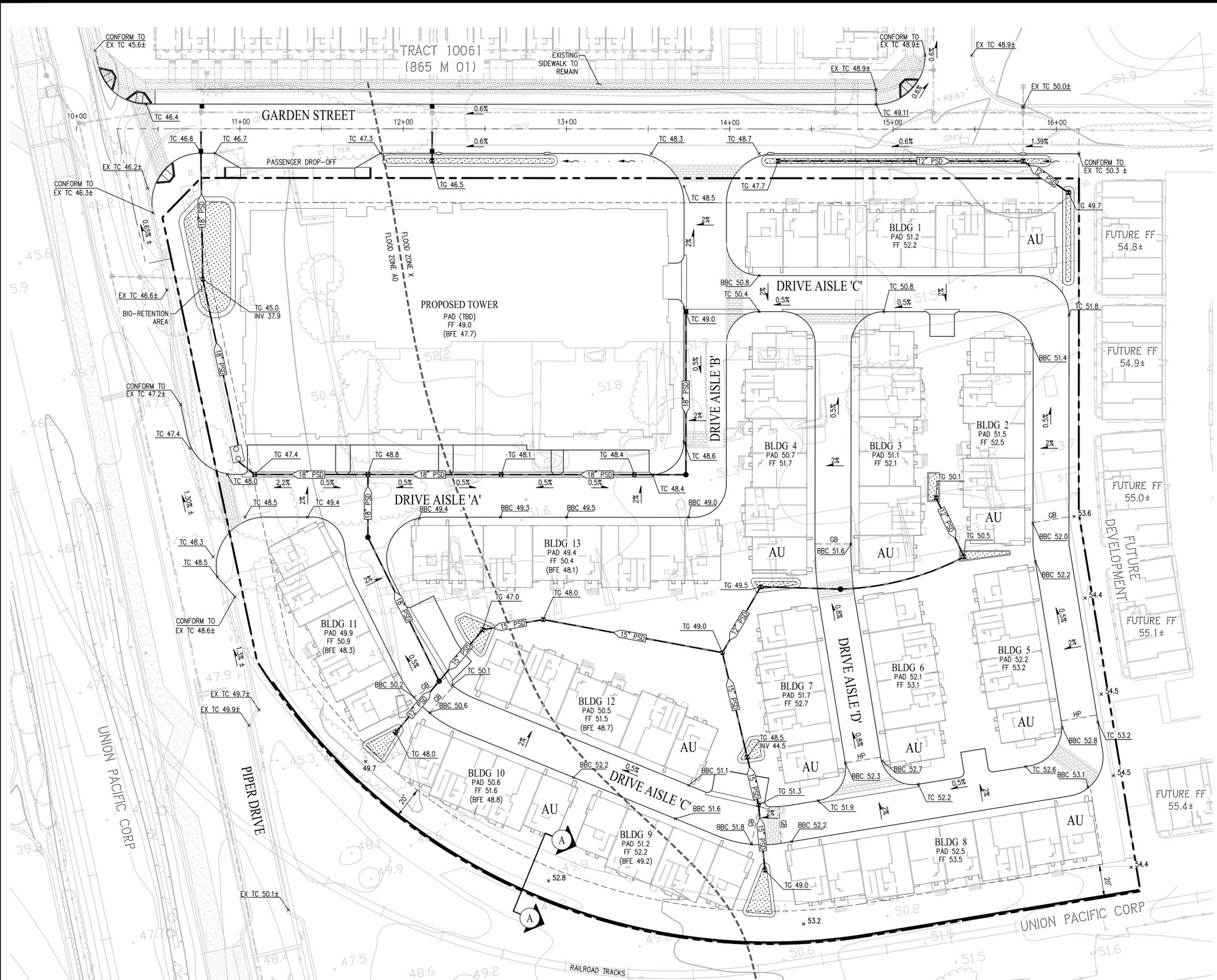
PROPOSED SECTIONS
ARE 100% IN
COMPLIANCE WITH TASP

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PIPER DRIVE
RESIDENTIAL
1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP
TASP COMPLIANCE

Date: SEPTEMBER 29, 2015
Scale:
Drawn by:
Job #: 1515-01
Sheet



LEGEND

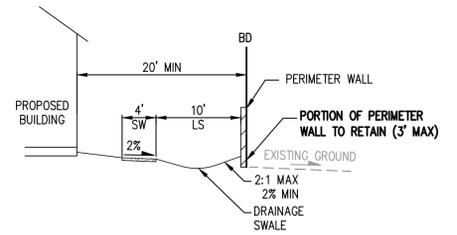
| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|--|
| --- | --- | SUBDIVISION BOUNDARY |
| --- | --- | PROPERTY LINE |
| --- | --- | CURB, GUTTER AND SIDEWALK |
| --- | --- | SPOT ELEVATIONS |
| --- | --- | STORM DRAIN (PUBLIC) |
| --- | --- | STORM DRAIN (PRIVATE) |
| --- | --- | BIO-RETENTION AREA/FLOW THROUGH PLANTERS |
| --- | --- | SIDEWALK DRAIN |
| --- | --- | THROUGH-CURB DRAIN |
| --- | --- | ACCESSIBLE UNIT |
| --- | --- | SWALE |

GRADING NOTES:

1. GRADING WILL BE DONE AS A PART OF THIS TRACT.
2. THE LIMIT OF GRADING OF THE PROJECT IS THE PROPOSED SUBDIVISION BOUNDARY OR AS SHOWN ON THIS PLAN.
3. ELEMENTS OF GRADING ARE IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT.
4. SEE UTILITY PLAN FOR STORM DRAIN PIPE SIZES & CONNECTION INFORMATION.

FLOODPLAIN NOTES:

1. RESIDENTIAL UNITS SHALL HAVE FINISH FLOOR ELEVATIONS AT LEAST 1.0' ABOVE THE HIGHEST EXISTING CURB PER CITY AND FEMA REQUIREMENTS.
2. GRADES MUST BE AT OR ABOVE THOSE PROVIDED ALONG EASTERN AND SOUTHERN BOUNDARIES. LANDSCAPE WALL OR BERM TO BE DETERMINED WITH FINAL DESIGN.
3. BFE (BASE FLOOD ELEVATION) IS PER MEMO TITLED "SWENSON PROPERTY 100-YEAR FLOODPLAIN ANALYSIS-EXISTING CONDITIONS" BY SCHAAF & WHEELER DATED JANUARY 7, 2015 AND SUBSEQUENT UPDATES.



SECTION A-A
NOT TO SCALE

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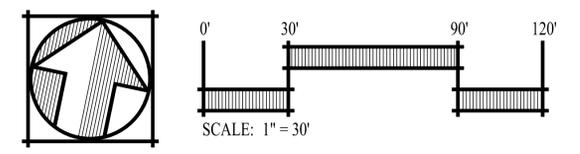


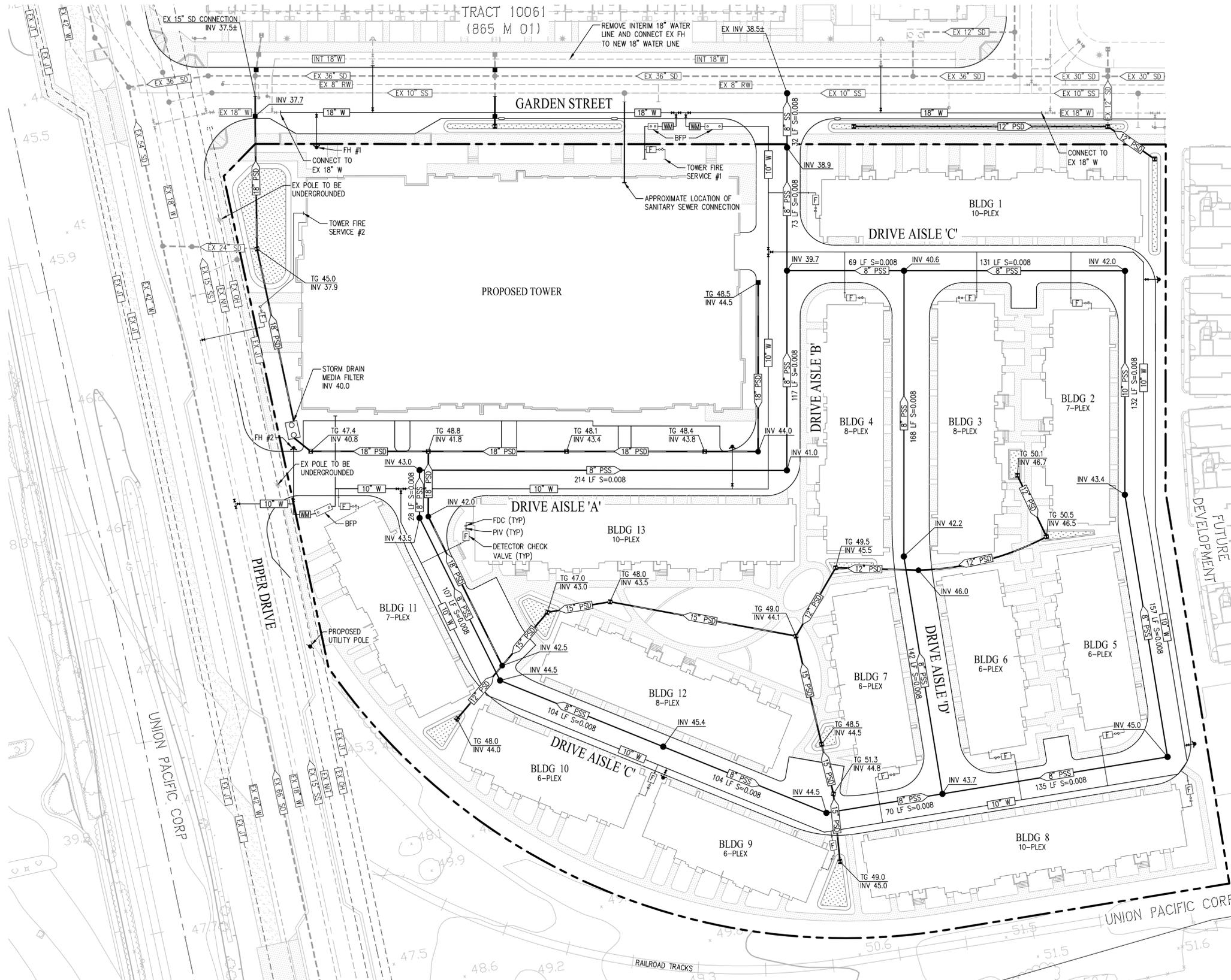
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**PIPER DRIVE
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1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP
PRELIMINARY GRADING PLAN

Date: SEPTEMBER 29, 2015
Scale:
Drawn by:
Job #: 1515-01
Sheet



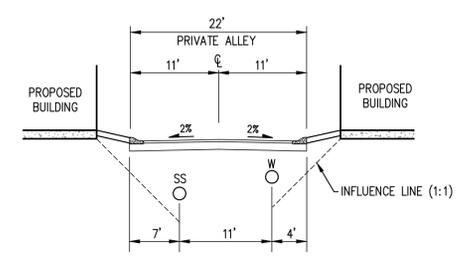


UTILITY NOTES

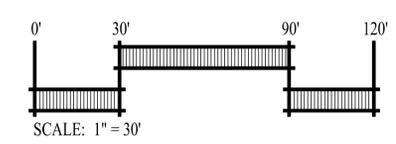
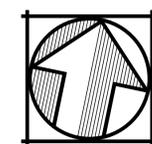
- PRIVATE UTILITIES: PROPOSED SEWER, STORM & WATER WITHIN THE PRIVATE ROADS & PARCELS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PRIVATE STORM DRAIN: MINIMUM SLOPE OF PROPOSED STORM DRAIN PIPE = 0.0035
MINIMUM SIZE OF PROPOSED STORM DRAIN PIPE IS 8" STORM DRAIN FACILITIES MAY BE CLASS III RCP
- PRIVATE SANITARY SEWER: MINIMUM SLOPE OF PROPOSED SEWER PIPE = 0.0035
MINIMUM SIZE OF PROPOSED SEWER MAIN IS 6"
- GAS & ELECTRIC: PG&E
- TELEPHONE: ATT
- CABLE TV: COMCAST
- FIRE HYDRANT AND FIRE SERVICE LATERAL LAYOUT TO BE COORDINATED WITH CITY OF MILPITAS FIRE DEPARTMENT.
- UNLESS OTHERWISE NOTED, THE SIZE OF ALL WATER METERS, BACKFLOW DEVICES, VAULTS, AND ASSOCIATED APPURTENANCES SHALL BE PER CITY OF MILPITAS STANDARDS.
- UNLESS OTHERWISE NOTED, ALL EXISTING ONSITE UTILITIES SHALL BE REMOVED.

LEGEND

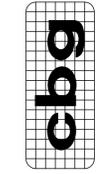
| EXISTING | PROPOSED | DESCRIPTION |
|-----------|-----------|--|
| - - - - - | - - - - - | SUBDIVISION BOUNDARY |
| - - - - - | - - - - - | PROPERTY LINE |
| - - - - - | - - - - - | CURB, GUTTER AND SIDEWALK |
| x 100.0 | x 100.0 | SPOT ELEVATIONS |
| INT | | NITROGEN |
| EX JT | | JOINT TRENCH |
| EX SD | SD | STORM DRAIN (PUBLIC) |
| EX SS | SS | SANITARY SEWER (PUBLIC) |
| | PSS | STORM DRAIN (PRIVATE) |
| | PSS | SANITARY SEWER (PRIVATE) |
| EX W | W | WATER LINE |
| INT W | | INTERIM WATER LINE TO BE REMOVED |
| - - - - - | | THROUGH-CURB DRAIN |
| ⊙ | ⊙ | UTILITY POLE |
| ⊙ | ⊙ | FIRE HYDRANT |
| ⊙ | ⊙ | UTILITY BOX |
| ⊙ | ⊙ | ELECTROLIER |
| ⊙ | ⊙ | WATER METER (CITY OF MILPITAS STD 728) |
| ⊙ | ⊙ | REDUCED PRESSURE BACKFLOW PREVENTER (CITY OF MILPITAS STD 734) |
| ⊙ | ⊙ | BIO-RETENTION AREA/FLOW THROUGH PLANTERS |
| ⊙ | ⊙ | FIRE SERVICE WITH DETECTOR CHECK VALVE (PER CITY OF MILPITAS STD 730), POST INDICATOR VALVE (PIV) AND FIRE DEPARTMENT CONNECTION (FDC) |
| ⊙ | ⊙ | WATER SERVICE |



TYPICAL PRIVATE DRIVE AISLE UTILITY LOCATION
(NOT TO SCALE)



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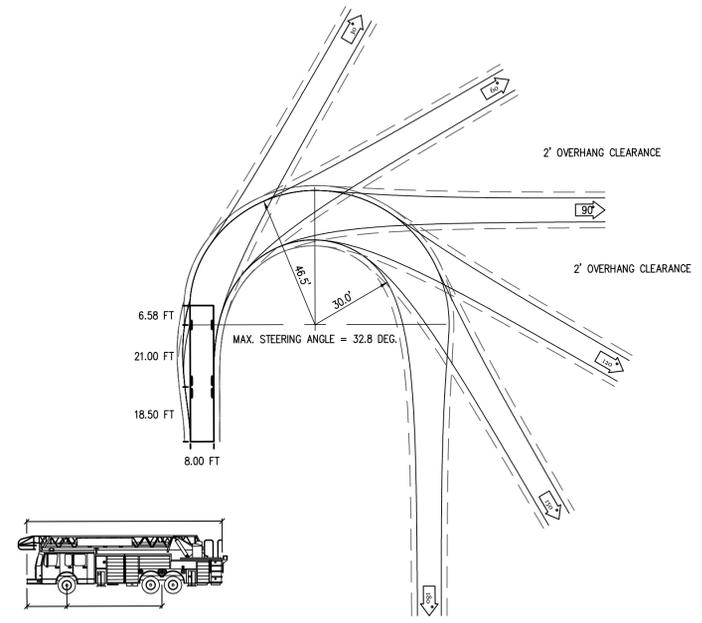
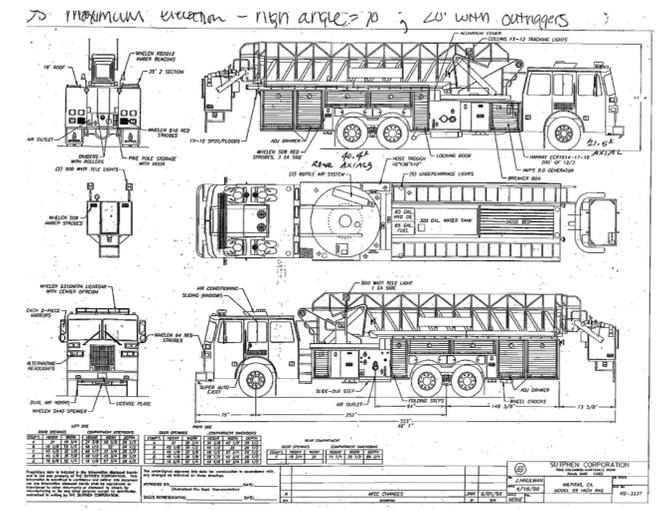
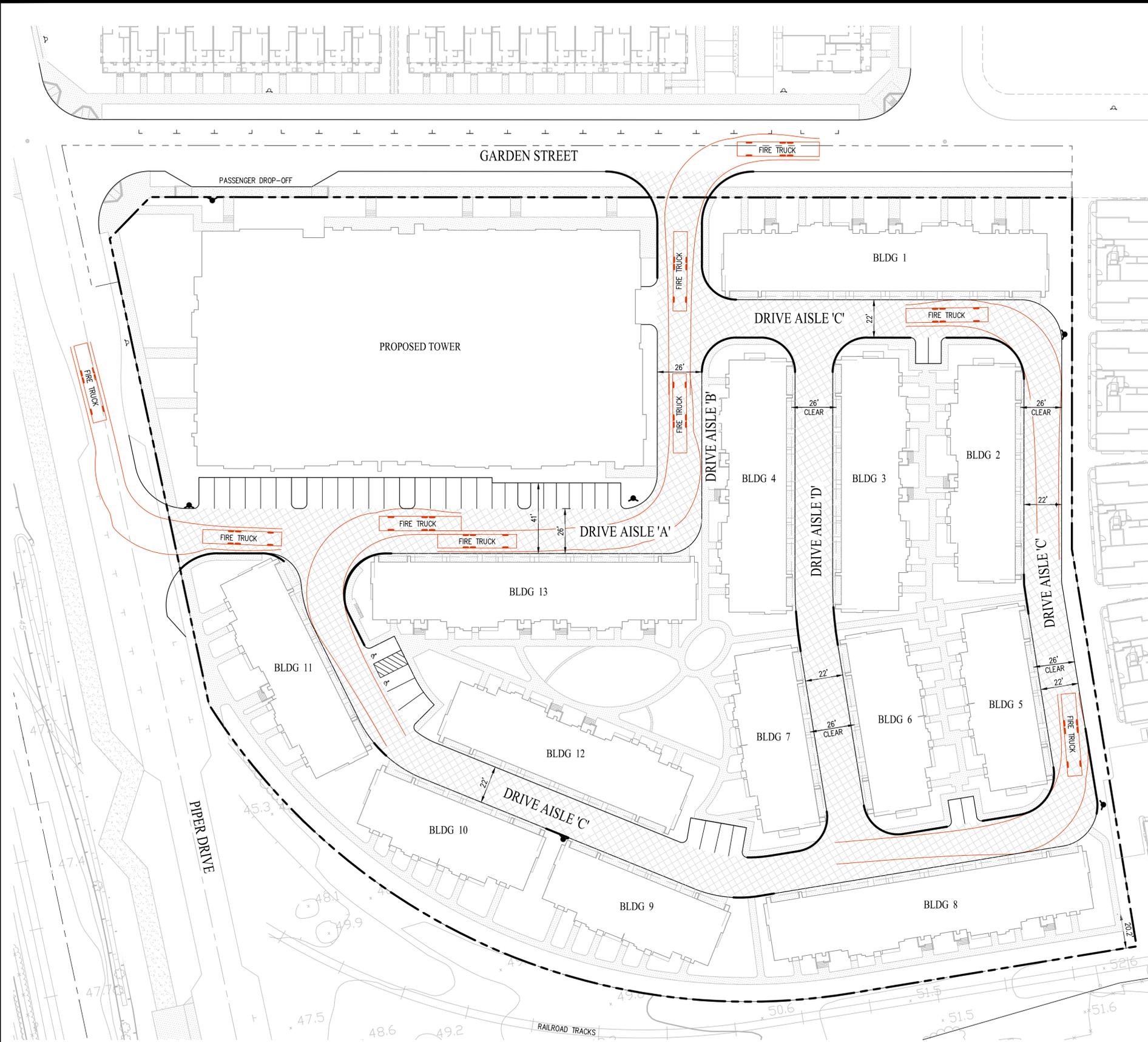
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PIPER DRIVE RESIDENTIAL
1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP
PRELIMINARY UTILITY PLAN

Date: SEPTEMBER 29, 2015
Scale:
Drawn by:
Job #: 511-91
Sheet

C-8

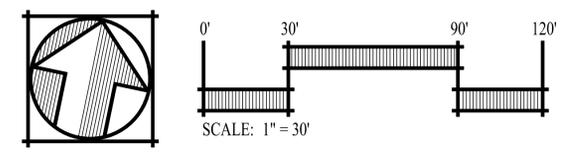


SP95 MILPITAS FIRE TRUCK
NOT TO SCALE

NOTE: MOST RESTRICTIVE TURN SHOWN ON PLAN FOR EACH TURNING MOVEMENT

LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|--|
| | | SUBDIVISION BOUNDARY |
| | | FIRE APPARATUS ACCESS ROADS (PAVED - WITHIN PROJECT) |
| | | FIRE HYDRANT |
| | | CURBS TO BE PAINTED RED AND STENCILED "NO PARKING FIRE LANE" |



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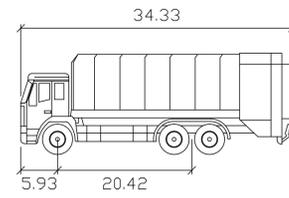
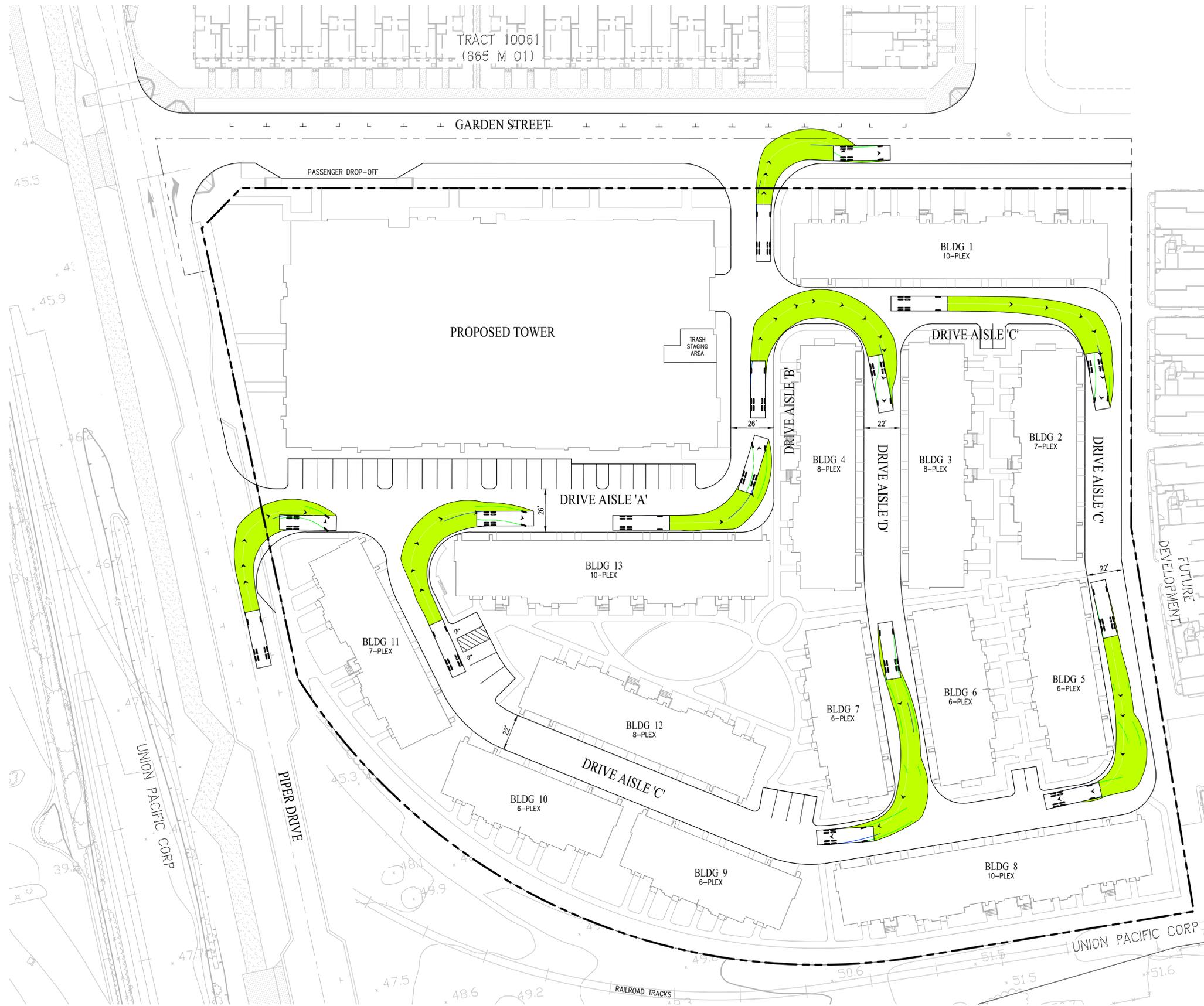
**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP
TRUCK TURNING EXHIBIT

Date: SEPTEMBER 29, 2015
Scale:
Drawn by: [Name]
Job #: 1515-01
Sheet

C-9

REVISED: OCTOBER 23, 2015

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| Garbage | feet |
|-------------------|--------|
| Width | : 8.83 |
| Track | : 8.83 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 36.9 |

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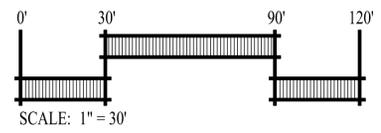
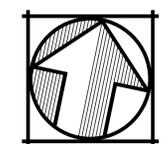


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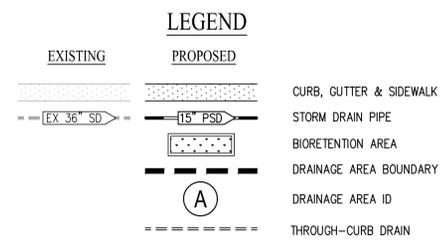
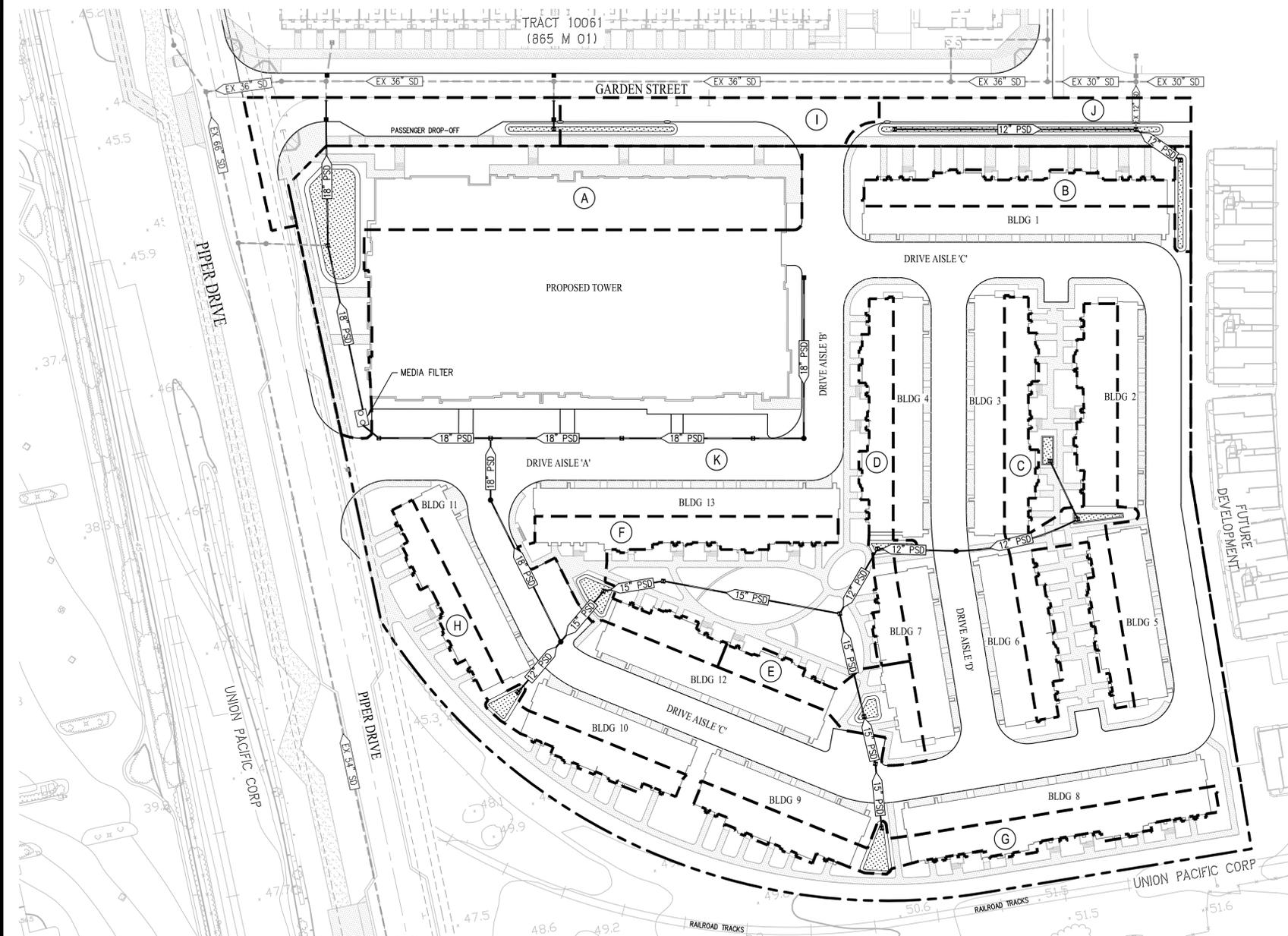
PIPER DRIVE RESIDENTIAL
 1256 PIPER DRIVE, MILPITAS, CA 95035
 VESTING TENTATIVE MAP
 SOLID WASTE MANAGEMENT

- NOTES:**
- SEE TOWER ARCHITECTURE PLANS FOR TOWER SOLID WASTE MANAGEMENT DETAILS
 - TOWNHOMES SHALL UTILIZE CITY-STANDARD SOLID WASTE CARTS AND SERVICE WITHIN AND FOR EACH UNIT.



Date: SEPTEMBER 29, 2015
 Scale:
 Drawn by: [initials]
 Job #: 1515-01
 Sheet

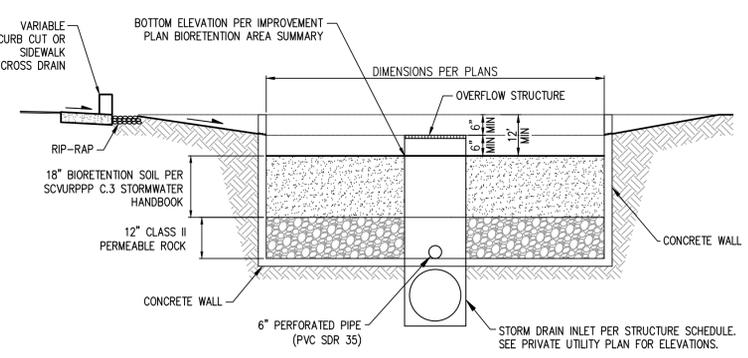
C-10



- NOTES:**
- ALL TREATMENT MEASURES AND TECHNICAL REQUIREMENTS FOR THIS PROJECT ARE BASED UPON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) C.3 STORMWATER HANDBOOK DATED APRIL 2012.
 - REQUIRED SURFACE AREA OF THE BIORETENTION TREATMENT AREA IS EQUAL TO 4% OF THE CONTRIBUTING IMPERVIOUS SURFACE AREA. THIS CALCULATION IS BASED UPON THE UNIFORM INTENSITY METHOD ASSUMING RAINFALL INTENSITY OF 0.2 INCHES/HR AND A BIORETENTION SOIL MIX WITH A 5 INCHES/HR INFILTRATION RATE.
 - REQUIRED SURFACE AREA OF LANDSCAPE WITHIN SELF-RETAINING AREAS IS EQUAL TO 50% OF THE TRIBUTARY IMPERVIOUS SURFACE.
 - THIS PROJECT IS A CATEGORY C SPECIAL PROJECT AND SUBJECT TO 70% LID TREATMENT REDUCTION CREDIT. MEDIA FILTRATION WILL BE USED TO TREAT A MAXIMUM OF 70% OF THE PROPOSED IMPERVIOUS AREA ON THE SITE.
 - THIS PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE CITY OF MILPITAS HYDROMODIFICATION APPLICABILITY MAP.
 - ALL STORMWATER TREATMENT MEASURES AND SIZING SHOWN ON THIS EXHIBIT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN.
 - SEE STORMWATER CONTROL PLAN BY CARLSON, BARBEE & GIBSON FOR DETAILED SIZING CALCULATIONS.

PRELIMINARY STORMWATER TREATMENT SUMMARY

| AREA ID | TREATMENT TYPE | IMPERVIOUS AREA (SF) | TREATMENT AREA REQUIRED (SF) | TREATMENT AREA PROVIDED (SF) |
|---------|----------------|----------------------|------------------------------|------------------------------|
| A | BIORETENTION | 17,915 | 717 | 750 |
| B | BIORETENTION | 3,520 | 141 | 160 |
| C | BIORETENTION | 7,900 | 316 | 320 |
| D | BIORETENTION | 3,530 | 141 | 150 |
| E | BIORETENTION | 2,610 | 104 | 105 |
| F | BIORETENTION | 5,410 | 216 | 240 |
| G | BIORETENTION | 5,390 | 216 | 250 |
| H | BIORETENTION | 4,060 | 162 | 165 |
| I | BIORETENTION | 4,425 | 177 | 180 |
| J | BIORETENTION | 4,190 | 168 | 170 |
| K | MEDIA FILTER | 137,550 | | |



TYPICAL BIORETENTION AREA
NOT TO SCALE

LOW IMPACT DEVELOPMENT CREDIT ANALYSIS

THIS PROJECT IS CLASSIFIED AS A "SPECIAL PROJECT" (FOR BOTH INTERIM AND FULL BUILD-OUT CONDITIONS) UNDER THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD MUNICIPAL REGIONAL PERMIT ALLOWING THE USE OF NON-LID TREATMENT, SUCH AS HIGH FLOW-RATE STORMWATER MEDIA FILTERS. SEE TABLES BELOW:

INTERIM CONDITION (TOWNHOMES ONLY)

| "SPECIAL PROJECT" JUSTIFICATION AND ANALYSIS, CATEGORY 'C' (MUST MEET ALL OF THE REQUIREMENTS BELOW) | | LID CREDIT ANALYSIS | |
|--|---|--|--------------|
| CATEGORY 'C' REQUIREMENTS | ANALYSIS | LID CREDIT CRITERIA | CREDIT |
| IS AT LEAST 50% OF THE PROJECT AREA WITHIN 0.5 MILES OF AN EXISTING OR PLANNED TRANSIT HUB? | YES: THE PROJECT IS LOCATED WITHIN 0.25 MILES OF THE BART TRANSIT STATION | LOCATION CREDIT (0.25 MI OF TRANSIT HUB) | 50% |
| IS THE PROJECT A NON-AUTO-RELATED USE? | YES: THE PROJECT IS A NON-AUTO-RELATED USE. | DENSITY CREDIT (>60 DU/AC) | 0% |
| IS THE MINIMUM DENSITY AT LEAST 25 DU/AC? | YES: 98 DU/3.9AC = 25.1 DU/AC. | PARKING CREDIT (>10% AT-GRADE SURFACE PARKING) | 0% |
| | | TOTAL | * 50% |

* 50% OF THE INTERIM AREA WILL BE TREATED WITH MEDIA FILTERS.

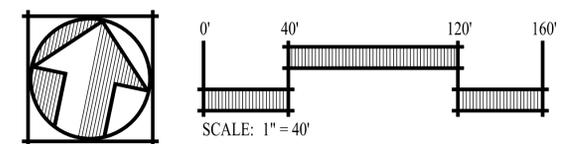
| TREATMENT ANALYSIS | | | | | |
|--------------------|-----------------|--|---|----------------------------|----------------------------|
| DISTURBED AREA | IMPERVIOUS AREA | IMPERVIOUS AREA TREATED BY MEDIA FILTERS (50%) | IMPERVIOUS AREA TREATED BY BIORETENTION (50%) | REQUIRED BIOTREATMENT AREA | BIOTREATMENT AREA PROVIDED |
| 4.15 AC | 3.40 AC | 1.7 AC | 1.7 AC | 2960 SF | 3090 SF |

FULL BUILD-OUT CONDITION (TOWNHOMES & TOWER)

| "SPECIAL PROJECT" JUSTIFICATION AND ANALYSIS, CATEGORY 'C' (MUST MEET ALL OF THE REQUIREMENTS BELOW) | | LID CREDIT ANALYSIS | |
|--|---|--|--------------|
| CATEGORY 'C' REQUIREMENTS | ANALYSIS | LID CREDIT CRITERIA | CREDIT |
| IS AT LEAST 50% OF THE PROJECT AREA WITHIN 0.5 MILES OF AN EXISTING OR PLANNED TRANSIT HUB? | YES: THE PROJECT IS LOCATED WITHIN 0.25 MILES OF THE BART TRANSIT STATION | LOCATION CREDIT (0.25 MI OF TRANSIT HUB) | 50% |
| IS THE PROJECT A NON-AUTO-RELATED USE? | YES: THE PROJECT IS A NON-AUTO-RELATED USE. | DENSITY CREDIT (>30 DU/AC) | 10% |
| IS THE MINIMUM DENSITY AT LEAST 25 DU/AC? | YES: 308 DU/5.7AC = 54 DU/AC. | PARKING CREDIT (>10% AT-GRADE SURFACE PARKING) | 10% |
| | | TOTAL | * 70% |

* 70% OF THE BUILD-OUT AREA WILL BE TREATED WITH MEDIA FILTERS.

| TREATMENT ANALYSIS | | | | | |
|--------------------|-----------------|--|---|----------------------------|----------------------------|
| DISTURBED AREA | IMPERVIOUS AREA | IMPERVIOUS AREA TREATED BY MEDIA FILTERS (70%) | IMPERVIOUS AREA TREATED BY BIORETENTION (30%) | REQUIRED BIOTREATMENT AREA | BIOTREATMENT AREA PROVIDED |
| 5.72 AC | 4.51 AC | 3.16 AC | 1.35 AC | 2360 SF | 2490 SF |



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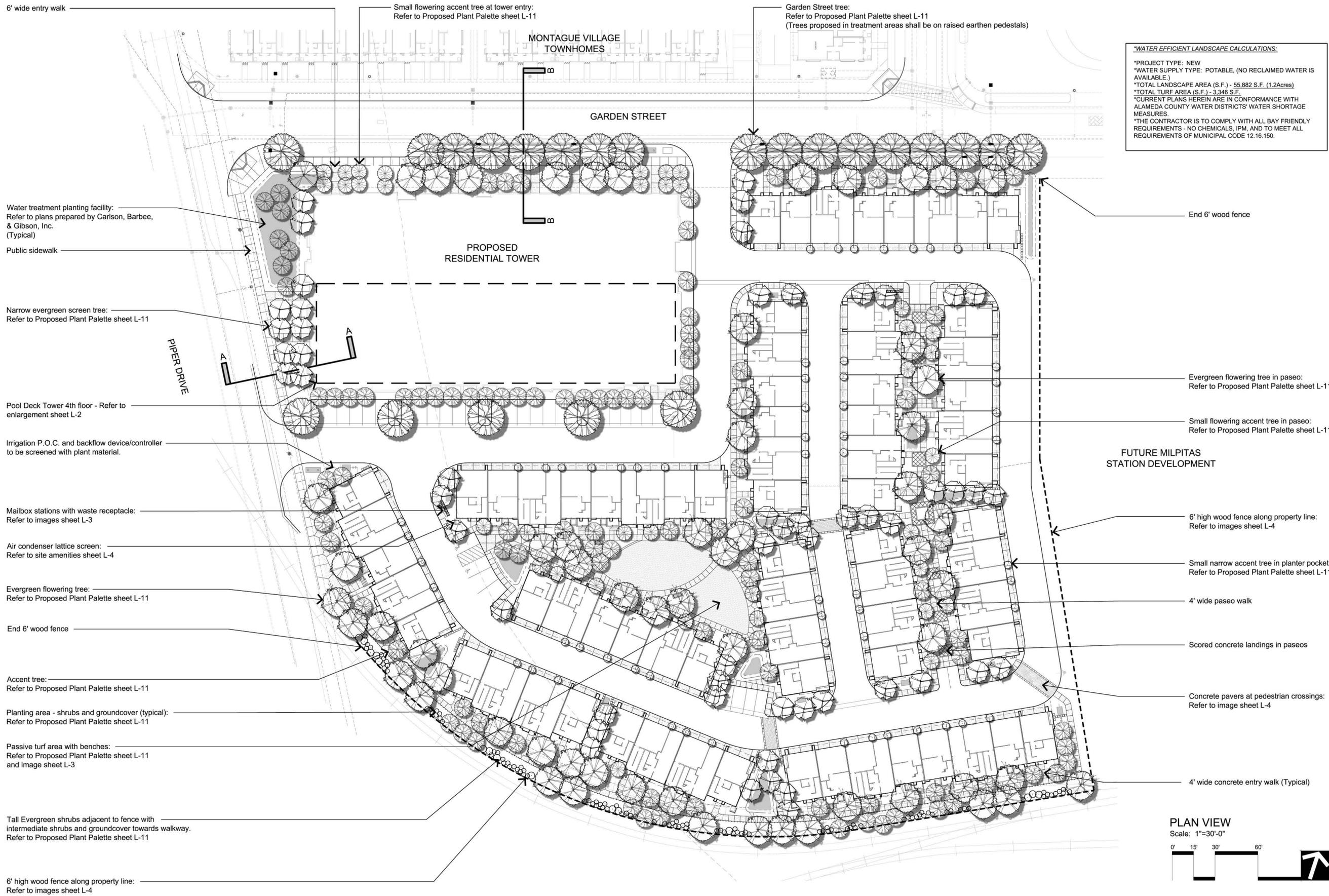
Revisions:

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PIPER DRIVE RESIDENTIAL
1256 PIPER DRIVE, MILPITAS, CA 95035
VESTING TENTATIVE MAP
PRELIMINARY STORMWATER CONTROL PLAN

Date: SEPTEMBER 29, 2015
Scale:
Drawn by:
Job #: 1515-01
Sheet

C-11



***WATER EFFICIENT LANDSCAPE CALCULATIONS:**

*PROJECT TYPE: NEW
 *WATER SUPPLY TYPE: POTABLE, (NO RECLAIMED WATER IS AVAILABLE.)
 *TOTAL LANDSCAPE AREA (S.F.) - 55,882 S.F. (1.2Acres)
 *TOTAL TURF AREA (S.F.) - 3,346 S.F.
 *CURRENT PLANS HEREIN ARE IN CONFORMANCE WITH ALAMEDA COUNTY WATER DISTRICTS' WATER SHORTAGE MEASURES.
 *THE CONTRACTOR IS TO COMPLY WITH ALL BAY FRIENDLY REQUIREMENTS - NO CHEMICALS, IPM, AND TO MEET ALL REQUIREMENTS OF MUNICIPAL CODE 12.16.150.

6' wide entry walk

Small flowering accent tree at tower entry:
Refer to Proposed Plant Palette sheet L-11

Water treatment planting facility:
Refer to plans prepared by Carlson, Barbee, & Gibson, Inc. (Typical)

Public sidewalk

Narrow evergreen screen tree:
Refer to Proposed Plant Palette sheet L-11

Pool Deck Tower 4th floor - Refer to enlargement sheet L-2

Irrigation P.O.C. and backflow device/controller to be screened with plant material.

Mailbox stations with waste receptacle:
Refer to images sheet L-3

Air condenser lattice screen:
Refer to site amenities sheet L-4

Evergreen flowering tree:
Refer to Proposed Plant Palette sheet L-11

End 6' wood fence

Accent tree:
Refer to Proposed Plant Palette sheet L-11

Planting area - shrubs and groundcover (typical):
Refer to Proposed Plant Palette sheet L-11

Passive turf area with benches:
Refer to Proposed Plant Palette sheet L-11 and image sheet L-3

Tall Evergreen shrubs adjacent to fence with intermediate shrubs and groundcover towards walkway.
Refer to Proposed Plant Palette sheet L-11

6' high wood fence along property line:
Refer to images sheet L-4

Garden Street tree:
Refer to Proposed Plant Palette sheet L-11
(Trees proposed in treatment areas shall be on raised earthen pedestals)

End 6' wood fence

Evergreen flowering tree in paseo:
Refer to Proposed Plant Palette sheet L-11

Small flowering accent tree in paseo:
Refer to Proposed Plant Palette sheet L-11

6' high wood fence along property line:
Refer to images sheet L-4

Small narrow accent tree in planter pockets:
Refer to Proposed Plant Palette sheet L-11

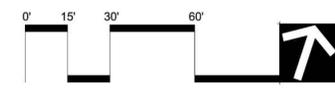
4' wide paseo walk

Scored concrete landings in paseos

Concrete pavers at pedestrian crossings:
Refer to image sheet L-4

4' wide concrete entry walk (Typical)

PLAN VIEW
Scale: 1"=30'-0"



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Illustrative Site Plan



Date: October 21 2015

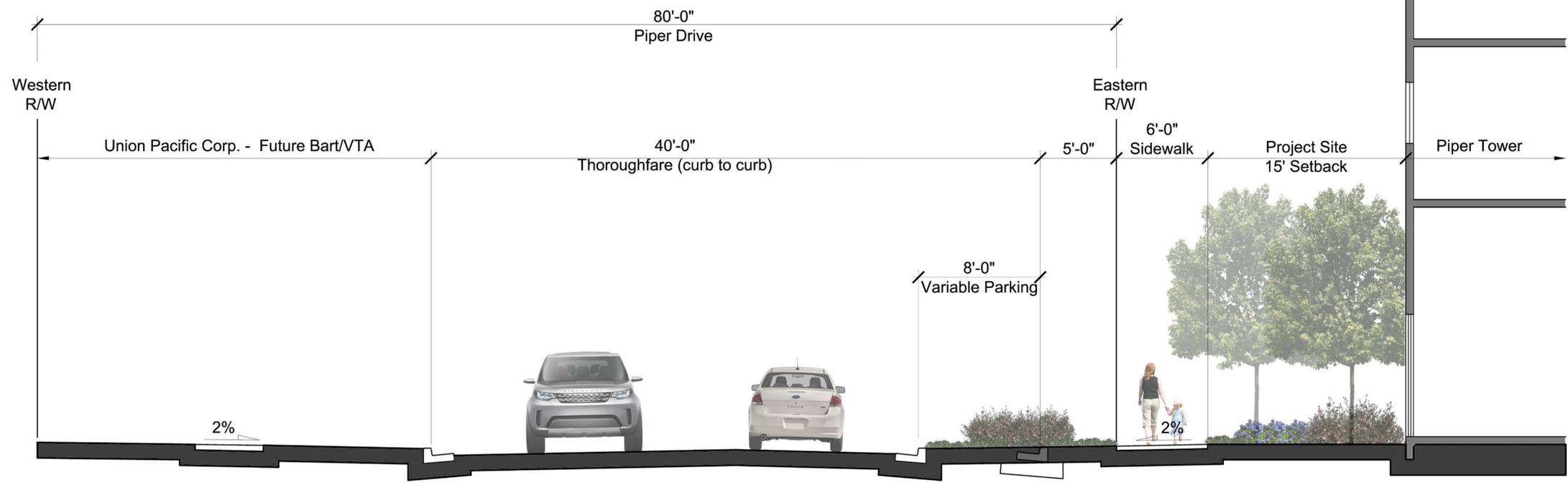
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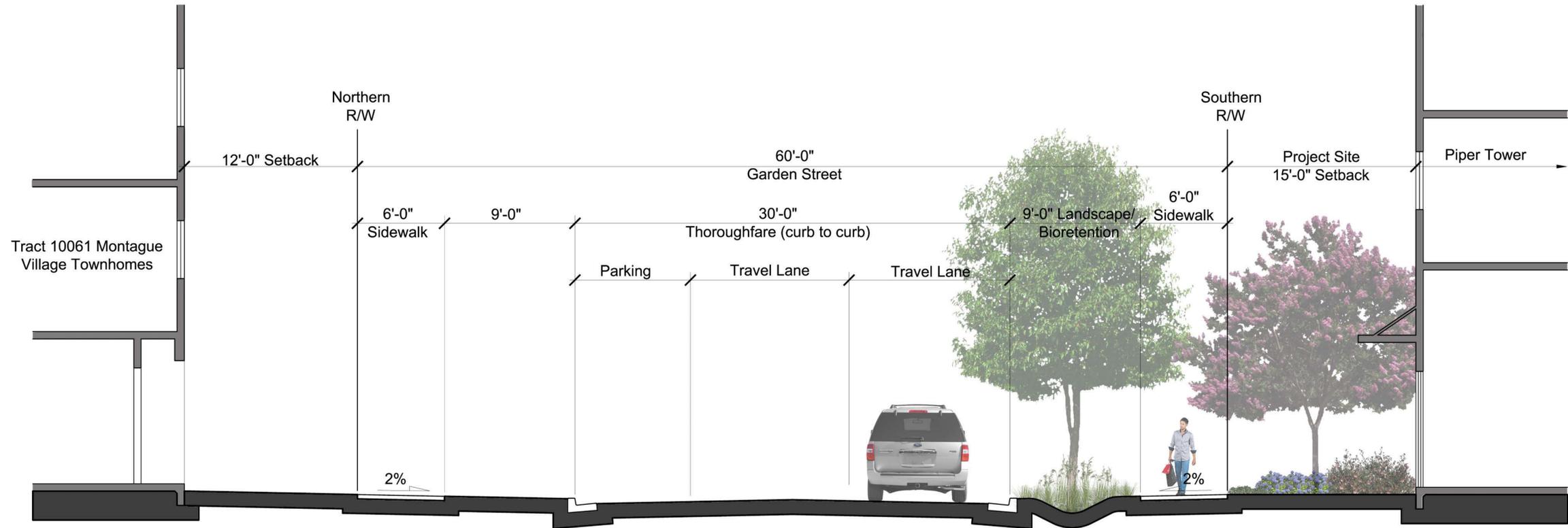
Job #: 300-99

Sheet

L-1



Section AA
SCALE: 1/4" = 1'-0"
(PIPER DRIVE)



Section BB
SCALE: 1/4" = 1'-0"
(GARDEN STREET)



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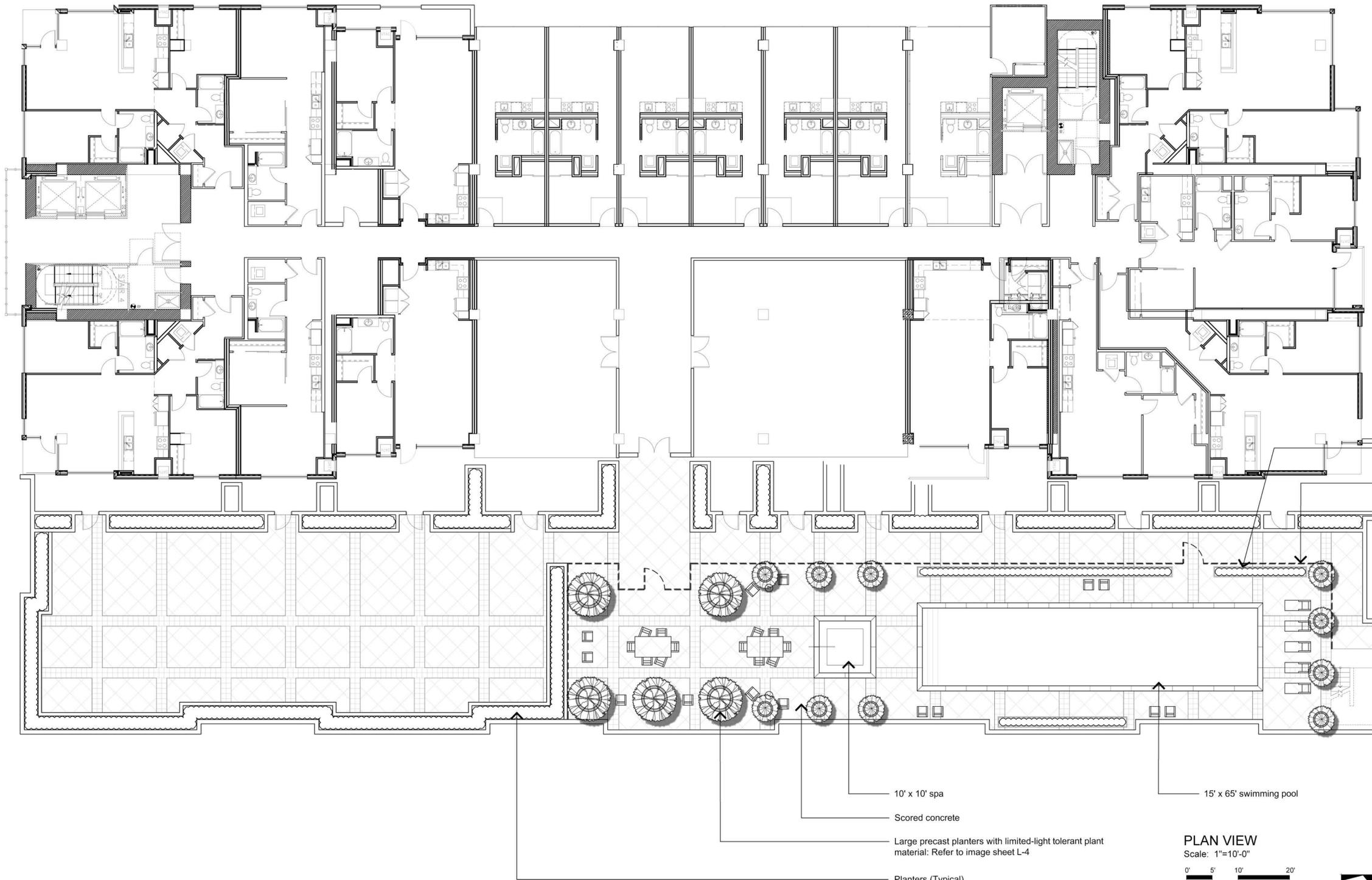
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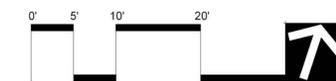


Date: October 21 2015
Scale: AS SHOWN
Drawn by: LT
Job #: 300-99

Sheet
L-1.1



PLAN VIEW
Scale: 1"=10'-0"



2' high rectangular planters with bamboo, horsetail

Frameless glass pool fence:
Refer to image sheet L-4



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Pool Deck - Tower 4th Floor



Date: October 21 2015

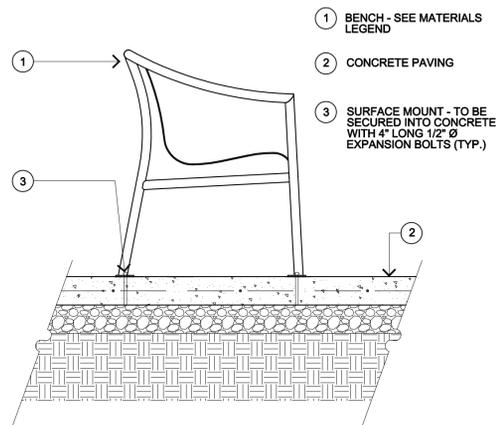
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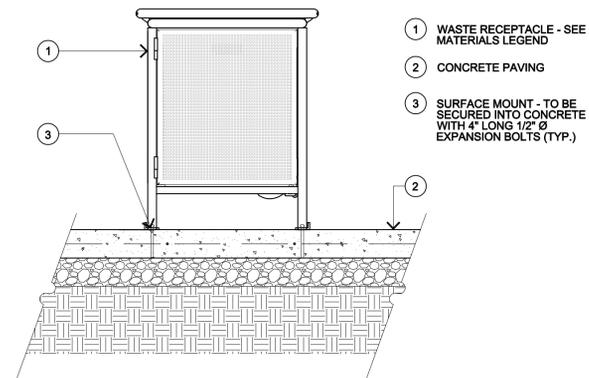
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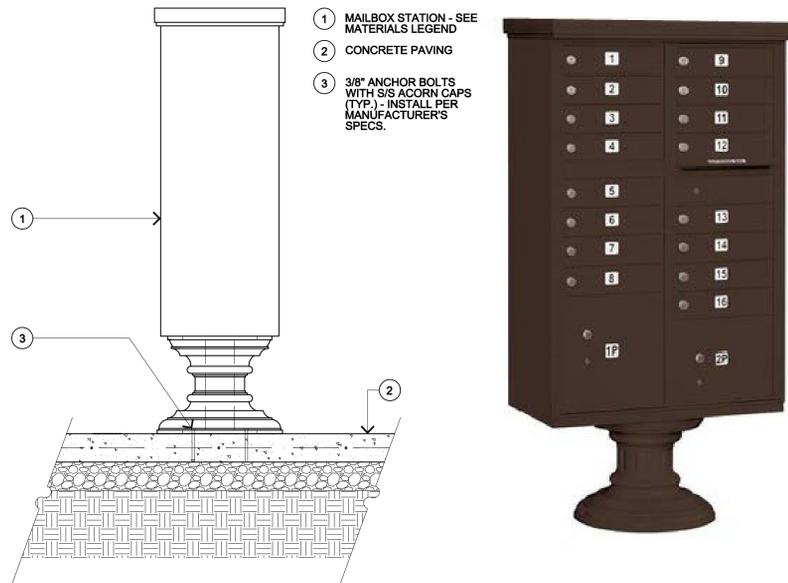
L-2



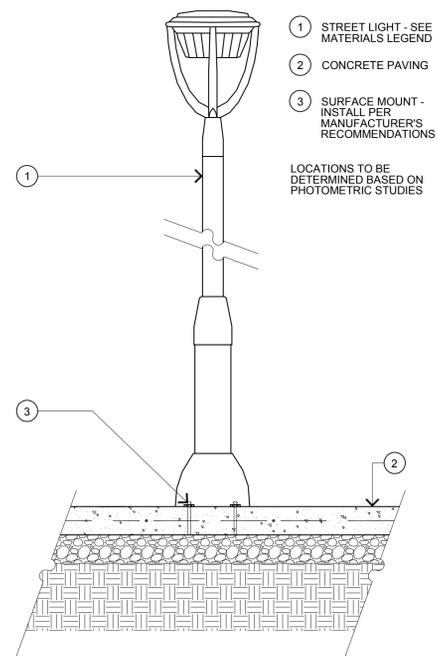
Bench - finish to be dark bronze
 SCALE: 1"= 1'-0"



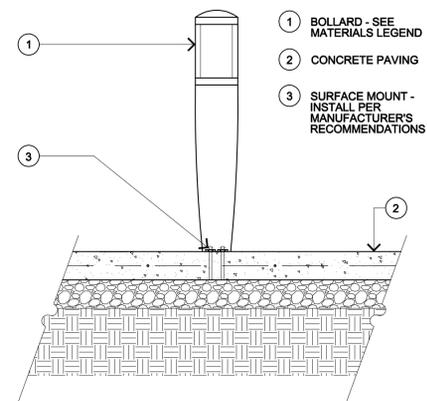
Waste Receptacle - finish to be dark bronze
 SCALE: 1"= 1'-0"



Mailbox Stations - finish to be dark bronze
 SCALE: 1"= 1'-0"



Street Light - finish to be dark bronze
 SCALE: 1"= 1'-0"



Illuminated Bollard (paseo) - finish to be dark bronze
 SCALE: 1"= 1'-0"



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Site Amenities



Date: October 21 2015
 Scale: AS SHOWN
 Drawn by: LT
 Job #: 300-99
 Sheet

L-3



Concrete Pavers - finish to be charcoal, brown, tan blend



Air Condenser Screen
Wood to be stained to match architecture



6' high Frameless Glass Pool Fence



Concept
Large Precast planters - located at pool deck



Concept



Concept

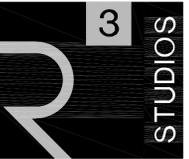


6' High wood fence - located along the property line



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Site Amenities



Date: October 21 2015

Scale: AS SHOWN

Drawn by: LT

Job #: 300-99

Sheet

L-4

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALL, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S), PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING OR LANDSCAPE FEATURE AND PROVIDE 12" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (AVOID LAWN AREAS WHERE POSSIBLE).
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER), ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
- FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.
- INSTALL NON POP-UP ROTARY SPRINKLERS 24" FROM WALKS AND CURBS.
- LOCATE EMITTER OUTLETS ON UPHILL SIDE OF PLANT OR TREE.
- LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.
- INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, USE CAUTION TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATE BY HAND IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR. BACK FILL TRENCHES ADJACENT TO TREE WITHIN TWENTY-FOUR (24) HOURS. WHERE THIS IS NOT POSSIBLE, SHADE THE SIDE OF THE TRENCH ADJACENT TO THE TREE WITH WET BURLAP OR CANVAS.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

- IRRIGATION DEMAND: REFER TO PLANS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.
- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.

IRRIGATION LEGEND

| SYMBOL | MODEL NUMBER | DESCRIPTION | NOZZLE GPM | OPERATING PSI | OPERATING RADIUS (FEET) |
|--------|-----------------------------------|--|---|---------------|-------------------------|
| | 570Z-6P-PRX-COM/ 0-T-15-F,H,Q | TORO POP-UP SPRAY SPRINKLER (TURF) | 2.3,1.16, 0.58 | 30 | 12-15 |
| | 570Z-6P-PRX-COM/ 0-T-12-F,H,Q | TORO POP-UP SPRAY SPRINKLER (TURF) | 1.5,0.75,.37 | 30 | 10-12 |
| | 570Z-6P-PRX-COM/ 0-T-10-F,H,Q | TORO POP-UP SPRAY SPRINKLER (TURF) | 1.03,0.51, 0.23 | 30 | 8-10 |
| | 570Z-12P-PRX-COM/ 0-T-15-F,H,Q | TORO POP-UP SPRAY SPRINKLER (SHRUB) | 2.3,1.16, 0.58 | 30 | 12-15 |
| | 570Z-12P-PRX-COM/ 0-T-12-F,H,Q | TORO POP-UP SPRAY SPRINKLER (SHRUB) | 1.5,0.75,.37 | 30 | 10-12 |
| | 570Z-12P-PRX-COM/ 0-T-10-F,H,Q | TORO POP-UP SPRAY SPRINKLER (SHRUB) | 1.03,0.51, 0.23 | 30 | 8-10 |
| | 570S/FB-25-PC | TORO BUBBLER, 1 PER SHRUB | 0.25 | 30 | TRICKLE |
| | 570S/FB-50-PC | TORO BUBBLER, 2 PER TREE | 0.5 | 30 | TRICKLE |
| | T-YD-500-34 | TORO AIR RELIEF VALVE | | | |
| | FCH-H-FIPT | TORO FLUSH VALVE | | | |
| | T-DL-MP9 | TORO DRIP ZONE INDICATOR | | | |
| | P-220-26-6 | TORO MASTER VALVE (NORMALLY CLOSED) | | | |
| | TFS-150 | TORO FLOW SENSOR | | | |
| | P-220-26 SERIES | TORO REMOTE CONTROL VALVE | | | |
| | P220-27-04/ T-ALFD10150-L | TORO REMOTE CONTROL VALVE WITH A PRESSURE REGULATOR (SET TO 45 PSI) AND A 1" DISC FILTER | | | |
| | 33 DNP | RAIN BIRD QUICK COUPLING VALVE | | | |
| | T113-K | NIBCO GATE VALVE (LINE SIZE)-2.5" AND SMALLER. | | | |
| | 975XLSEU-2" | WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY | | | |
| | MC-30E/CL-R1 | IRRITROL MC-E CONTROLLER IN A PEDESTAL ENCLOSURE WITH MAINTENANCE REMOTE. USE IN CONJUNCTION WITH CLIMATE LOGIC WEATHER SENSING SYSTEM. | | | |
| | CL-100-WIRELESS | IRRITROL CLIMATE LOGIC WEATHER SENSING SYSTEM. AUTOMATICALLY GATHERS ON-SITE WEATHER INFORMATION AND CALCULATES WATER REQUIREMENTS AND WATERING SCHEDULES. | | | |
| | | CONTROLLER AND STATION NUMBER | | | |
| | | FLOW (GPM) | | | |
| | | REMOTE CONTROL VALVE SIZE (IN INCHES) | | | |
| | | ASSOCIATED REMOTE CONTROL VALVE | | | |
| | | CONTROLLER AND STATION NUMBER | | | |
| | | AREA (SQ. FT.) | | | |
| | | FLOW (GPM) | | | |
| | | REMOTE CONTROL VALVE SIZE (IN INCHES) | | | |
| | | ASSOCIATED REMOTE CONTROL VALVE | | | |
| | | MAIN LINE: | 2 1/2" AND SMALLER; 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER. | | |
| | | LATERAL LINE: | 3/4" AND LARGER; 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER. | | |
| | | SLEEVING: | SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER. | | |
| | | DRIP ZONE: | TORO DL2000 SERIES DRIPLINE WITH LOC-EZE FITTINGS, PART #RGP-212. TUBING TO BE INSTALLED 4" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS. MINIMUM PIPE SIZE OF PVC LATERAL LINE WITHIN DRIP AREAS TO BE 1". EXTEND PVC HEADERS TO THE ENDS OF ALL DRIP ZONES TO BALANCE FLOW. SEE DETAILS FOR FURTHER INFORMATION. | | |
| | | DRIP ZONE: | TORO BLUE STRIPE POLYETHYLENE HOSE. INSTALL ON-GRADE AS DETAILED. SEE DETAILS FOR INSTALLATION AND PART NUMBERS. INSTALL A END CLAMP AT THE END OF EACH DRIP ZONE REGION. | | |
| | | FLOW SENSOR/ MASTER CABLE: | APPROXIMATE ROUTING OF FLOW SENSOR AND MASTER VALVE WIRES IN SEPARATE 1" CONDUITS. REFER TO DETAILS FOR MORE INFORMATION. | | |



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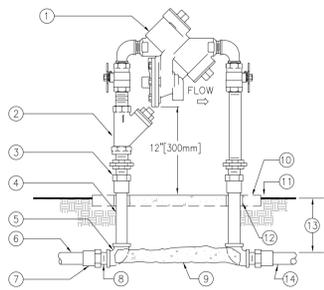
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1256 PIPER DRIVE, MILPITAS, CA 95035
Irrigation Notes & Legend
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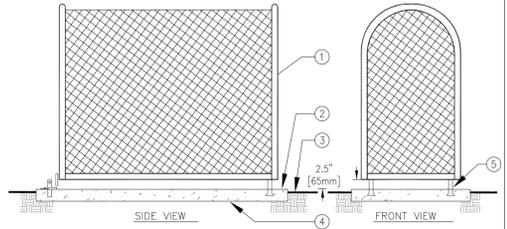
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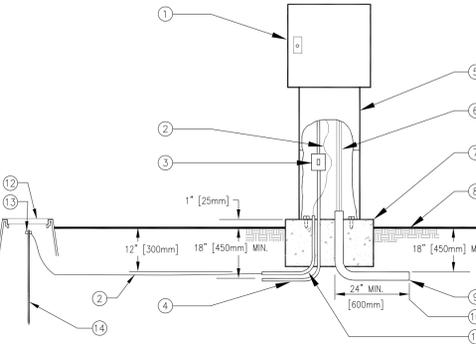


- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
- 2 YB "Y" STRAINER SYSTEM (AS REQUIRED).
- 3 WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
- 4 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
- 5 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
- 6 PVC MAIN LINE TO POINT OF CONNECTION.
- 7 BUSH AS NECESSARY FOR SIZE TRANSITION.
- 8 SCHEDULE 40 PVC MALE ADAPTER-2 TOTAL.
- 9 CONCRETE SUPPORT BLOCK.
- 10 CONCRETE PAD-SEE ENCLOSURE DETAIL.
- 11 FINISH GRADE.
- 12 PVC SLEEVE BOTH SIDES.
- 13 REFER TO IRRIGATION LEGEND.
- 14 PVC MAIN LINE TO IRRIGATION SYSTEM.

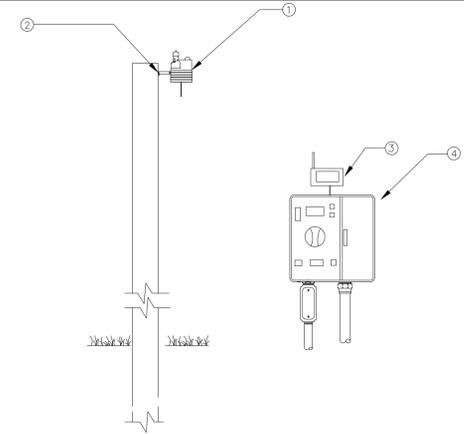
- NOTES:
- INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 - DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 - NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 - PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.



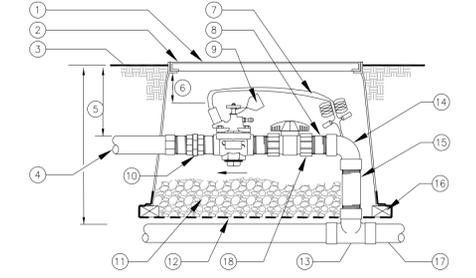
- 1 STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE.
- 2 SET PAD 1/2" [13MM] ABOVE FINISH GRADE.
- 3 FINISH GRADE.
- 4 6" [150MM] THICK CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" [150MM] BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BROOM FINISH.
- 5 MOUNTING BRACKETS (STANDARD WITH ENCLOSURE) TO BE SET INTO CONCRETE PAD. PROVIDE LOCKING TAB TO ACCEPT PADLOCK PER MANUFACTURER'S INSTRUCTION.



- 1 IRRIGATION CONTROLLER.
- 2 #6 BARE COPPER GROUND WIRE.
- 3 120 VOLT LOCKABLE WEATHERPROOF ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT.
- 4 120 VOLT A.C. ELECTRICAL SERVICE FROM SOURCE TO CONTROLLER. IRRIGATION CONTRACTOR TO PROVIDE RIGID STEEL CONDUIT FROM SERVICE STUB-OUT TO CONTROLLER. GFI SWITCH AND COMPLETE ELECTRICAL SERVICE TO CONTROLLER.
- 5 PEDESTAL ENCLOSURE.
- 6 LOW VOLTAGE CONTROL WIRING.
- 7 CONCRETE PAD-6" [150MM] THICK (MIN.) EXTEND 6" [150MM] BEYOND EACH SIDE AND BACK. 24" [600MM] IN FRONT AND 1" [25MM] ABOVE FINISH GRADE.
- 8 FINISH GRADE.
- 9 SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT WITH SWEEP ELL FOR LOW VOLTAGE WIRE.
- 10 24" MIN. [600MM] AND OR 12" [300MM] BEYOND HARDSCAPE.
- 11 1 1/2" [40MM] PVC SWEEP ELL FOR GROUND WIRE.
- 12 6" ROUND BLACK PLASTIC BOX WITH T-LID FOR GROUND ROD.
- 13 CADDWELD CONNECTIONS.
- 14 8" LONG COPPER GROUND ROD. LOCATE A MINIMUM OF 10' AWAY FROM CONTROLLER.



- 1 WIRELESS CLIMATE SENSOR TRANSMITTER.
 - 2 SUITABLE POST, POLE, OR OUTLET MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN, IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN.
 - 3 SENSOR RECEIVER.
 - 4 CONTROLLER.
- NOTE: MAXIMUM LINE OF SIGHT FROM SENSOR TO RECEIVER IS 1000 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.



- 1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
- 2 USE A 14" X 19" RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1" VALVES. FOR 1.5" AND LARGER VALVES INSTALL BALL VALVE WITHIN A SEPARATE 10" ROUND BOX OR ONE BALL VALVE PER MANIFOLD OF VALVES. GATE VALVE SIZE SHALL BE SAME AS LARGEST VALVE WITHIN MANIFOLD. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 FINISH GRADE.
- 4 PVC LATERAL LINE.
- 5 REFER TO IRRIGATION SPECS.
- 6 3" [75MM] MIN. 6" [150MM] MAX.
- 7 VALVE CONTROL WIRE- PROVIDE SEAL PACKS AT ALL SPLICES AND 3" [1m] OF EXCESS UF WIRE IN A 1" [25mm] DIAMETER COIL.
- 8 SCHEDULE 80 PVC NIPPLE (4 TOTAL).
- 9 VALVE I.D. TAG (CONTROLLER AND STATION NUMBERS).
- 10 SCHEDULE 80 PVC THREADED UNION.
- 11 PEA GRAVEL OR 3/4" DRAIN ROCK- 4" [100MM] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 12 19 GAUGE 1/2" [12mm] SQUARE WIRE MESH.
- 13 UPC APPROVED SCHEDULE 40 PVC TEE.
- 14 SCHEDULE 80 PVC 90° ELBOW (1x1).
- 15 SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
- 16 BRICK-1 EACH CORNER.
- 17 PVC MAIN LINE.
- 18 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).

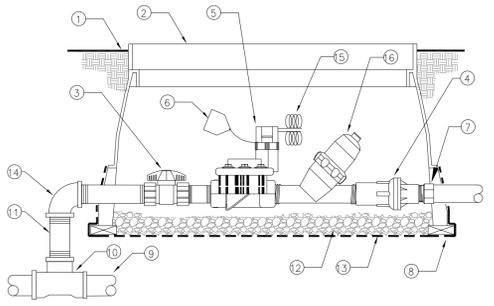
1 REDUCED PRESSURE BACKFLOW ASSEMBLY
SCALE: NONE
DET: RPB-1

2 BACKFLOW ASSEMBLY ENCLOSURE
SCALE: NONE
DET: ENC-SMOOTH

3 CONTROLLER - PEDESTAL MOUNT
SCALE: NONE
DET: PED-CONT

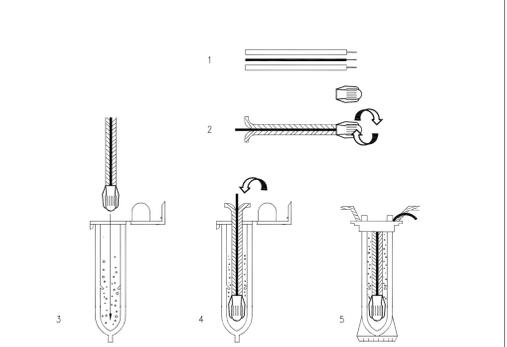
4 WIRELESS WEATHER SENSOR
SCALE: NONE
DET: CL-W

5 REMOTE CONTROL VALVE
SCALE: NONE
DET: RCV-UN-BV



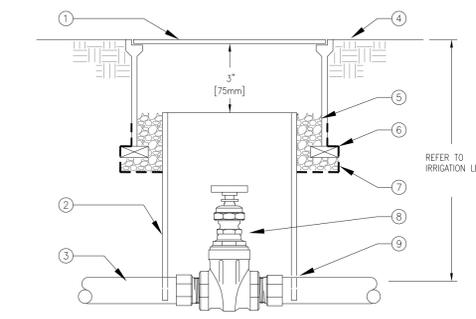
- 1 FINISH GRADE.
- 2 JUMBO RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).
- 4 PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT).
- 5 REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE).
- 6 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 7 SCHEDULE 40 MALE ADAPTER.
- 8 BRICK-1 EACH CORNER.
- 9 PVC MAIN LINE.
- 10 UPC APPROVED SCHEDULE 40 PVC TEE.
- 11 SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
- 12 PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [102mm] DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 13 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 14 SCHEDULE 80 PVC 90° ELBOW (1x1).
- 15 VALVE CONTROL WIRE- PROVIDE 3M-DRY SEAL PACKS AT ALL SPLICES AND 3" [1m] OF EXCESS UF WIRE IN A 1" [25mm] DIAMETER COIL.
- 16 Y-FILTER (INCLUDED IN DRIP ZONE KIT).

6 REMOTE CONTROL VALVE (DRIPZONE)
SCALE: NONE
DET: RCV-FILTER4



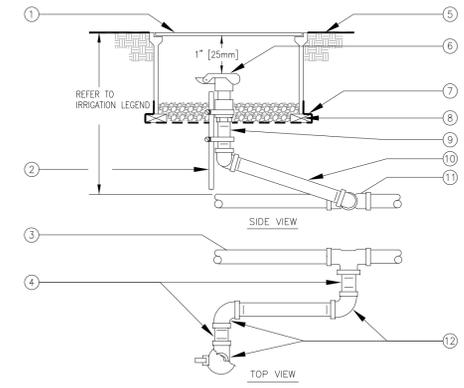
- INSTRUCTIONS:
- STRIP WIRES APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.
 - TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
 - INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
 - PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
 - INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

7 WEATHERPROOF WIRE SPLICE ASSEMBLY
SCALE: NONE
DET: WIRE-SPL



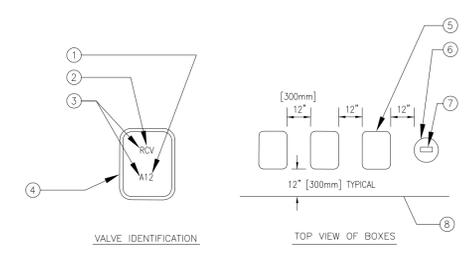
- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 8" [200mm] CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- 3 PVC MAIN LINE.
- 4 FINISH GRADE.
- 5 PEA GRAVEL OR 3/4" [20mm] DRAIN ROCK - 4" [100mm] DEEP (NO SOIL IN VALVE BOX).
- 6 BRICK-2 TOTAL.
- 7 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- 8 GATE VALVE.
- 9 MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.

8 GATE VALVE
SCALE: NONE
DET: SOVD



- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
 - 2 1 1/4" X 1 1/4" X 3/16" [30mm X 30mm X 5mm] ANGLE IRON 30° [760mm] LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND OCV).
 - 3 PVC MAIN LINE.
 - 4 3" [75mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
 - 5 FINISH GRADE.
 - 6 QUICK COUPLING VALVE.
 - 7 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
 - 8 BRICK - 2 TOTAL.
 - 9 SCHEDULE 80 PVC THREADED NIPPLE.
 - 10 10" [250mm] LONG SCHEDULE 80 PVC THREADED NIPPLE.
 - 11 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
 - 12 SCHEDULE 80 PVC THREADED 90° ELL.
- NOTE: NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.

9 QUICK COUPLING VALVE
SCALE: NONE
DET: QUICK-C2



- 1 CONTROLLER AND STATION.
 - 2 VALVE TYPE.
 - 3 HEAT BRAND LETTERS AND NUMBERS INTO LID.
 - 4 VALVE BOX COVER.
 - 5 RECTANGULAR VALVE BOX.
 - 6 ROUND VALVE BOX FOR OCV AND GATE VALVE.
 - 7 HEAT BRAND LETTERS AND NUMBERS INTO LID (TYPICAL).
 - 8 EDGE OF LAWN, WALK, FENCE, CURB, ETC.
- INSTRUCTIONS:
- CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
 - SET BOXES 1" [25mm] ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
 - SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
 - SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
 - AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
 - INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

10 VALVE BOX INSTALLATION
SCALE: NONE
DET: VALVE-B1



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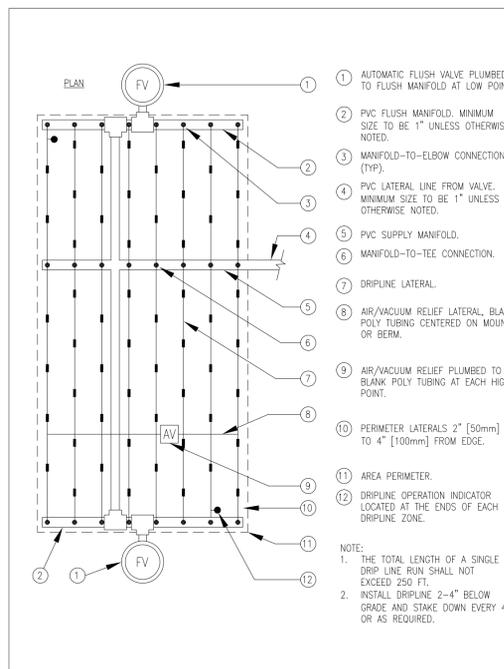
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Irrigation Details
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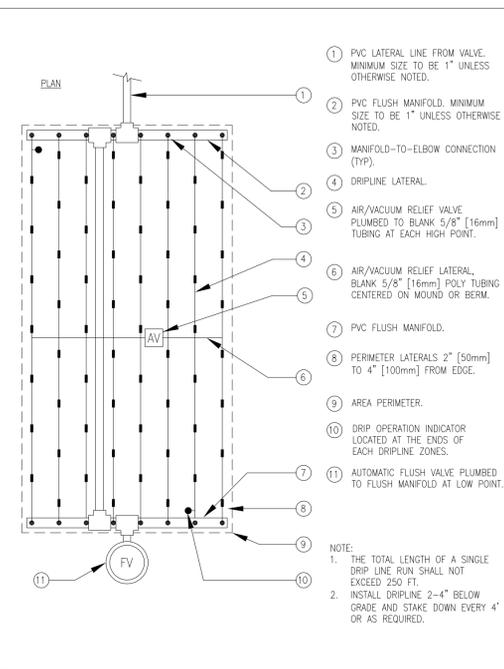


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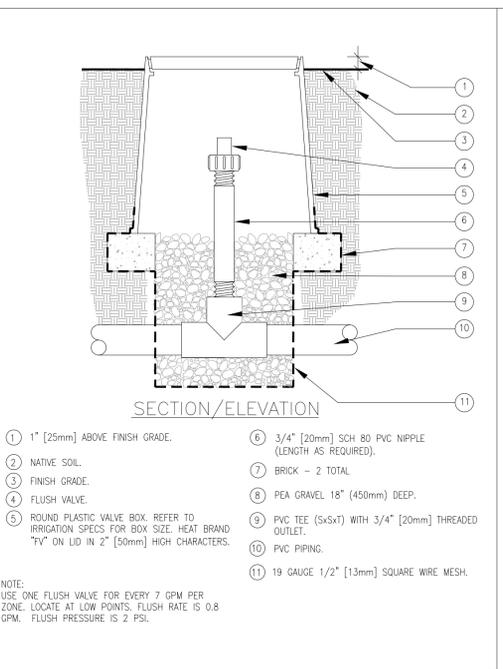
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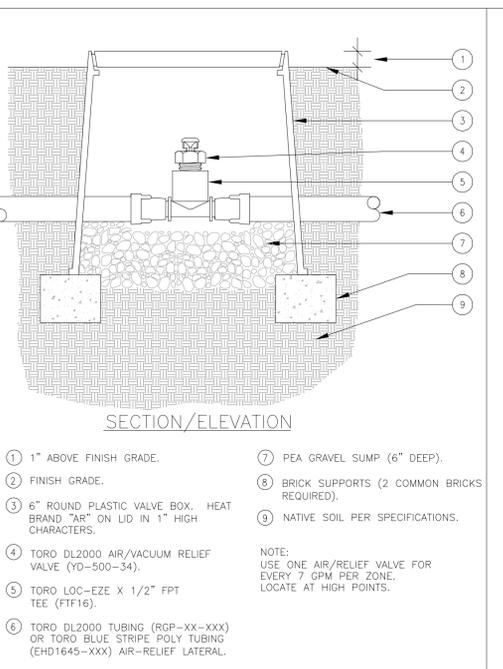
- 1 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
 - 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 3 MANIFOLD-TO-ELBOW CONNECTION (TYP.)
 - 4 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 5 PVC SUPPLY MANIFOLD.
 - 6 MANIFOLD-TO-TEE CONNECTION.
 - 7 DRIPLINE LATERAL.
 - 8 AIR/VACUUM RELIEF LATERAL, BLANK POLY TUBING CENTERED ON MOUND OR BERM.
 - 9 AIR/VACUUM RELIEF PLUMBED TO BLANK POLY TUBING AT EACH HIGH POINT.
 - 10 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
 - 11 AREA PERIMETER.
 - 12 DRIPLINE OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
- NOTE:
1. THE TOTAL LENGTH OF A SINGLE DRIPLINE RUN SHALL NOT EXCEED 250 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



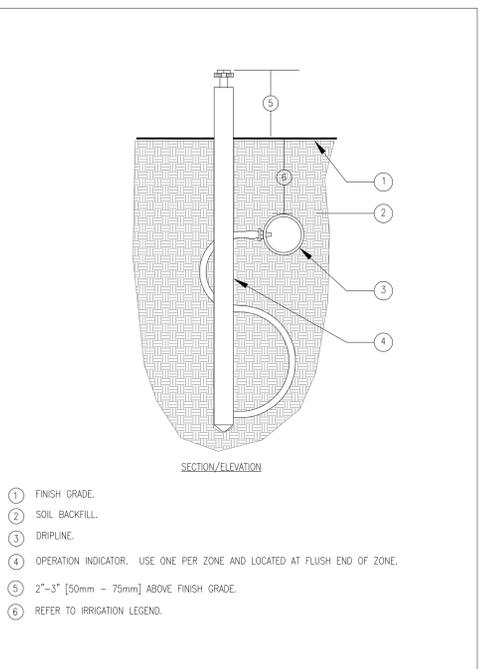
- 1 PVC LATERAL LINE FROM VALVE. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 2 PVC FLUSH MANIFOLD. MINIMUM SIZE TO BE 1" UNLESS OTHERWISE NOTED.
 - 3 MANIFOLD-TO-ELBOW CONNECTION (TYP.)
 - 4 DRIPLINE LATERAL.
 - 5 AIR/VACUUM RELIEF VALVE PLUMBED TO BLANK 5/8" [16mm] TUBING AT EACH HIGH POINT.
 - 6 AIR/VACUUM RELIEF LATERAL, BLANK 5/8" [16mm] POLY TUBING CENTERED ON MOUND OR BERM.
 - 7 PVC FLUSH MANIFOLD.
 - 8 PERIMETER LATERALS 2" [50mm] TO 4" [100mm] FROM EDGE.
 - 9 AREA PERIMETER.
 - 10 DRIP OPERATION INDICATOR LOCATED AT THE ENDS OF EACH DRIPLINE ZONE.
 - 11 AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT.
- NOTE:
1. THE TOTAL LENGTH OF A SINGLE DRIPLINE RUN SHALL NOT EXCEED 250 FT.
2. INSTALL DRIPLINE 2-4" BELOW GRADE AND STAKE DOWN EVERY 4' OR AS REQUIRED.



- 1 1" [25mm] ABOVE FINISH GRADE.
 - 2 NATIVE SOIL.
 - 3 FINISH GRADE.
 - 4 FLUSH VALVE.
 - 5 ROUND PLASTIC VALVE BOX. REFER TO IRRIGATION SPECS FOR BOX SIZE. HEAT BRAND "RV" ON LID IN 2" [50mm] HIGH CHARACTERS.
 - 6 3/4" [20mm] SCH 80 PVC NIPPLE (LENGTH AS REQUIRED).
 - 7 BRICK - 2 TOTAL.
 - 8 PEA GRAVEL 18" [450mm] DEEP.
 - 9 PVC TEE (5x5xT) WITH 3/4" [20mm] THREADED OUTLET.
 - 10 PVC PIPING.
 - 11 19 GAUGE 1/2" [13mm] SQUARE WIRE MESH.
- NOTE:
USE ONE FLUSH VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT LOW POINTS. FLUSH RATE IS 0.8 GPM. FLUSH PRESSURE IS 2 PSI.



- 1 1" ABOVE FINISH GRADE.
 - 2 FINISH GRADE.
 - 3 6" ROUND PLASTIC VALVE BOX. HEAT BRAND "AR" ON LID IN 1" HIGH CHARACTERS.
 - 4 TORO DL2000 AIR/VACUUM RELIEF VALVE (YD-500-34).
 - 5 TORO LOC-EZE X 1/2" FPT TEE (FT16).
 - 6 TORO DL2000 TUBING (RGP-XX-XXX) OR TORO BLUE STRIPE POLY TUBING (EHD1645-XXX) AIR-RELIEF LATERAL.
 - 7 PEA GRAVEL SUMP (6" DEEP).
 - 8 BRICK SUPPORTS (2 COMMON BRICKS REQUIRED).
 - 9 NATIVE SOIL PER SPECIFICATIONS.
- NOTE:
USE ONE AIR/RELIEF VALVE FOR EVERY 7 GPM PER ZONE. LOCATE AT HIGH POINTS.



- 1 FINISH GRADE.
- 2 SOIL BACKFILL.
- 3 DRIPLINE.
- 4 OPERATION INDICATOR. USE ONE PER ZONE AND LOCATED AT FLUSH END OF ZONE.
- 5 2"-3" [50mm - 75mm] ABOVE FINISH GRADE.
- 6 REFER TO IRRIGATION LEGEND.

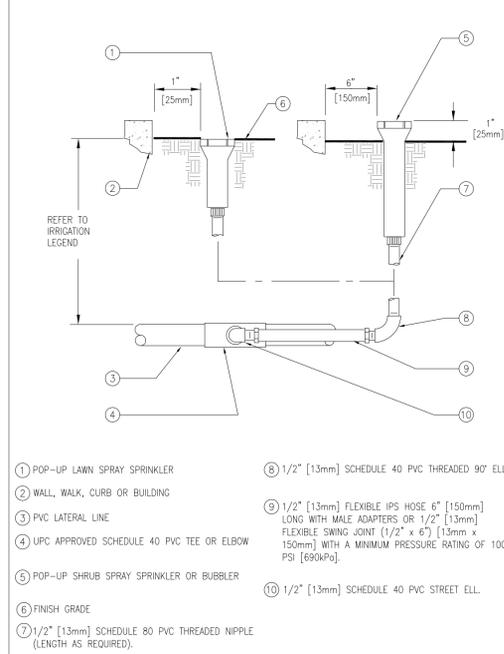
1 TORO DL 2000 CENTER FEED LAYOUT
SCALE: NONE

2 TORO DL 2000 END FEED LAYOUT
SCALE: NONE

3 TORO DL 2000 FLUSH VALVE (PVC TEE)
SCALE: NONE

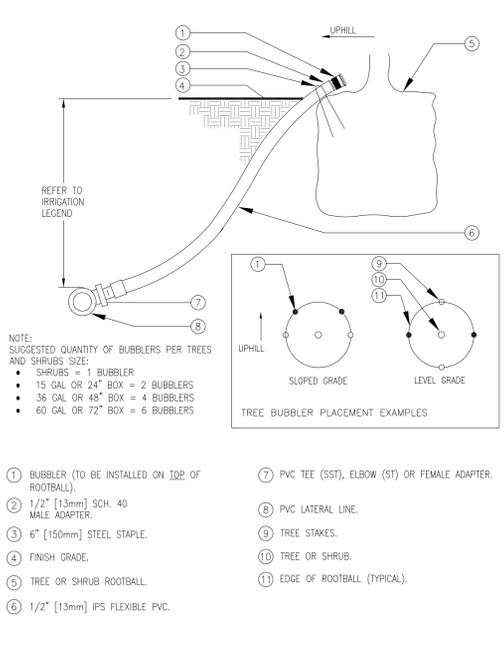
4 TORO DL 2000 AIR VACUUM RELIEF VALVE
SCALE: NONE

5 TORO DL 2000 OPERATION INDICATOR
SCALE: NONE



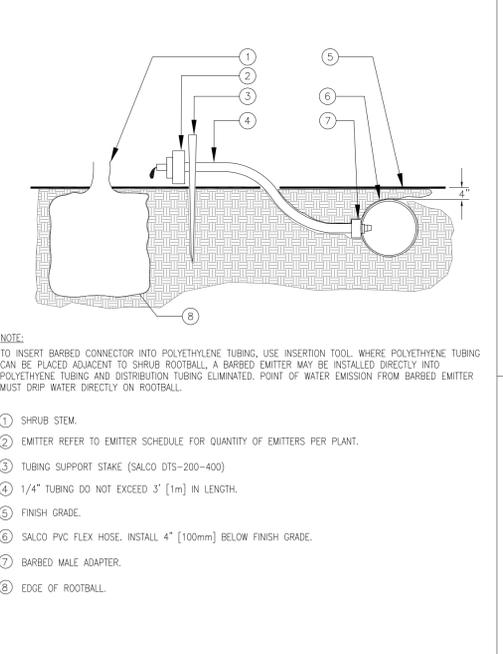
- 1 POP-UP LAWN SPRAY SPRINKLER
- 2 WALL, WALK, CURB OR BUILDING
- 3 PVC LATERAL LINE
- 4 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW
- 5 POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER
- 6 FINISH GRADE
- 7 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
- 8 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.
- 9 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" [13mm] FLEXIBLE SWING JOINT (1/2" x 6" [13mm x 150mm]) WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa].
- 10 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.

6 POP-UP SPRAY SPRINKLER RISER
SCALE: NONE
DET: SH/LW-POPSP



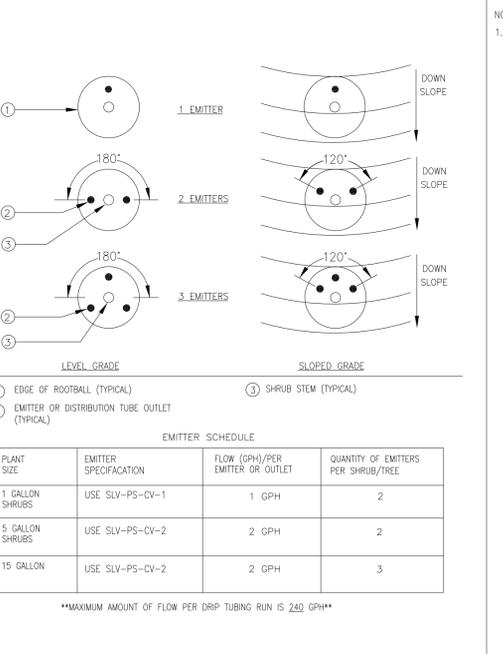
- NOTE:
SUGGESTED QUANTITY OF BUBBLERS PER TREES AND SHRUBS SIZE:
• 15 GAL OR 24" BOX = 2 BUBBLERS
• 36 GAL OR 48" BOX = 4 BUBBLERS
• 60 GAL OR 72" BOX = 6 BUBBLERS
- 1 BUBBLER (TO BE INSTALLED ON 100 OF ROOTBALL).
 - 2 1/2" [13mm] SCH. 40 MALE ADAPTER.
 - 3 6" [150mm] STEEL STAPLE.
 - 4 FINISH GRADE.
 - 5 TREE OR SHRUB ROOTBALL.
 - 6 1/2" [13mm] IPS FLEXIBLE PVC.
 - 7 PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
 - 8 PVC LATERAL LINE.
 - 9 TREE STAKES.
 - 10 TREE OR SHRUB.
 - 11 EDGE OF ROOTBALL (TYPICAL).
- TREE BUBBLER PLACEMENT EXAMPLES

7 TREE AND SHRUB BUBBLER
SCALE: NONE
DET: TREE-SBUB

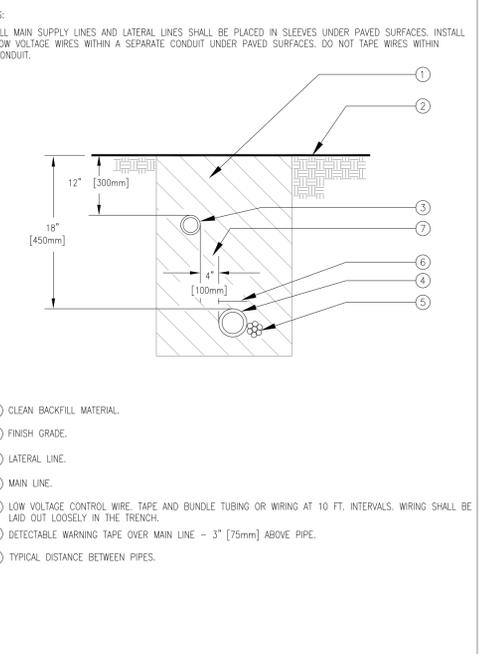


- NOTE:
TO INSERT BARBED CONNECTOR INTO POLYETHYLENE TUBING, USE INSERTION TOOL WHERE POLYETHYLENE TUBING CAN BE PLACED ADJACENT TO SHRUB ROOTBALL. A BARBED EMITTER MAY BE INSTALLED DIRECTLY INTO POLYETHYLENE TUBING AND DISTRIBUTION TUBING ELIMINATED. POINT OF WATER EMISSION FROM BARBED EMITTER MUST DRIP WATER DIRECTLY ON ROOTBALL.
- 1 SHRUB STEM.
 - 2 EMITTER REFER TO EMITTER SCHEDULE FOR QUANTITY OF EMITTERS PER PLANT.
 - 3 TUBING SUPPORT STAKE (SALCO DTS-200-400)
 - 4 1/4" TUBING DO NOT EXCEED 3' [1m] IN LENGTH.
 - 5 FINISH GRADE.
 - 6 SALCO PVC FLEX HOSE. INSTALL 4" [100mm] BELOW FINISH GRADE.
 - 7 BARBED MALE ADAPTER.
 - 8 EDGE OF ROOTBALL.

8 SALCO FLEX TUBING EMITTER PLACEMENT
SCALE: NONE
DET: SALCO-BELOW

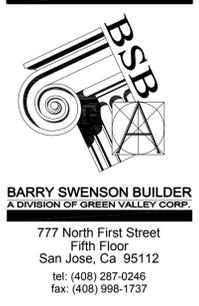


9 SALCO EMITTER PLACEMENT AND SCHEDULE
DET: EMITTER-PL/SCH



- NOTE:
1. ALL MAIN SUPPLY LINES AND LATERAL LINES SHALL BE PLACED IN SLEEVES UNDER PAVED SURFACES. INSTALL LOW VOLTAGE WIRES WITHIN A SEPARATE CONDUIT UNDER PAVED SURFACES. DO NOT TAPE WIRES WITHIN CONDUIT.
- 1 CLEAN BACKFILL MATERIAL.
 - 2 FINISH GRADE.
 - 3 LATERAL LINE.
 - 4 MAIN LINE.
 - 5 LOW VOLTAGE CONTROL WIRE TAPE AND BUNDLE TUBING OR WIRING AT 10 FT. INTERVALS. WIRING SHALL BE LAD OUT LOOSELY IN THE TRENCH.
 - 6 DETECTABLE WARNING TAPE OVER MAIN LINE - 3" [75mm] ABOVE PIPE.
 - 7 TYPICAL DISTANCE BETWEEN PIPES.

10 TRENCHING
SCALE: NONE
DET: TRENCH

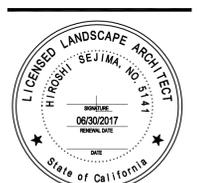


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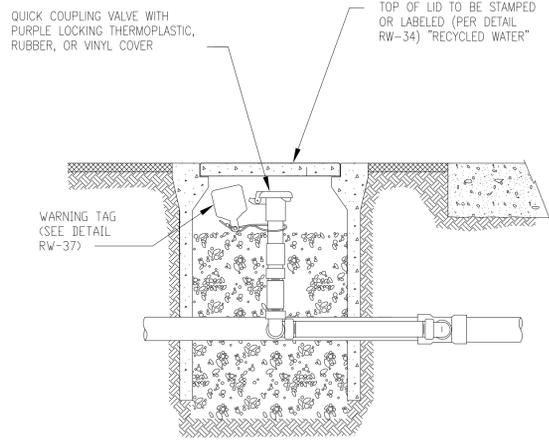
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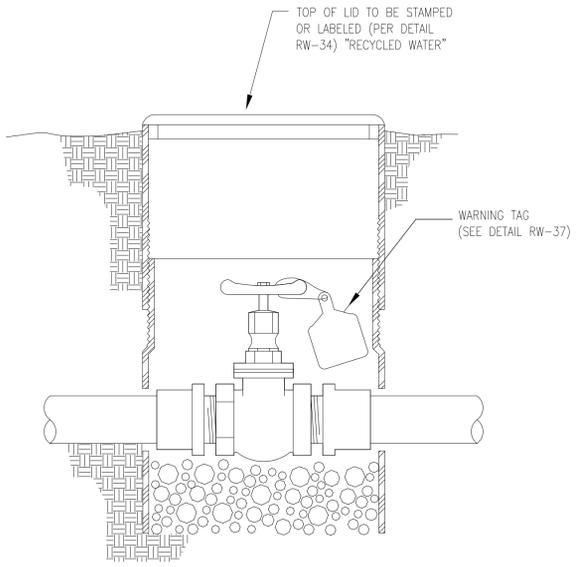


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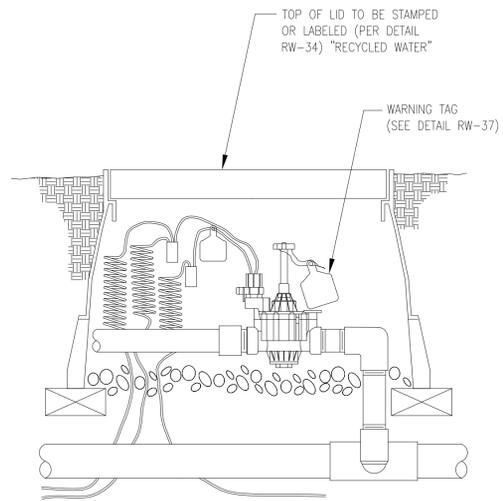
IDENTIFICATION OF QUICK COUPLING VALVE WITH WARNING TAG

| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-22 |



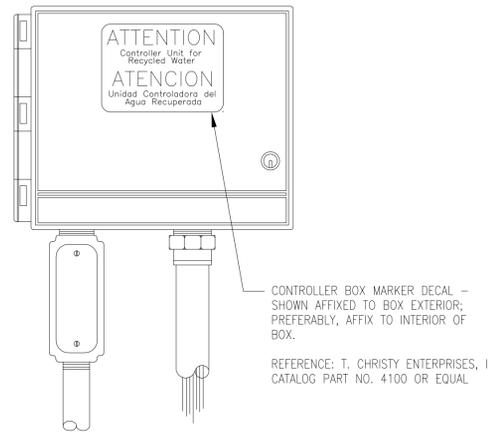
IDENTIFICATION OF ISOLATION GATE VALVE (3" OR SMALLER) WITH WARNING TAG

| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-31 |



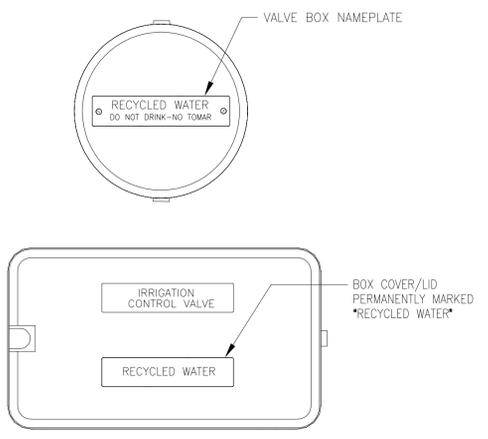
IDENTIFICATION OF REMOTE CONTROL VALVE WITH WARNING TAG

| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-32 |



IDENTIFICATION OF IRRIGATION SYSTEM CONTROLLER WITH ADVISORY WARNING DECAL

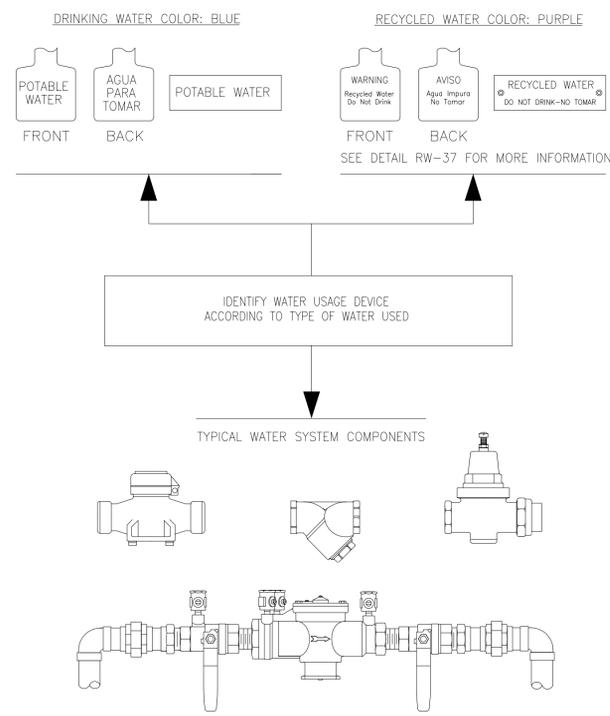
| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-33 |



IRRIGATION BOX COVERS/LIDS SHALL PERMANENTLY READ "RECYCLED WATER." FOR PLASTIC BOX COVERS/LIDS, LETTERING SHALL BE IMPRINTED ON LID OR APPLIED USING A NAMEPLATE ATTACHED ONTO THE COVER/LID WITH RIVETS, SCREWS, OR BOLTS. FOR CONCRETE COVERS/LIDS, LETTERING SHALL BE IMPRINTED ON LID FROM FACTORY. FOR CAST IRON AND METAL CHECKER PLATE COVERS/LIDS, LETTERING MUST BE BEAD-WELDED OR PERMANENTLY STAMPED ONTO LID.

IDENTIFICATION OF IRRIGATION BOX COVERS/LIDS WITH "RECYCLED WATER"

| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-34 |



IDENTIFICATION OF WATER CONTROL DEVICES WITH WARNING TAG

| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-35 |



MOUNT SIGN SO THAT IT CLEARS HEIGHT OF SURROUNDING PLANTS WHEN THEY MATURE
APPROVED SIGNS MAY BE OBTAINED FROM SOUTH BAY WATER RECYCLING CONTACT (408) 277-3671 FOR MORE INFORMATION

RECYCLED WATER ADVISORY SIGN

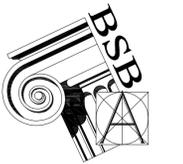
| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-36 |



SAMPLE WARNING TAG. BACKGROUND PURPLE (PANTONE 512) WITH BLACK LETTERING.

IDENTIFICATION OF RECYCLED WATER WARNING TAG

| | |
|------------|--|
| | RECYCLED WATER USE SITE IDENTIFICATION DETAILS |
| SCALE: NTS | |
| | RW-37 |



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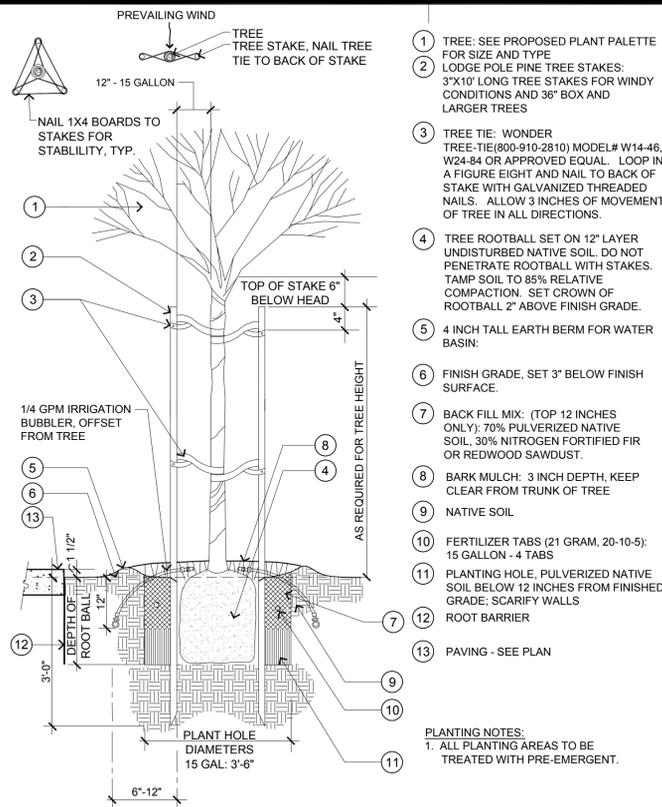
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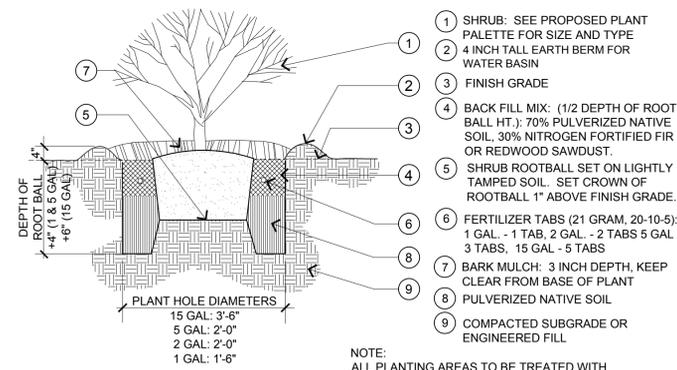
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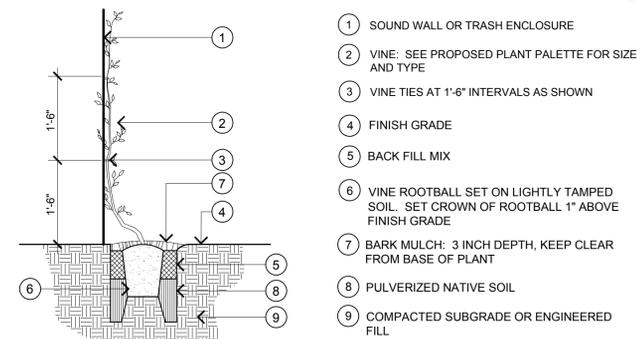
Tree Staking

NOT TO SCALE



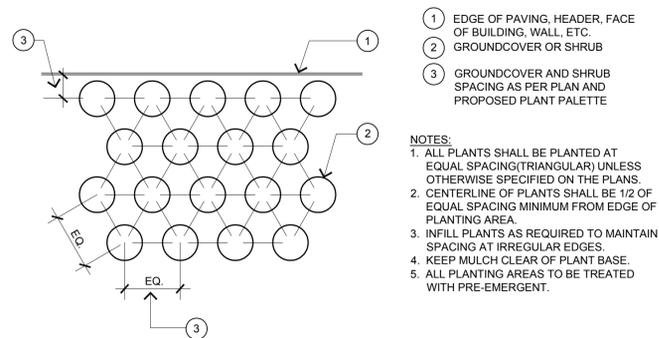
Shrub Planting

NOT TO SCALE



Vine Planting/Staking

NOT TO SCALE



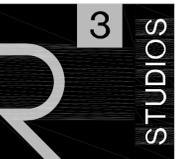
Groundcover Planting

NOT TO SCALE



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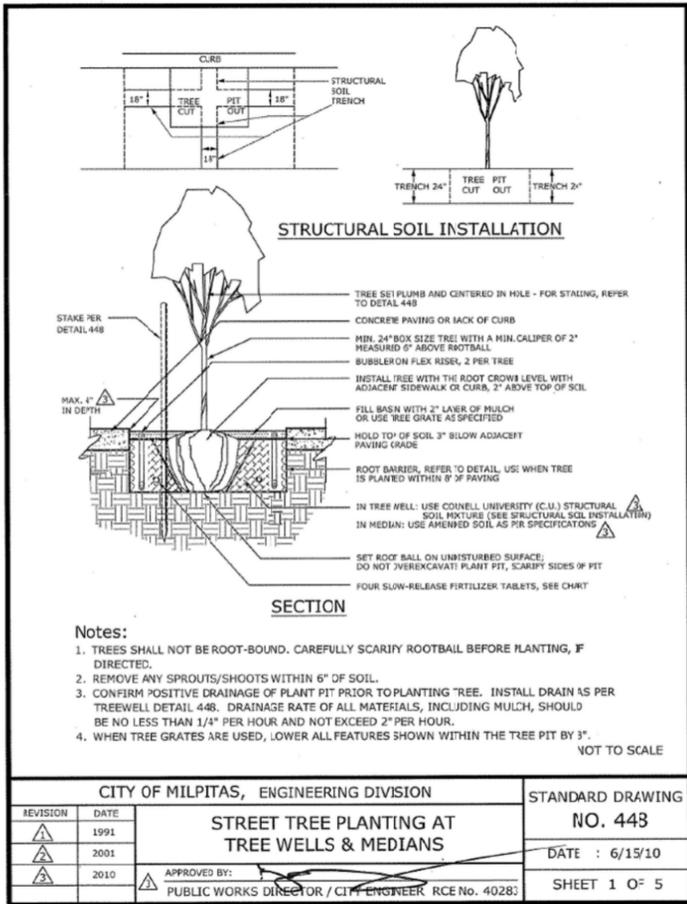
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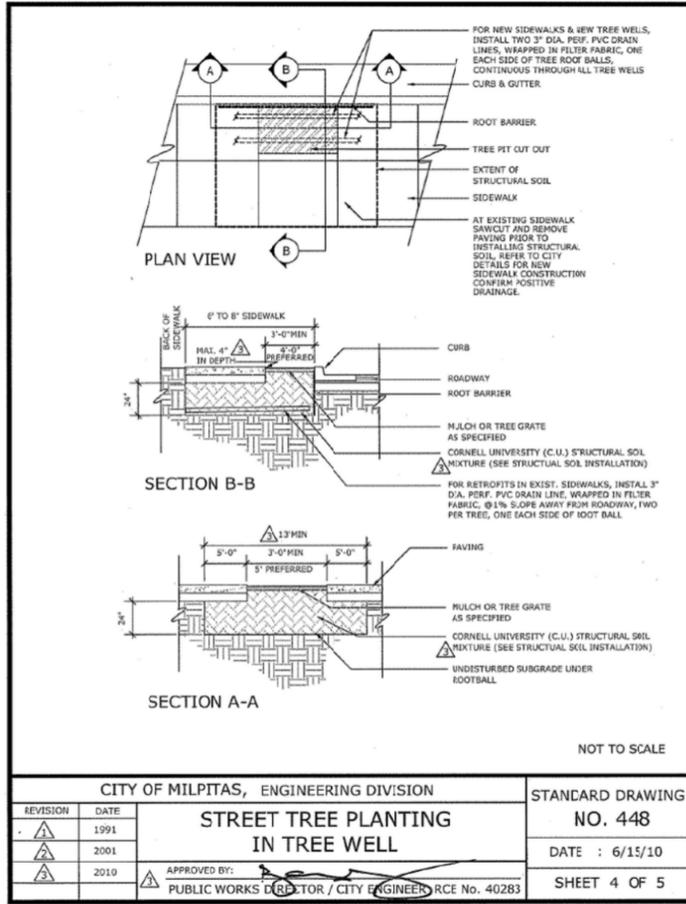
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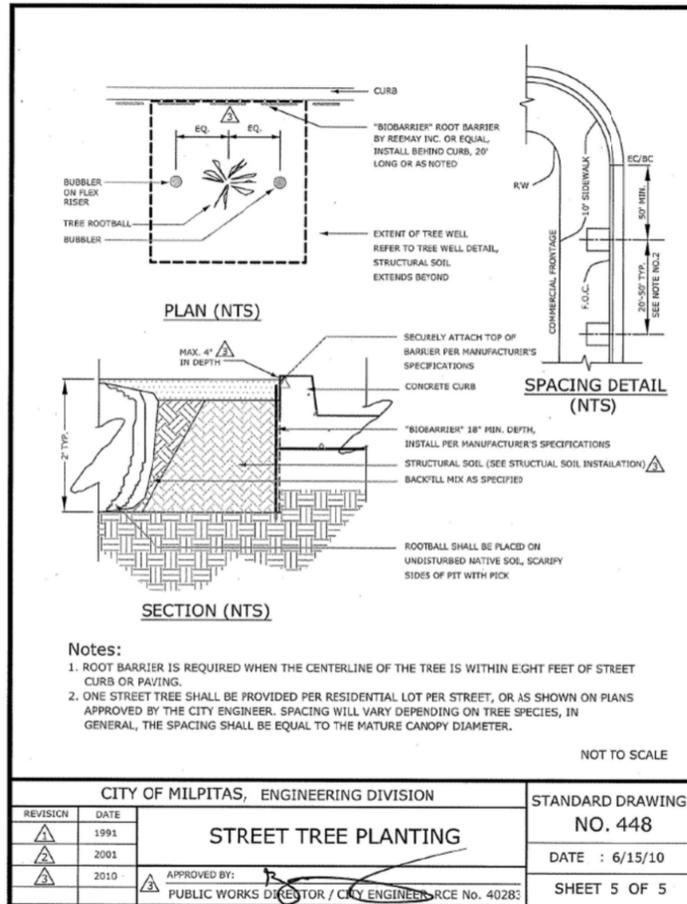
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| | | |
|--|------|------------------|
| CITY OF MILPITAS, ENGINEERING DIVISION | | STANDARD DRAWING |
| REVISION | DATE | NO. 443 |
| ▲ | 1991 | DATE : 6/15/10 |
| ▲ | 2001 | |
| ▲ | 2010 | |
| APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283 | | SHEET 1 OF 5 |



| | | |
|--|------|------------------|
| CITY OF MILPITAS, ENGINEERING DIVISION | | STANDARD DRAWING |
| REVISION | DATE | NO. 448 |
| ▲ | 1991 | DATE : 6/15/10 |
| ▲ | 2001 | |
| ▲ | 2010 | |
| APPROVED BY: PUBLIC WORKS DIRECTOR / CITY ENGINEER RCE No. 40283 | | SHEET 4 OF 5 |



| | | |
|--|------|------------------|
| CITY OF MILPITAS, ENGINEERING DIVISION | | STANDARD DRAWING |
| REVISION | DATE | NO. 448 |
| ▲ | 1991 | DATE : 6/15/10 |
| ▲ | 2001 | |
| ▲ | 2010 | |
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L-10

PROPOSED PLANT PALETTE

| SYMBOL | BOTANICAL NAME | COMMON NAME | MINIMUM CONTAINER SIZE | EXPOSURE | COMMENTS | WUCOLS |
|--|--|-------------------------|------------------------|-----------------|----------|--------|
| STREET TREES: | | | | | | |
| | ACER RUBRUM 'NEW WORLD' | MAPLE | 24" BOX | N/A | STANDARD | M |
| EVERGREEN FLOWERING TREES: | | | | | | |
| | MAGNOLIA GRANDIFLORA 'TEDDY BEAR' | MAGNOLIA | 36" BOX | SUN/SHADE | STANDARD | M |
| | ARBUTUS 'MARINA' | NCN | 24" BOX | N/A | STANDARD | M |
| NARROW EVERGREEN SCREEN TREES: | | | | | | |
| | CUPRESSUS SEMPERVIRENS 'GLAUCO' | ITALIAN CYPRESS | 24" BOX | SUN/SHADE | STANDARD | L |
| | TRISTANIA LAURINA | CANARY ISLAND PINE | 24" BOX | N/A | STANDARD | L |
| | QUERCUS ROBUR 'KINDRED SPIRIT' | ENGLISH OAK | 24" BOX | SUN/SHADE | STANDARD | L |
| | KOELREUTERIA PANICULATA 'FASTIGATA' | GOLDEN RAIN TREE | 24" BOX | N/A | STANDARD | L |
| ACCENT TREES: | | | | | | |
| | CERCIS CANADENSIS | EASTERN REDBUD | 24" BOX | N/A | STANDARD | M |
| | PRUNUS SARGENTII 'COLUMNARIS' | NARROW FLOWERING CHERRY | 36" BOX | SUN/SHADE | STANDARD | M |
| | PYRUS CALLERYANA 'REDSPIRE' | FLOWERING PEAR | 24" BOX | N/A | STANDARD | M |
| | MALUS SPECIES | CRABAPPLE | 24" BOX | N/A | STANDARD | M |
| SMALL FLOWERING ACCENT TREES: | | | | | | |
| | CHIONANTHUS RETUSUS | NCN | 24" BOX | SUN/SHADE | STANDARD | L |
| | LAVANDULA SPECIES | LAVENDER CRAPE MYRTLE | 24" BOX | SUN | STANDARD | L |
| NARROW ALLEY TREES: | | | | | | |
| | PODOCARPUS 'MAKI' | COLUMN FERN PINE | 24" BOX | SUN/SHADE | STANDARD | M |
| | RHAPHIOLEPIS 'MAJESTIC BEAUTY' | NCN | 24" BOX | SUN | STANDARD | L |
| FOUNDATION SHRUBS: | | | | | | |
| | ARBUTUS UNEDO 'COMPAKTA' | STRAWBERRY TREE | 5 GALLON | SUN | | L |
| | COLEONEMA PULCHRUM | PINK BREATH OF HEAVEN | 5 GALLON | SUN | | L |
| | CORREA SPECIES | AUSTRALIAN FUCHSIA | 5 GALLON | SUN/ PART SHADE | | L |
| | LOROPETALUM CHINESE | NCN | 5 GALLON | PART SHADE | | M |
| | RHAPHIOLEPIS INDICA 'SPRING RAPTURE' | INDIAN HAWTHORN | 5 GALLON | SUN/ PART SHADE | | L |
| | ROSMARINUS 'BLUE SPIRES' | UPRIGHT ROSEMARY | 5 GALLON | SUN/ PART SHADE | | L |
| | OSMANTHUS FRAGRANS | NCN | 5 GALLON | SUN/ PART SHADE | | L |
| INTERMEDIATE SHRUBS: | | | | | | |
| | CORREA SPECIES | AUSTRALIAN FUCHSIA | 5 GALLON | SHADE/SUN | | L |
| | DIETES VEGETA | FORTNIGHT LILY | 5 GALLON | SHADE/SUN | | L |
| | LIRIOPE GIGANTEA | LIRIOPE | 5 GALLON | SHADE/SUN | | L |
| | NANDINA DOMESTICA | HEAVENLY BAMBOO | 5 GALLON | SHADE/SUN | | M |
| | PHORMIUM SPECIES | NEW ZEALAND FLAX | 5 GALLON | SUN | | L |
| | PITTOSPORUM TOBIRA 'WHEELER'S DWARF' | PITTOSPORUM | 5 GALLON | SUN/SHADE | | L |
| | ROSA SPECIES | SHRUB ROSE | 5 GALLON | SUN | | M |
| | LAVANDULA SPECIES | LAVENDER | 5 GALLON | SUN | | L |
| FOREGROUND SHRUBS: | | | | | | |
| | AGAPANTHUS ORIENTALIS 'STORM CLOUD' | LILY OF THE NILE | 1 GALLON | SHADE/SUN | | M |
| | ALOE SPECIES | ALOE | 1 GALLON | SUN | | L |
| | HEMEROCALLIS HYBRIDS 'ORANGE/YELLOW MIX 50/50' | EVERGREEN DAYLILY | 1 GALLON | SUN | | M |
| | KNIPHOFIA | RED-HOT POKER | 1 GALLON | SUN | | L |
| | LAVANDULA 'MUNSTEAD' | ENGLISH LAVENDER | 1 GALLON | SUN | | M |
| | LIRIOPE MUSCARI 'BIG BLUE' | BIG BLUE LILY | 1 GALLON | SHADE | | L |
| | PHORMIUM SPECIES (DWARF) | NEW ZEALAND FLAX | 1 GALLON | SUN | | L |
| | SEDUM SPECIES | NCN | 1 GALLON | SUN | | L |
| | SENECIO SPECIES | NCN | 1 GALLON | SUN | | L |
| | PITTOSPORUM SPECIES | TOBIRA | 5 GALLON | SUN | | L |
| GROUNDCOVERS: | | | | | | |
| | CORREA REFLEXA 'CAPE CARPET' | AUSTRALIAN FUCHSIA | 1 GALLON | SUN/SHADE | | L |
| | GREVILLEA LANIGERA 'COASTAL GEM' | NCN | 1 GALLON | SUN/SHADE | | L |
| | LANTANA 'GOLD RUSH' | YELLOW LANTANA | 1 GALLON | SUN | | L |
| | LANTANA MONTEVIDENSIS 'PURPLE' | PURPLE LANTANA | 1 GALLON | SUN | | L |
| | ROSA 'PEACH DRIFT' | PEACH DRIFT | 2 GALLON | SUN | | M |
| | ROSA 'PINK DRIFT' | PINK GROUNDCOVER ROSE | 2 GALLON | SUN | | L |
| | ZAUSCHNERIA SPECIES | CALIFORNIA FUCHSIA | 1 GALLON | SUN | | L |
| GRASSES: | | | | | | |
| | CALOMOGROTIS FOLIOSA | REED GRASS | 1 GALLON | SUN | | L |
| | FESTUCA MAIREI | ATLAS FESCUE | 1 GALLON | SUN | | L |
| | MUHLENBERGIA RIGENS | DEER GRASS | 1 GALLON | SUN | | L |
| | PENNISETUM 'LITTLE BUNNY' | DWARF FOUNTAIN GRASS | 1 GALLON | SUN | | L |
| VINES: | | | | | | |
| | FIGUS PUMILA | CREEPING FIG | 5 GALLON | SUN/SHADE | | M |
| | PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY | 5 GALLON | SUN/SHADE | | M |
| | JASMINUM SPECIES | JASMINE | 5 GALLON | SUN/SHADE | | M |
| STORM WATER TREATMENT SHRUBS AND GRASSES: | | | | | | |
| | | | 1 GALLON | MIX EVENLY | | |
| SPECIES/Common Name | | | | | | |
| | ARISTIDA PURPUREA - PURPLE THREE-AWN | | | | | |
| | BOUTELOUA GRACIS - BLUE GRAMA | | | | | |
| | CAREX TEMULICOLA - BERKELEY SEDGE | | | | | |
| | CHONDROPETALUM TECTORUM - CAPE RUSH | | | | | |
| | CALAMAGROSTIS SPECIES - REED GRASS | | | | | |
| | FESTUCA CALIFORNICA - CALIFORNIA FESCUE | | | | | |
| | JUNCUS SPECIES - REED | | | | | |
| | LEYMUS CONDENSATUS - GIANT WILD RYE | | | | | |
| | MELICA CALIFORNICA - CALIFORNIA MELIC | | | | | |
| | MIMULUS SPECIES - MONKEY FLOWER | | | | | |
| | ZAUSCHNERIA SPECIES - CALIFORNIA FUCHSIA | | | | | |
| TREES, SHRUBS AND GROUNDCOVER - 4TH FLOOR TOWER | | | | | | |
| | ASPARAGUS DENSIFLORUS 'MYERS' | ASPARAGUS FERN | 1 GALLON | SUN/SHADE | | M |
| | BAMBUSA SPECIES | BAMBOO | 5 GALLON | SUN/SHADE | | M |
| | CLIVIA MINIATA | KAFFIR LILY | 1 GALLON | SUN/SHADE | | M |
| | LIRIOPE SPECIES | LIRIOPE | 1 GALLON | SUN/SHADE | | M |
| | EQUISETIUM HYAMALE | HORSETAIL | 1 GALLON | SUN/SHADE | | M |
| | PODOCARPUS SPECIES | FERN PINE | 15 GALLON | SUN/SHADE | | M |

MINIMUM TREE CLEARANCE NOTE:
 1. SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
 2. MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
 3. LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
 4. 5' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.
 5. 8' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.

WATER CONSERVATION CONCEPT STATEMENT:
 THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT WATER EFFICIENCY STANDARDS AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AS REQUIRED BY LOCAL JURISDICTIONS WHILE ACHIEVING THE FOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURN AND GROUND COVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER WHERE AVAILABLE EITHER CURRENTLY OR IN THE FUTURE AS DIRECTED BY THE LOCAL WATER PURVEYOR. RECYCLED WATER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL AND STATE CODES.

IRRIGATION SYSTEMS FOR LANDSCAPES GREATER THAN 5,000 S.F. SHALL HAVE A DEDICATED WATER METER FOR IRRIGATION.
 A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES.

A STATE OF THE ART ET BASED SELF ADJUSTING IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO AUTOMATICALLY CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE). THIS SHALL INCLUDE RAIN AND FLOW SENSORS AS APPLICABLE FOR A HIGHER LEVEL OF WATER CONSERVATION.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

SPRAY IRRIGATION SYSTEMS FOR GROUND COVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND PRESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT A MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

THE DRIP SYSTEM SHALL INCORPORATE PRESSURE COMPENSATING DRIP BUBBLERS WITH 1/4" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

WATER USE RATING LEGEND:
 EBMUD CATEGORIES OF WATER NEEDS FROM:
 PLANTS & LANDSCAPES FOR SUMMER DRY CLIMATES OF THE SAN FRANCISCO BAY REGION BY THE EAST BAY MUNICIPAL UTILITY DISTRICT, 2004

MOD MODERATE WATER
 OCC OCCASIONAL WATER
 INF INFREQUENT WATER
 NONE NO ADDITIONAL WATER

WUCOLS III CATEGORIES OF WATER NEEDS FROM:
 UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF WATER RESOURCES, UNITED STATES BUREAU OF RECLAMATION

H HIGH
 M MODERATE
 L LOW
 VL VERY LOW

CALIFORNIA NATIVE PLANTS (CNP) FOR THE GARDEN BY CAROL BORNSTEIN, DAVID FROSS, BART O'BRIEN

MOD MODERATE WATER
 OCC OCCASIONAL WATER
 INF INFREQUENT WATER

| ON-SITE | TOTAL PLANTS | SUBTOTAL PLANTS WITH OCC/INF/NONE/LOW/VERY LOW WATER REQUIREMENTS |
|---|--------------|---|
| | | |
| PERCENTAGE OF PLANTS MEETING LOW WATER REQUIREMENTS: 94.7% MORE THAN 75% REQUIRED | | |

MATERIALS LEGEND

| SYMBOL | DESCRIPTION |
|--------------------------------------|--|
| CONCRETE PAVING: | |
| | NATURAL GREY CONCRETE PAVING WITH VARYING SCORE LINES PER PLAN |
| CONCRETE PAVERS: | |
| | CONCRETE PAVERS - REFER TO IMAGE SHEET L-4 |
| CONCRETE MOWBAND: | |
| | 4" WIDE CONCRETE MOWBAND |
| PRECAST PAVERS: | |
| | 16"x16" PRECAST CONCRETE STEPPING PAVERS |
| BENCH: | |
| | TOWN SQUARE 70" IN BLACK PERFORATED METAL FROM LANDSCAPE FORMS (WWW.LANDSCAPEFORMS.COM) - REFER TO IMAGE SHEET L-3 |
| WASTE RECEPTACLE: | |
| | WASHINGTON SQUARE (TOP OPENING) IN STORMCLOUD PERFORATED METAL IN BRONZE FROM LANDSCAPE FORMS (WWW.LANDSCAPEFORMS.COM) - REFER TO IMAGE SHEET L-3 |
| MAILBOX STATIONS: | |
| | ONE TYPE II REGENCY DECORATIVE CBU WITH "A" SIZE DOORS (MODEL #3312R) AND ONE TYPE III REGENCY DECORATIVE CBU WITH "A" SIZE DOORS (MODEL #3316R). CBU TOPS #3350 WITH FLAT FINIALS AND REGENCY PEDESTALS (TALL OPTION) IN BRONZE FROM MAILBOXES.COM (WWW.MAILBOXES.COM) - REFER TO IMAGE SHEET L-3 |
| STREET LIGHT: | |
| | CALISTO SERIES IN BRONZE FROM LUMEC (WWW.LUMEC.COM) - REFER TO SITE AMENITIES SHEET L-3 |
| ILLUMINATED BOLLARD: | |
| | CALISTO SERIES CALB1 IN BRONZE FROM LUMEC (WWW.LUMEC.COM) - REFER TO IMAGE SHEET L-3 |
| AIR CONDENSER LATTICE SCREEN: | |
| | PAINTED TO MATCH ARCHITECTURE - REFER TO IMAGE SHEET L-4 |
| LARGE URN: | |
| | REFER TO IMAGE SHEET L-5 |



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 San Jose, Ca 95112
 tel: (408) 287-0246
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 LANDSCAPE ARCHITECTURE
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PIPER DRIVE
 RESIDENTIAL
 1256 PIPER DRIVE, MILPITAS, CA 95035
 Proposed Plant Palette
 and Materials Legend



Date: October 21 2015
 Scale: AS SHOWN
 Drawn by: LT
 Job #: 300-99
 Sheet



Concept



Concept



Concept

Architectural Art



Concept



Concept



Concept



Concept

Decorative Art



Concept



Concept



Concept



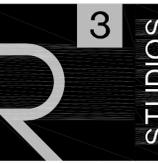
Concept

Functional Art



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Public Art Opportunities



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Sheet

L-12



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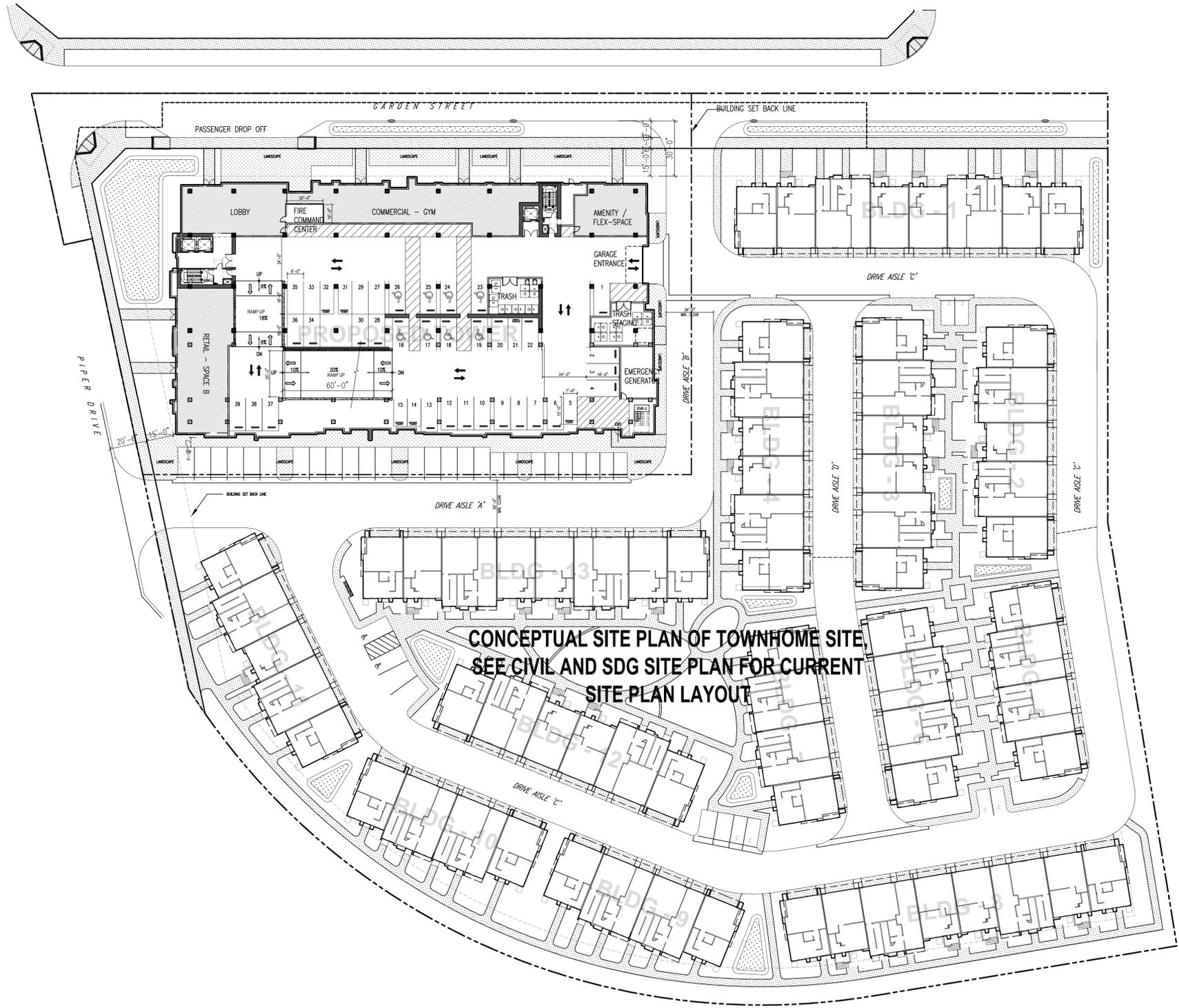
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SITE PLAN - OVERALL



**CONCEPTUAL SITE PLAN OF TOWNHOME SITE
SEE CIVIL AND SDG SITE PLAN FOR CURRENT
SITE PLAN LAYOUT**

1 SITE PLAN
OVERALL

SCALE : 1/32" = 1'-0"

Date: DECEMBER 23, 2014

Scale: 1/32" = 1'-0"

Drawn by: DM

Job #: 14-9180

A1.1 OVER-ALL SITE PLANNING

Sheet

A1.1



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SITE PLAN - TOWER

Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

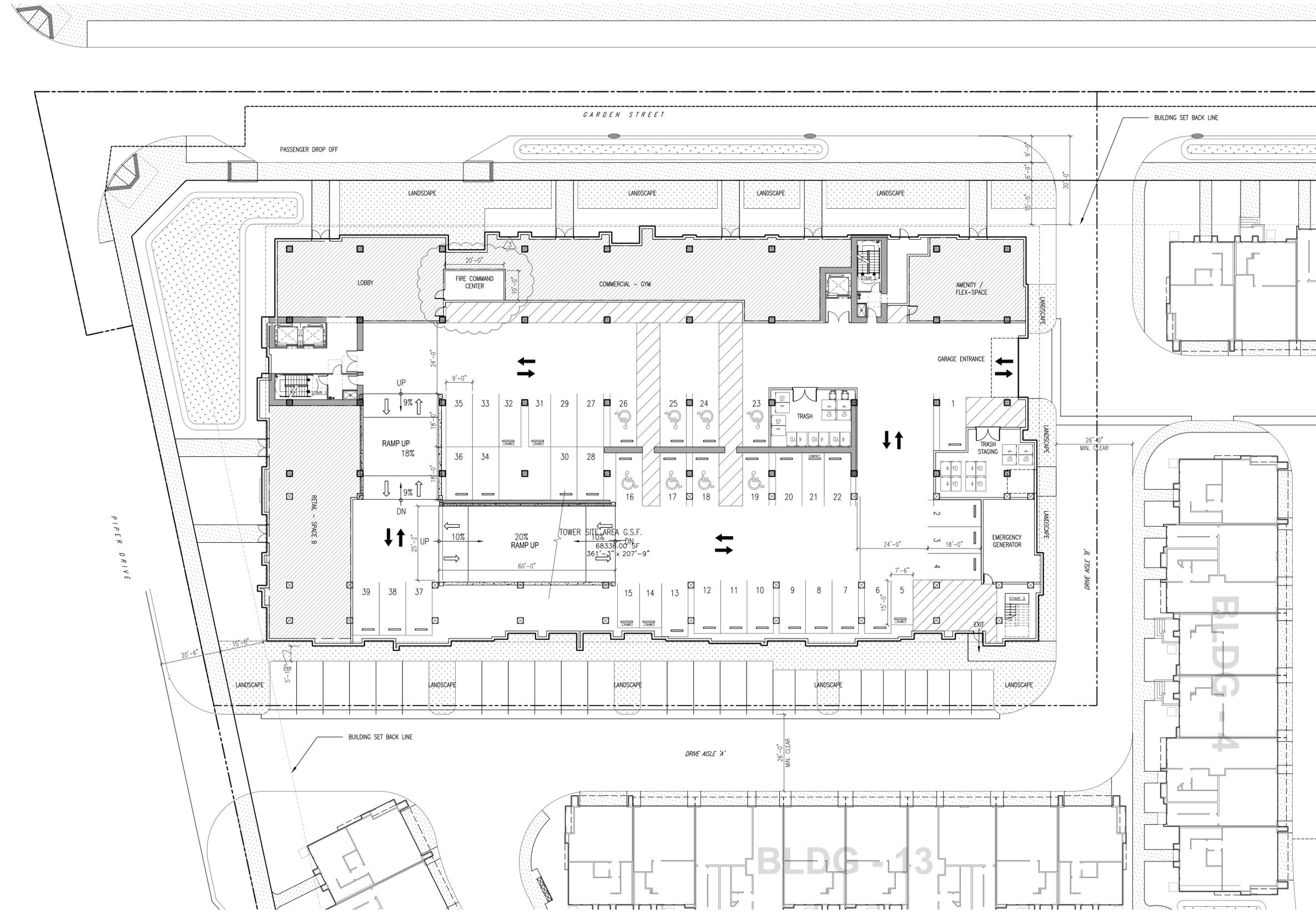
Drawn by: DM

Job #: 14-9180

A1.2 SITE PLAN - TOWER/ING

Sheet

A1.2-t



1 SITE PLAN
ENLARGED AREA @ TOWER

SCALE : 1/16"=1'-0"





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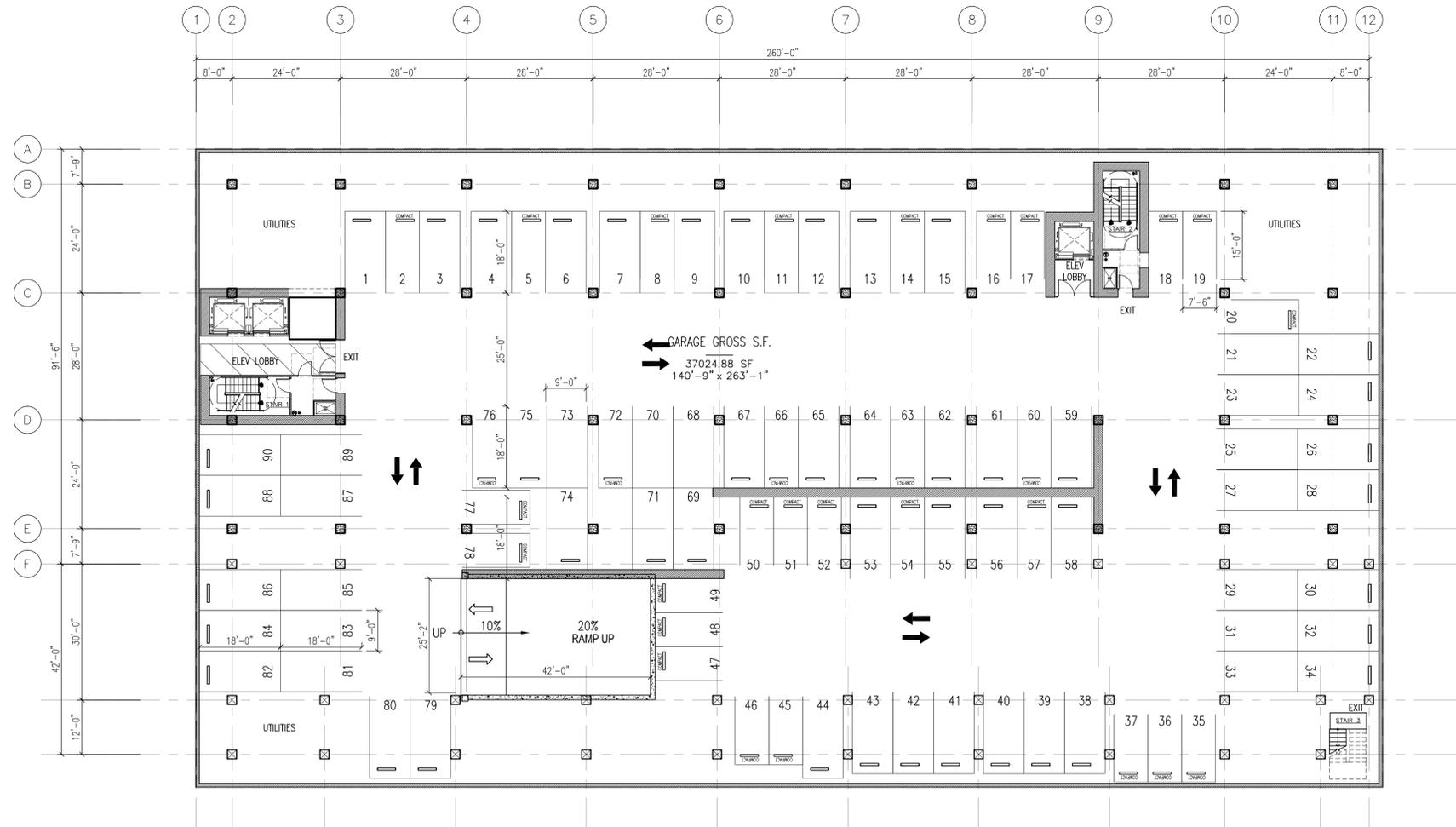
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GARAGE - BASEMENT LEVEL



1 GARAGE
BASEMENT LEVEL

SCALE : 1/16" = 1'-0"



Date: DECEMBER 23, 2014
Scale: 1/16" = 1'-0"
Drawn by: DM
Job #: 14-9180
A2.0-t GARAGE-BASEMENT LEVEL.DWG
Sheet

A2.0-t



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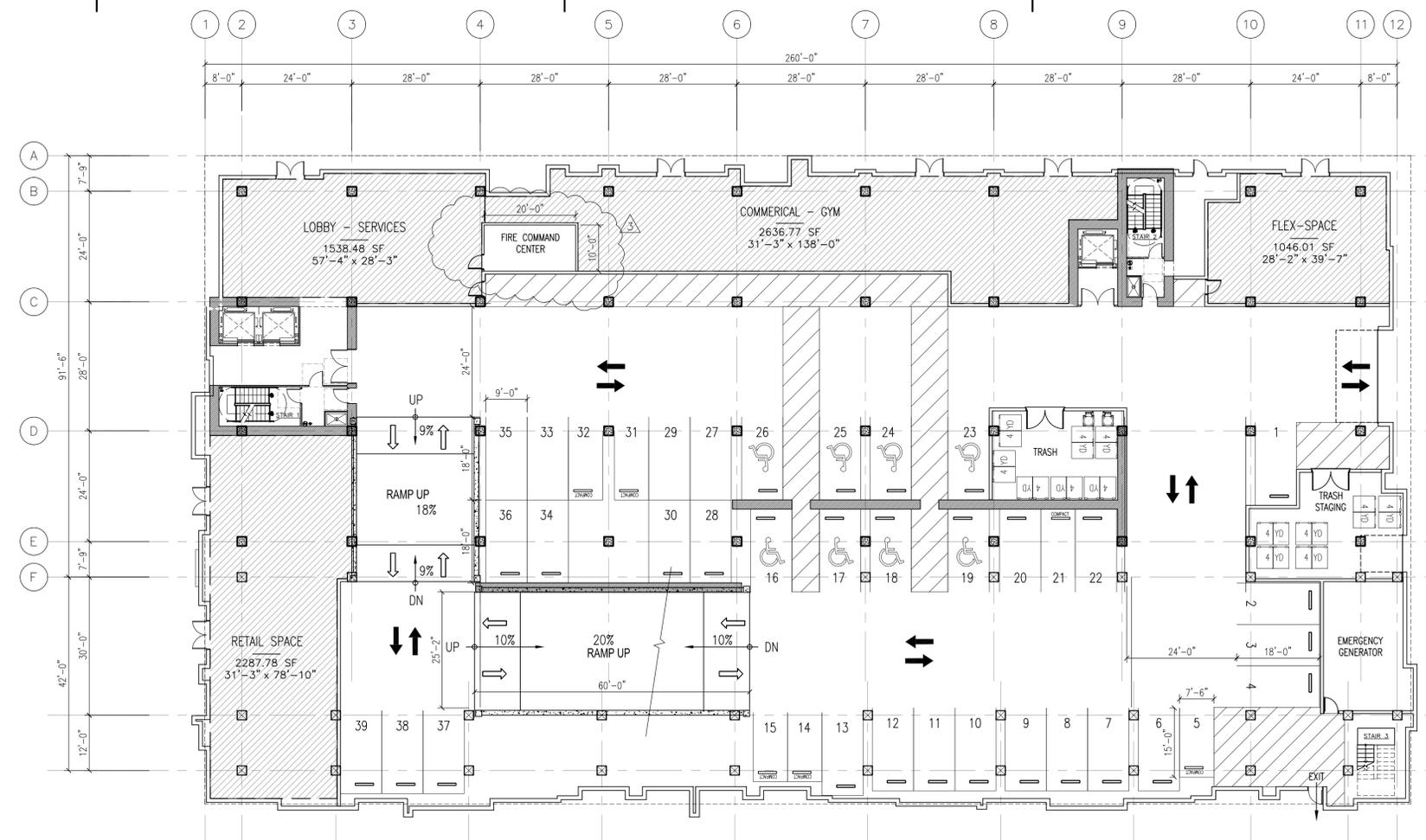
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 1ST & 2ND FLOOR PLANS

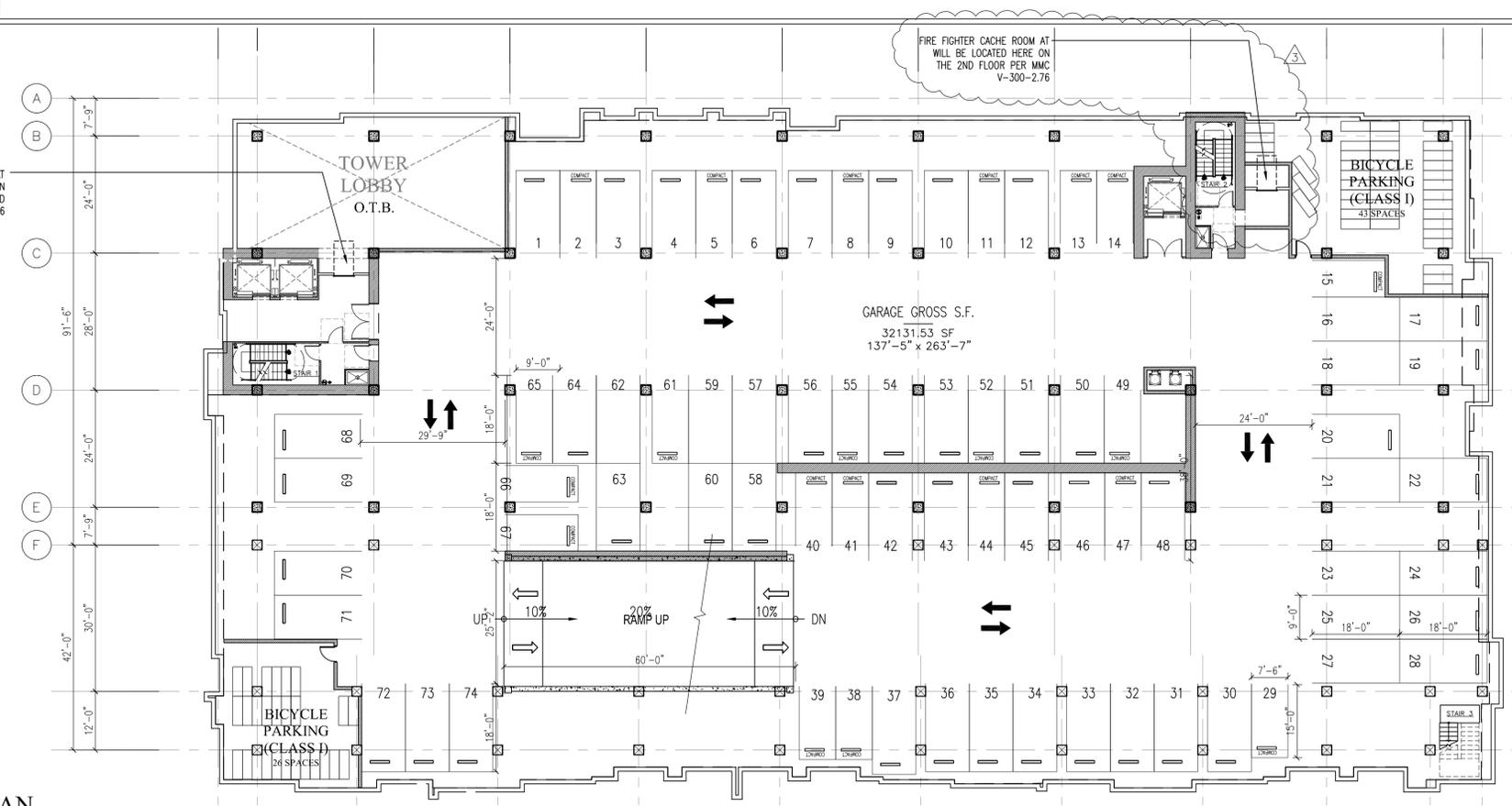
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 Scale: 1/16" = 1'-0"
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 Job #: 14-9180
 A2.1-1ST & 2ND FLOOR PLANS.DWG
 Sheet

A2.1-t

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1 FIRST FLOOR PLAN



2 SECOND FLOOR PLAN



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3RD & 4TH FLOOR PLANS

Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

Drawn by: DM

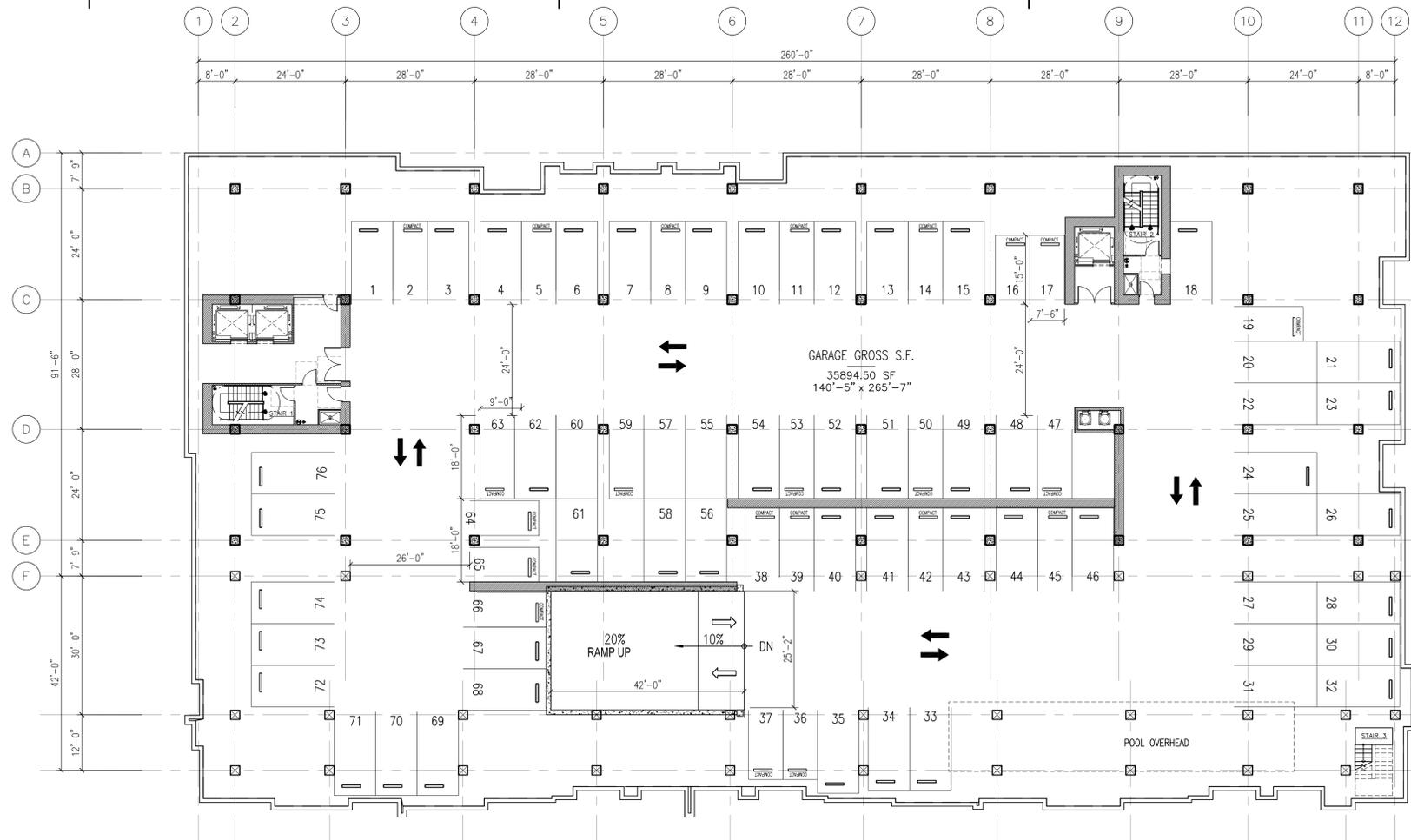
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A22_3RD & 4TH FLOOR PLANS.DWG

Sheet

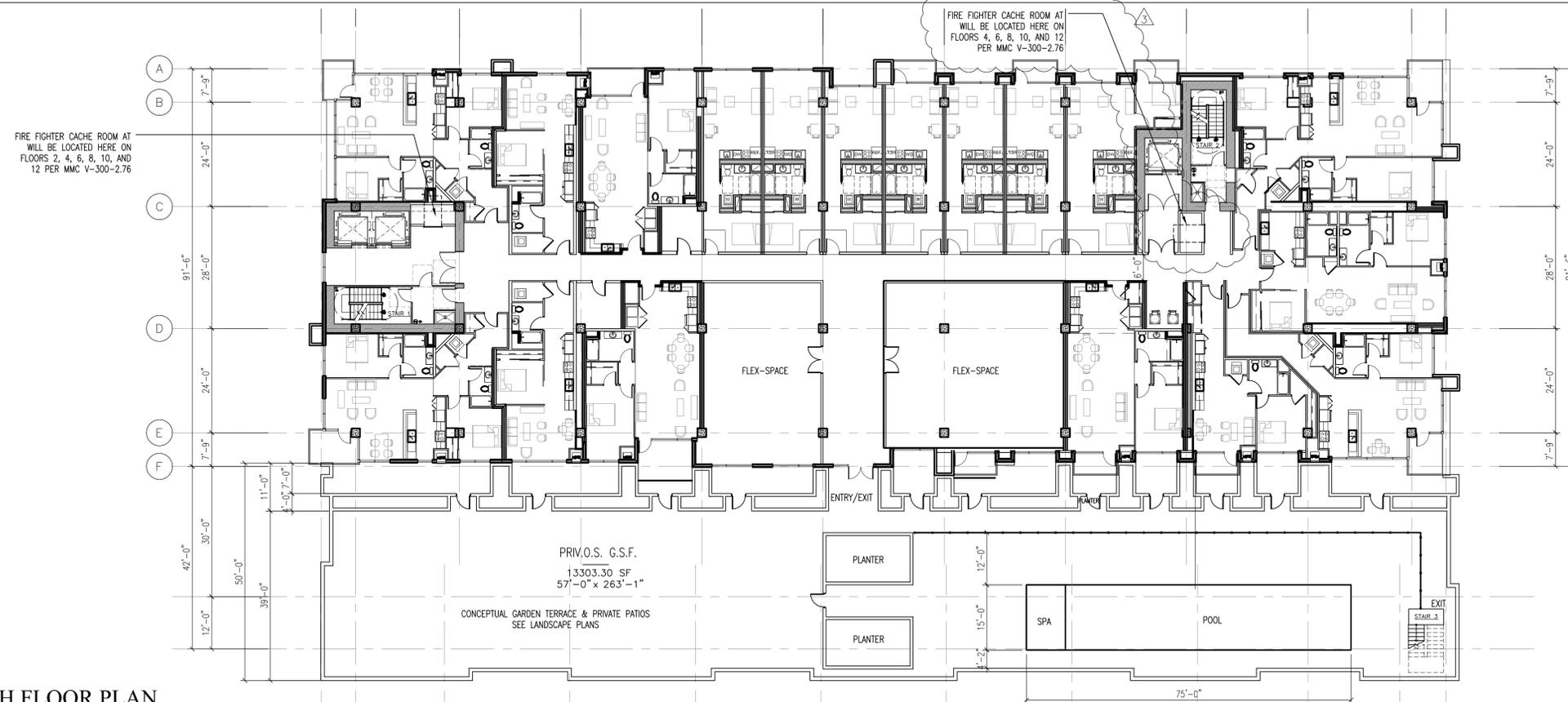
A2.2-t

RESUBMITTAL: JANUARY 20, 2016



1 THIRD FLOOR PLAN

SCALE : 1/16"=1'-0"



2 FOURTH FLOOR PLAN
PODIUM LEVEL

SCALE : 1/16"=1'-0"

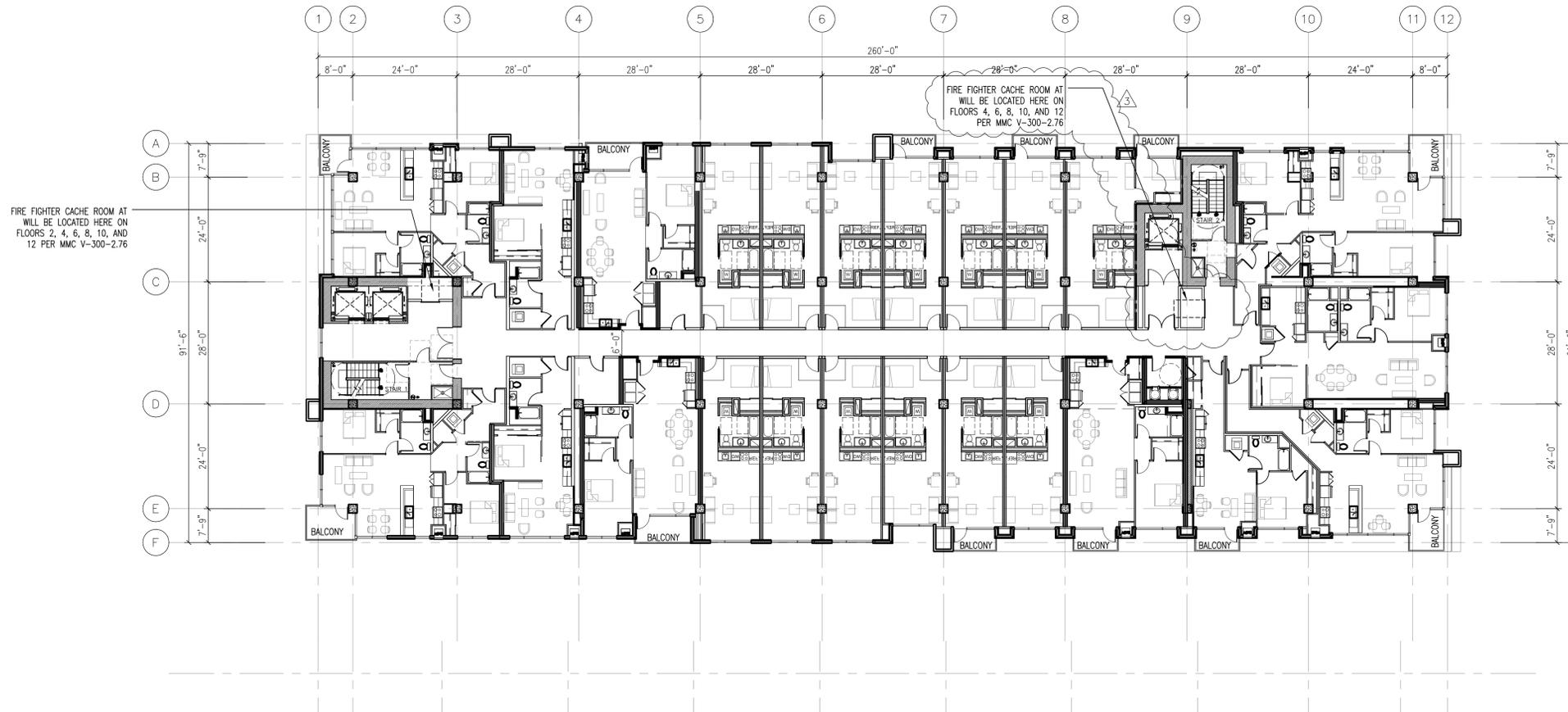




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TYPICAL FLOOR PLAN @ TOWER

1 TYPICAL FLOOR PLAN @ TOWER

SCALE : 1/16" = 1'-0"



Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

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Job #: 14-9180

A2.3-T TYPICAL FLOOR PLAN @ TOWER.DWG

Sheet

A2.3-t



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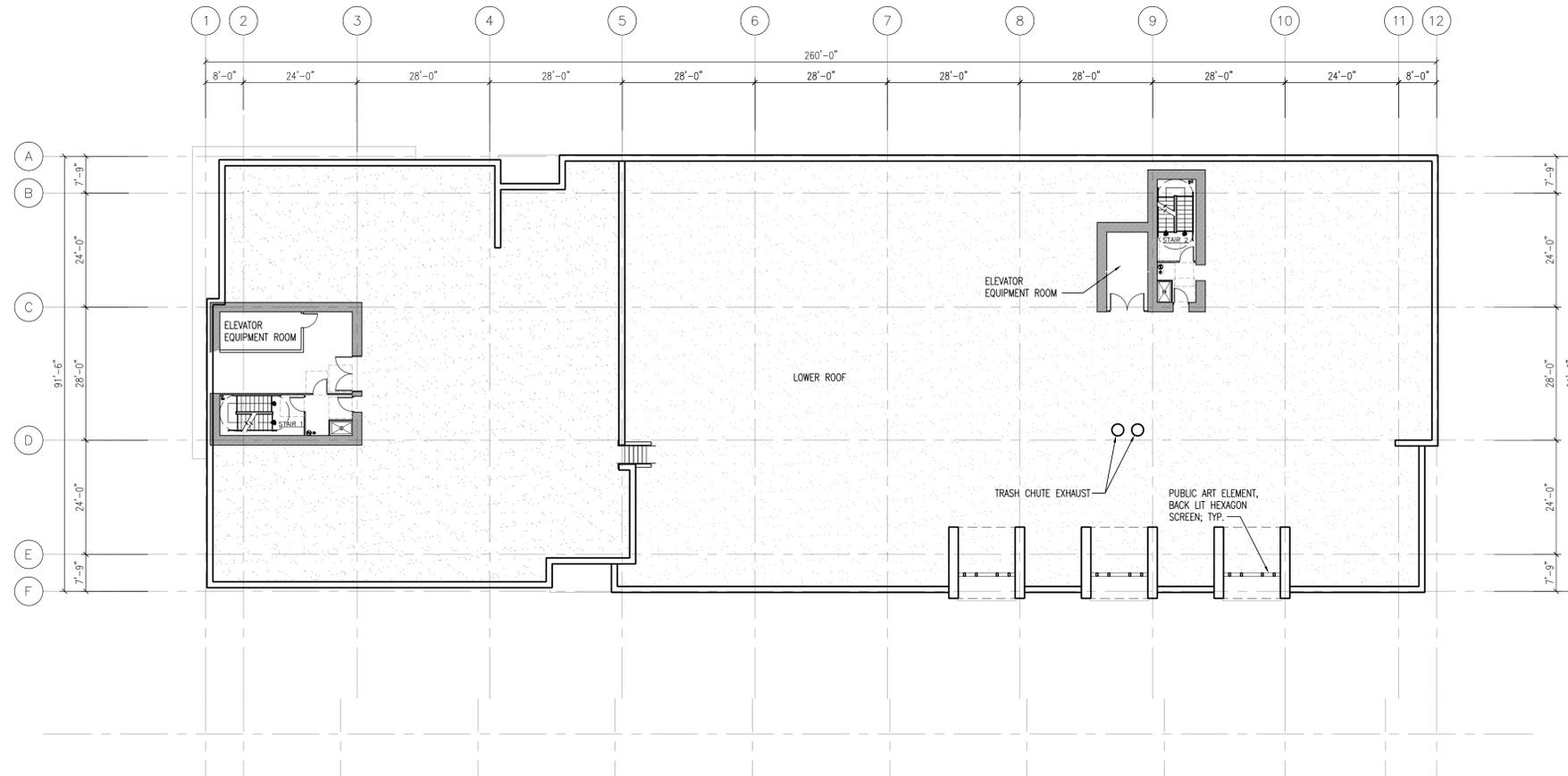
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ROOF PLAN @ TOWER



1 ROOF PLAN @ TOWER

SCALE : 1/16" = 1'-0"



Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

Drawn by: DM

Job #: 14-9180

A2.6-T ROOF PLAN @ TOWER.DWG

Sheet

A2.6-t



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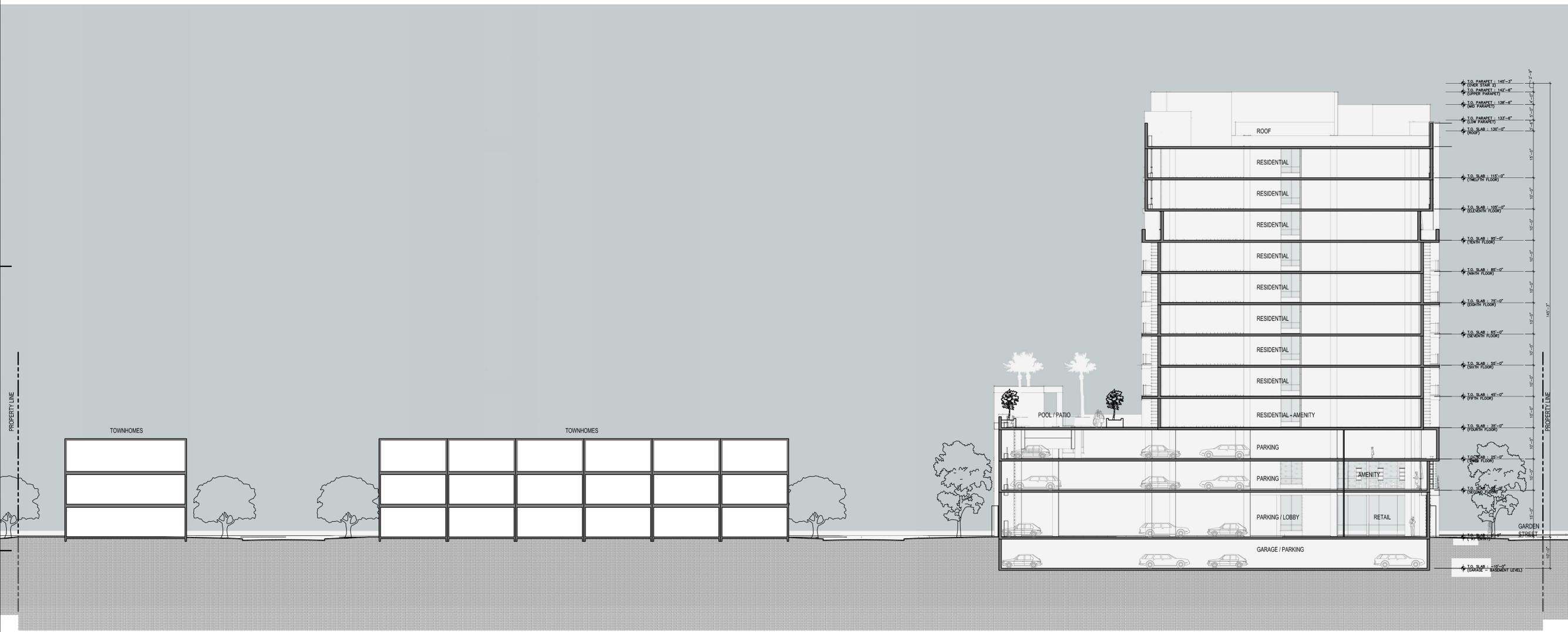
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CONCEPTUAL SITE SECTION



1 CONCEPTUAL SITE SECTION

SCALE : 1/16" = 1'-0"

Date: DECEMBER 23, 2014
 Scale: 1/16" = 1'-0"
 Drawn by: DM
 Job #: 14-9180
 A3.1 SITE SECTIONING
 Sheet

A3.1-t



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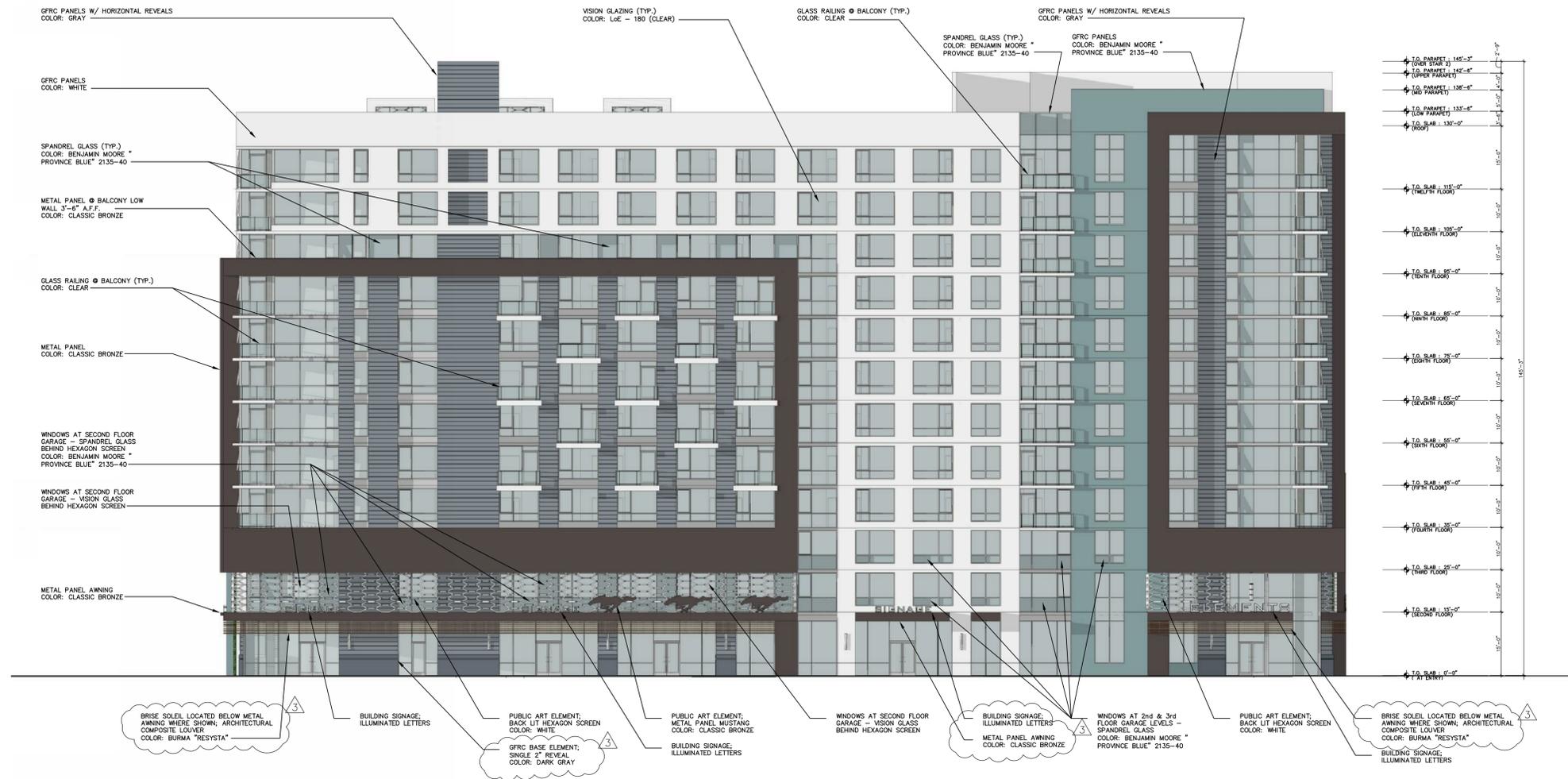
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CONCEPTUAL ELEVATION -
NORTH



1 CONCEPTUAL ELEVATION - NORTH

SCALE : 1/16"=1'-0"

Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

Drawn by: DM

Job #: 14-9180

M1-T CONCEPTUAL ELEVATION - NORTH.DWG

Sheet

A4.1-t



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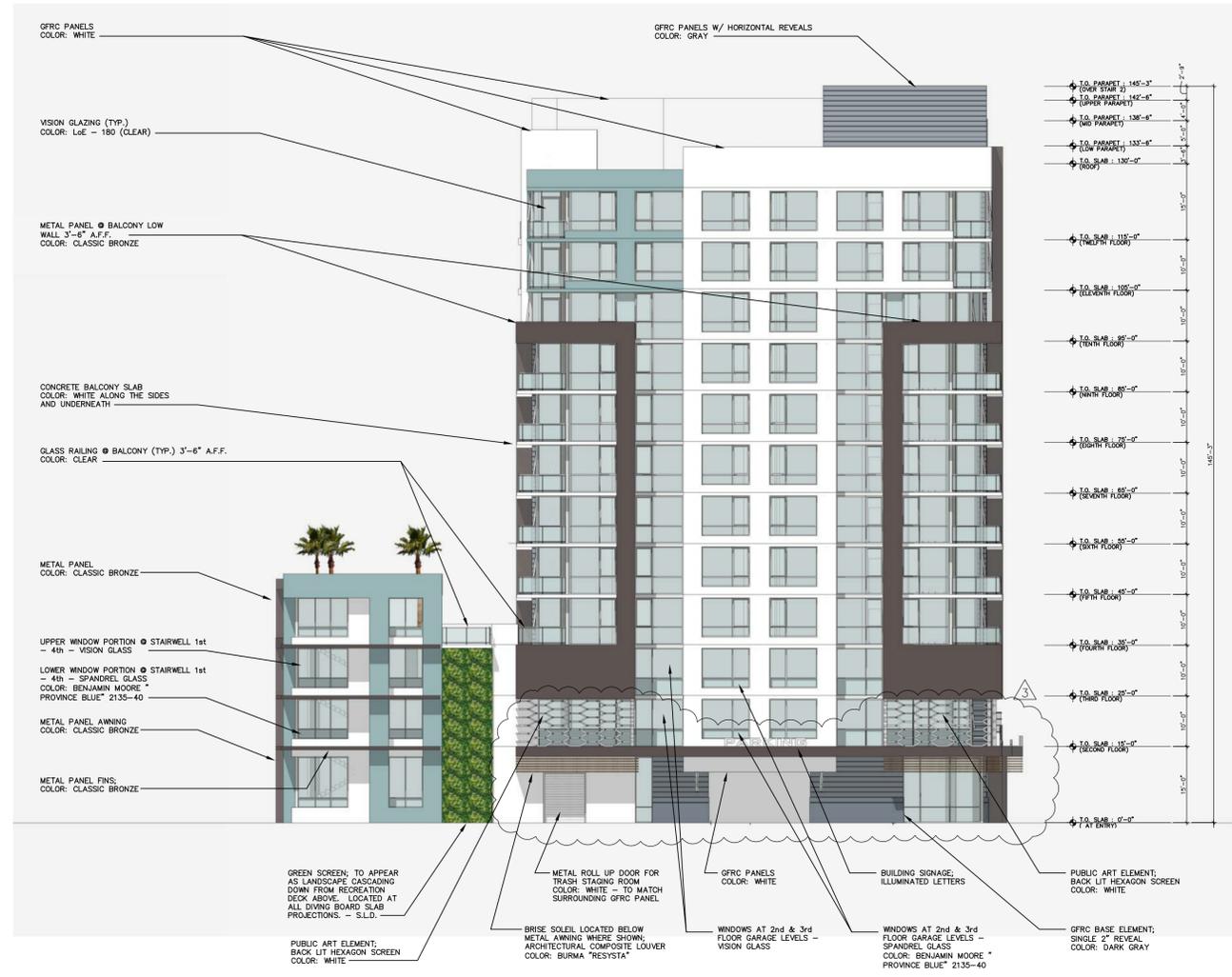
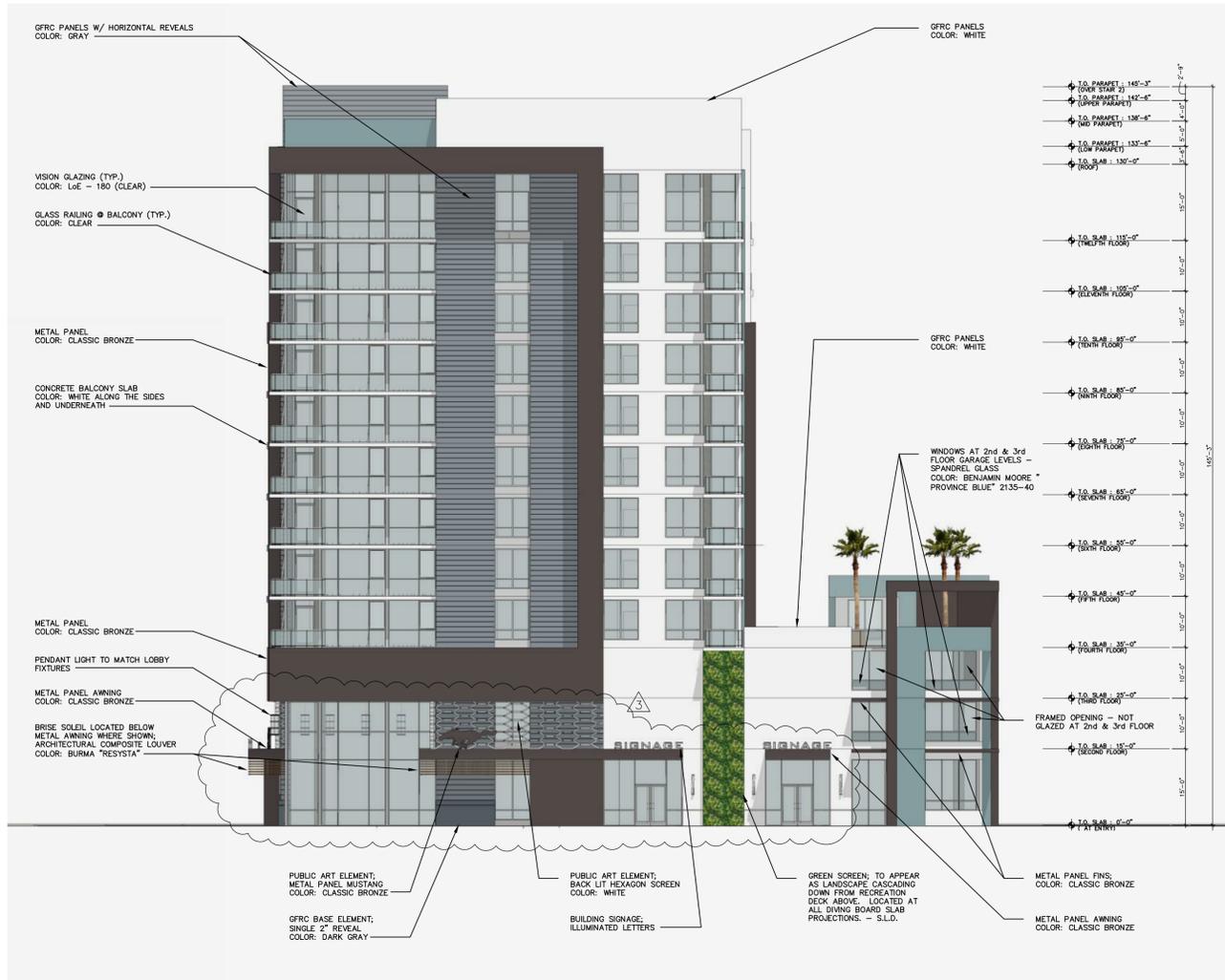
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CONCEPTUAL ELEVATION -
WEST & EAST



1 CONCEPTUAL ELEVATION - WEST

SCALE : 1/16"=1'-0"

2 CONCEPTUAL ELEVATION - EAST

SCALE : 1/16"=1'-0"

Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

Drawn by: DM

Job #: 14-9180

A4.2-T CONCEPTUAL ELEVATION - WEST & EASTING

Sheet

A4.2-t

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CONCEPTUAL ELEVATION -
SOUTH



1 CONCEPTUAL ELEVATION - SOUTH

SCALE : 1/16"=1'-0"

Date: DECEMBER 23, 2014
Scale: 1/16" = 1'-0"
Drawn by: DM
Job #: 14-9180
M3-T CONCEPTUAL ELEVATION - SOUTH/ING
Sheet

A4.3-t

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1 CONCEPTUAL PERSPECTIVE - NORTHWEST
VIEW FROM THE CORNER OF PIPER DRIVE AND GARDEN STREET SCALE : 1/16"=1'-0"



2 CONCEPTUAL PERSPECTIVE - NORTHEAST
VIEW FROM THE PIPER DRIVE SCALE : 1/16"=1'-0"



3 CONCEPTUAL PERSPECTIVE - NORTHEAST
VIEW FROM THE NEW PARK ALONG PIPER DRIVE SCALE : 1/16"=1'-0"



4 CONCEPTUAL PERSPECTIVE - NORTHEAST
PARKING GARAGE ENTRANCE SCALE : 1/16"=1'-0"



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CONCEPTUAL PERSPECTIVE -
NORTHWEST & NORTHEAST

Date: DECEMBER 23, 2014
Scale: 1/16" = 1'-0"
Drawn by: DM
Job #: 14-9180
A4.4-t CONCEPTUAL PERSPECTIVE VIEWING
Sheet

A4.4-t



1 CONCEPTUAL PERSPECTIVE - SOUTHEAST
VIEW OF STAIRS FROM PODIUM TO GROUND FLOOR

SCALE : 1/16"=1'-0"



2 CONCEPTUAL PERSPECTIVE - SOUTHEAST
VIEW OF PARKING GARAGE AND LANDSCAPED RECREATION DECK

SCALE : 1/16"=1'-0"



3 CONCEPTUAL PERSPECTIVE - SOUTHWEST
VIEW OF RETAIL AND PARKING GARAGE FROM PIPER DRIVE

SCALE : 1/16"=1'-0"



4 CONCEPTUAL PERSPECTIVE - WEST
VIEW OF TOWER LOBBY AND RETAIL ALONG PIPER DRIVE

SCALE : 1/16"=1'-0"



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CONCEPTUAL PERSPECTIVE -
SOUTHEAST & NORTHWEST

Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

Drawn by: DM

Job #: 14-9180

M5-T CONCEPTUAL PERSPECTIVE VIEWING

Sheet

A4.5-t



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CONCEPTUAL PERSPECTIVE -
OVERALL VIEWS

Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

Drawn by: DM

Job #: 14-9180

A4.6 OVERALL PERSPECTIVE VIEWING

Sheet

A4.6

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1 CONCEPTUAL OVERALL PERSPECTIVE - SOUTH
VIEW FROM THE CORNER OF PIPER DRIVE AND MONTAGUE EXPRESSWAY

SCALE : N.T.S.



2 CONCEPTUAL OVERALL PERSPECTIVE - NORTHWEST
VIEW FROM THE CORNER OF PIPER DRIVE AND GARDEN STREET

SCALE : N.T.S.



3 CONCEPTUAL OVERALL PERSPECTIVE - NORTHEAST
VIEW FROM THE PARK ALONG GARDEN STREET

SCALE : N.T.S.



1 CONCEPTUAL OVERALL PERSPECTIVE - SOUTHEAST
VIEW FROM THE CORNER OF PRIVATE ROAD WITHIN THE TOWNHOMES SCALE : N.T.S.



2 CONCEPTUAL OVERALL PERSPECTIVE - SOUTH
VIEW FROM LANDSCAPE COURTYARD BETWEEN TOWNHOMES SCALE : N.T.S.



3 CONCEPTUAL OVERALL PERSPECTIVE - SOUTHEAST
VIEW FROM A TOWNHOME THIRD FLOOR BALCONY SCALE : N.T.S.



4 CONCEPTUAL OVERALL PERSPECTIVE - SOUTH
VIEW FROM A TOWNHOME THIRD FLOOR BALCONY SCALE : N.T.S.



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CONCEPTUAL PERSPECTIVE -
OVERALL VIEWS

Date: DECEMBER 23, 2014

Scale: 1/16" = 1'-0"

Drawn by: DM

Job #: 14-9180

A4.7 OVERALL PERSPECTIVE VIEWING

Sheet

A4.7



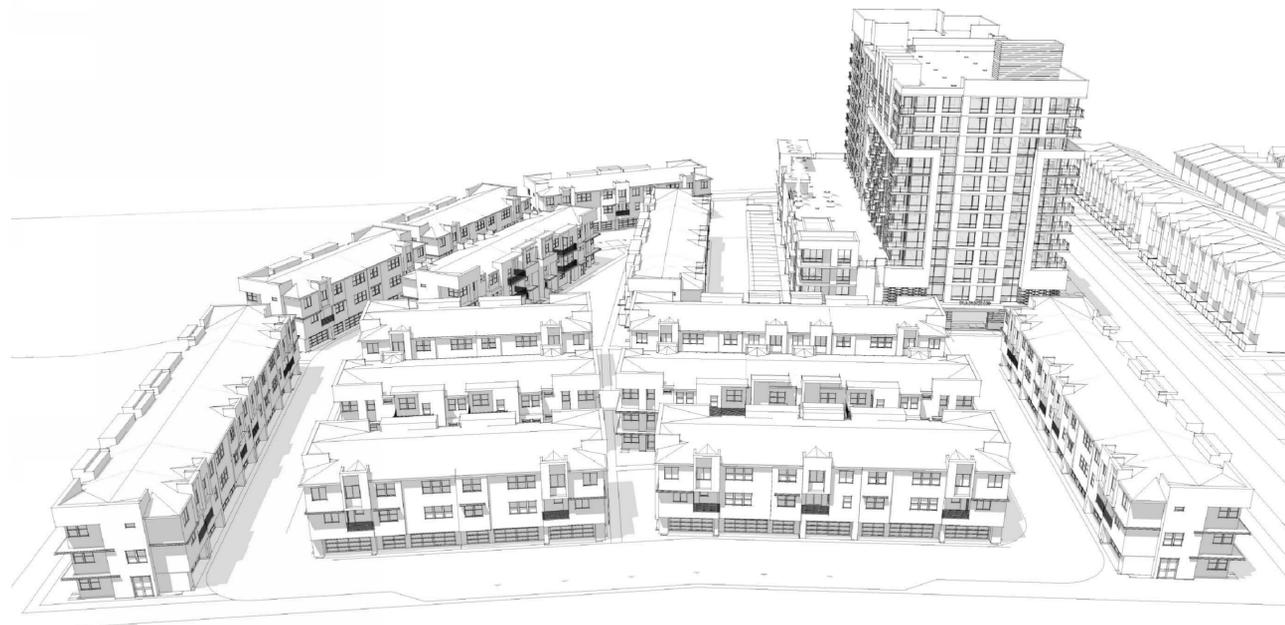
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2 CONCEPTUAL OVERALL PERSPECTIVE - WESTERN AERIAL SCALE : N.T.S.



3 CONCEPTUAL OVERALL PERSPECTIVE - SOUTHERN AERIAL SCALE : N.T.S.



4 CONCEPTUAL OVERALL PERSPECTIVE - EASTERN AERIAL SCALE : N.T.S.



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CONCEPTUAL PERSPECTIVE -
OVERALL AERIAL VIEWS

Date: DECEMBER 23, 2014

Scale: N.T.S.

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Job #: 14-9180

A4.8 OVERALL PERSPECTIVE VIEWING

Sheet

A4.8



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RENDERING - CORNER OF
GARDEN ST. & PIPER DR.

Date: DECEMBER 23, 2014

Scale: N.T.S.

Drawn by: DM

Job #: 14-9180

A4.10 RENDERING.DWG

Sheet

A4.10



1 RENDERING - CORNER OF GARDEN STREET & PIPER DRIVE

SCALE : N.T.S.



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RENDERING - TOWNHOMES

Date: DECEMBER 23, 2014

Scale: N.T.S.

Drawn by: DM

Job #: 14-9180

A4.11 RENDERING.DWG

Sheet

A4.11



1 RENDERING - TOWNHOMES SURROUNDING THE LANDSCAPED RECREATION AREA
LOOKING NORTHWEST

SCALE : N.T.S.



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 RENDERING - OVERALL
 AERIAL VIEW

Date: DECEMBER 23, 2014
 Scale: N.T.S.
 Drawn by: DM
 Job #: 14-9180
 M12_RENDERING.DWG
 Sheet

A4.12



1 RENDERING - OVERALL AERIAL VIEW
 LOOKING NORTHEAST

SCALE : N.T.S.



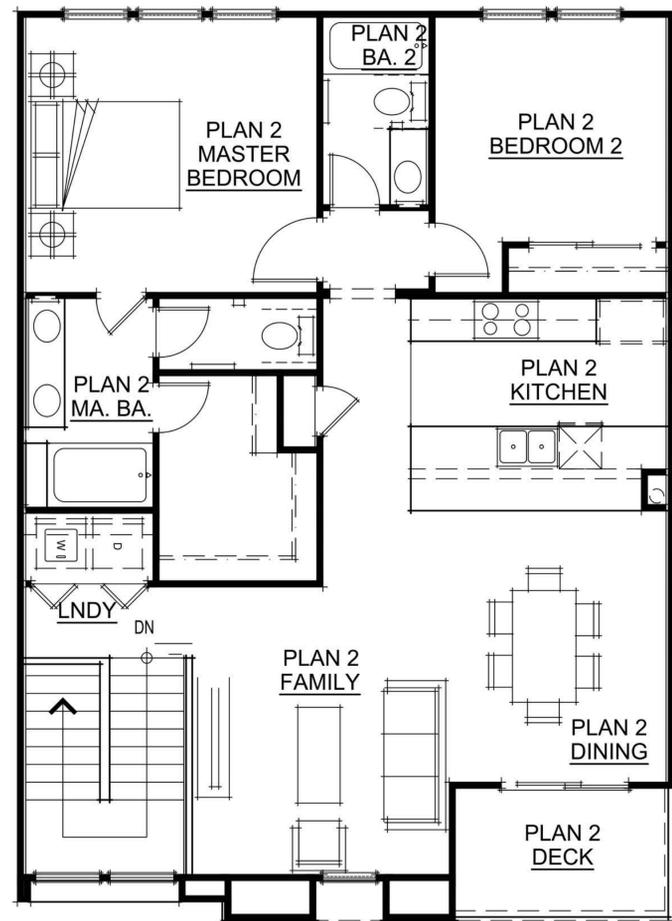
SDG Architects

3361 Walnut Blvd. Suite 120
Brentwood Ca. 94513

Ph: 925 634.7000
fax: 925 634.8020
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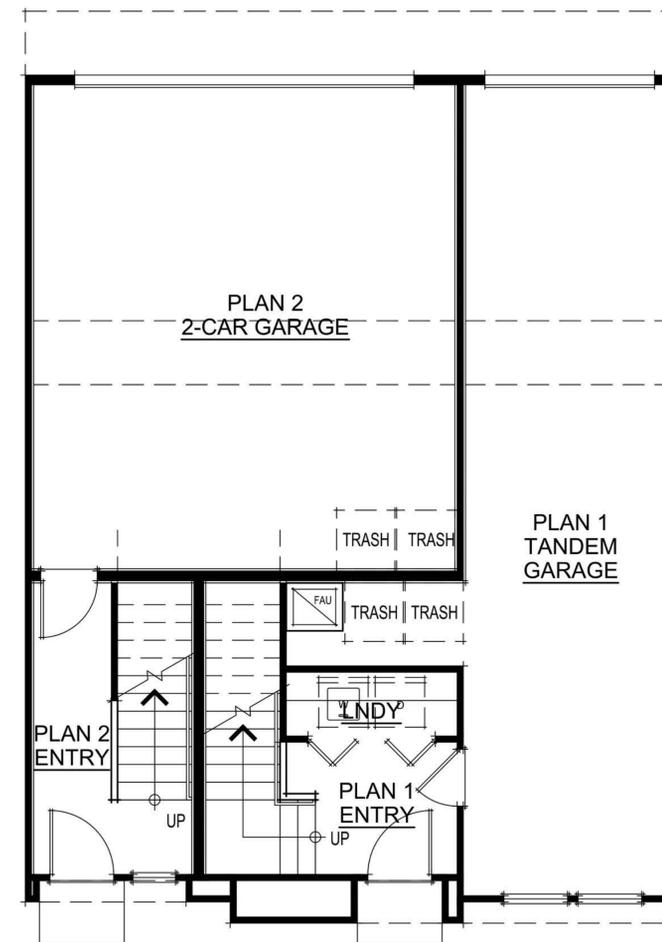
THIRD FLOOR PLAN

| PLAN 2 SQUARE FOOTAGES | |
|------------------------|--------------|
| UNIT 2 FIRST FLOOR | 117 SQ. FT. |
| UNIT 2 SECOND FLOOR | 137 SQ. FT. |
| UNIT 2 THIRD FLOOR | 1138 SQ. FT. |
| UNIT 2 TOTAL LIVING | 1392 SQ. FT. |
| UNIT 2 2-BAY GARAGE | 483 SQ. FT. |

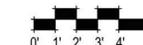


SECOND FLOOR PLAN

| PLAN 1 SQUARE FOOTAGES | |
|------------------------|--------------|
| UNIT 1 FIRST FLOOR | 143 SQ. FT. |
| UNIT 1 SECOND FLOOR | 1049 SQ. FT. |
| UNIT 1 TOTAL LIVING | 1192 SQ. FT. |
| UNIT 1 TANDEM GARAGE | 440 SQ. FT. |



FIRST FLOOR PLAN



**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035
Unit 1 and Unit 2 Floorplans

Date: DECEMBER 23, 2014

Scale:

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Job #: 310.436

TELX/PIPER - TEAM/DWG

Sheet

A1-th



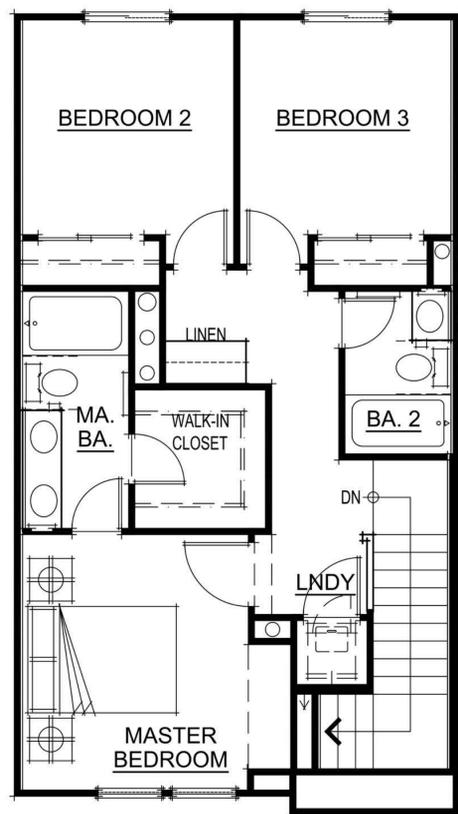
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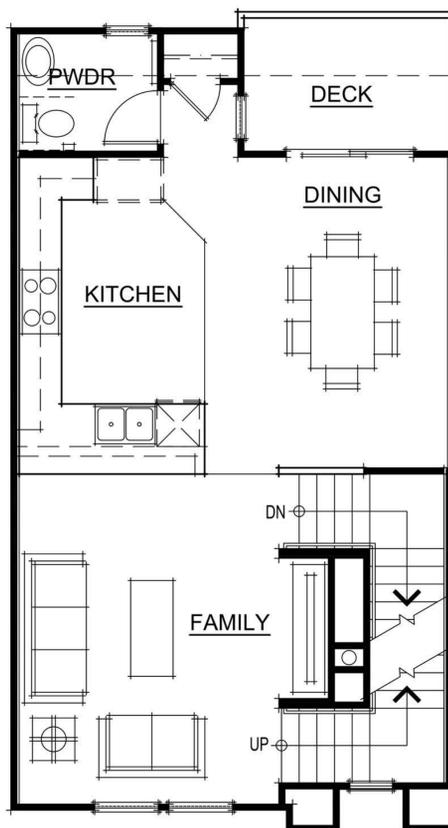
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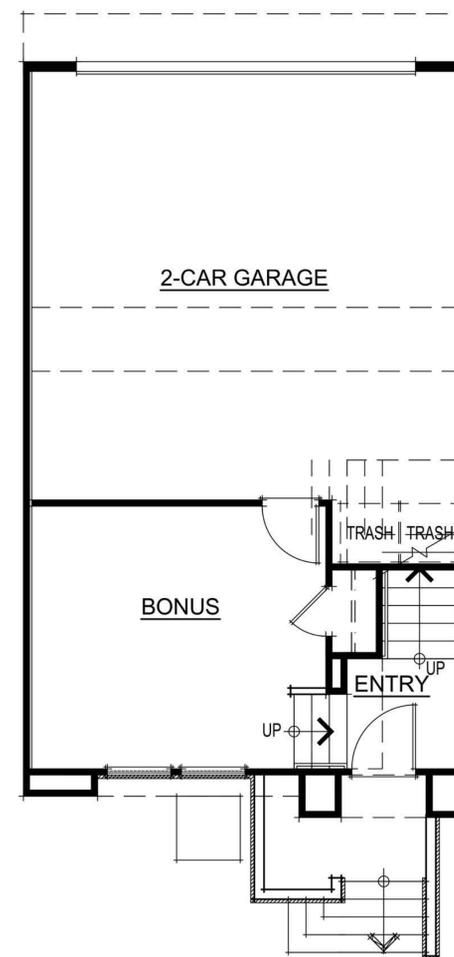
Revisions:



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



PLAN 3 SQUARE FOOTAGES

| | |
|--------------|--------------|
| FIRST FLOOR | 251 SQ. FT. |
| SECOND FLOOR | 706 SQ. FT. |
| THIRD FLOOR | 708 SQ. FT. |
| TOTAL LIVING | 1665 SQ. FT. |
| 2-BAY GARAGE | 452 SQ. FT. |

**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035

Unit 3 Floorplans

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TELESCOPIER - TEAMWORK

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A2-th



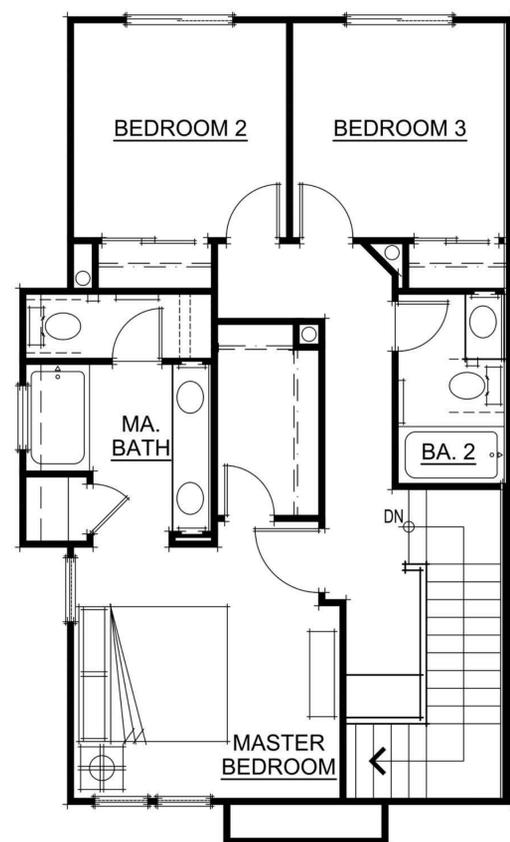
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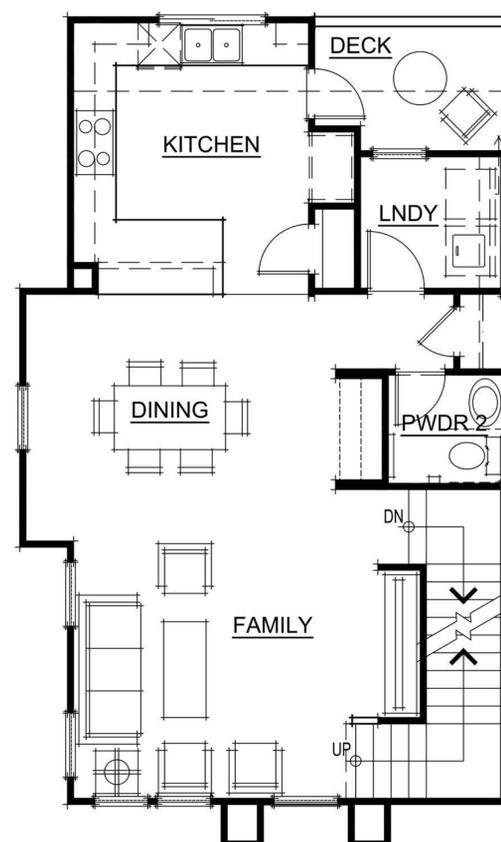
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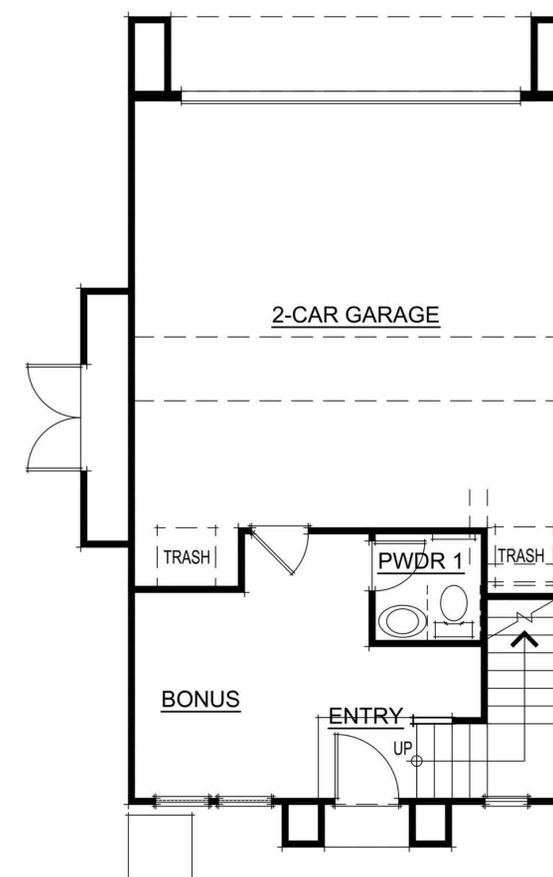
Revisions:



THIRD FLOOR PLAN

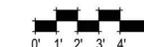


SECOND FLOOR PLAN



FIRST FLOOR PLAN

| PLAN 4 SQUARE FOOTAGES | |
|------------------------|--------------|
| FIRST FLOOR | 246 SQ. FT. |
| SECOND FLOOR | 748 SQ. FT. |
| THIRD FLOOR | 749 SQ. FT. |
| TOTAL LIVING | 1743 SQ. FT. |
| 2-BAY GARAGE | 457 SQ. FT. |



**PIPER DRIVE
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1256 PIPER DRIVE, MILPITAS, CA 95035

Unit 4 Floorplans

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TELUS/PIPER - TEAMING

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A3-th



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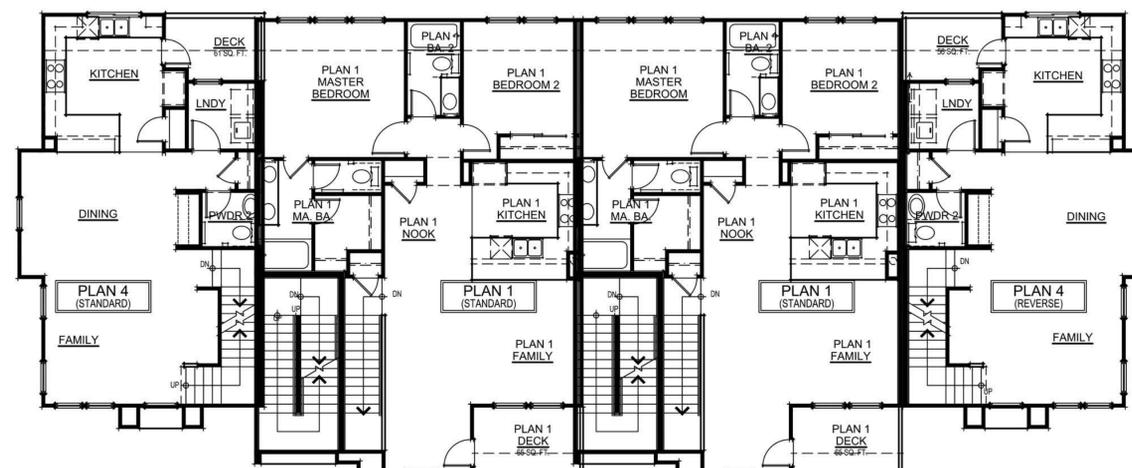
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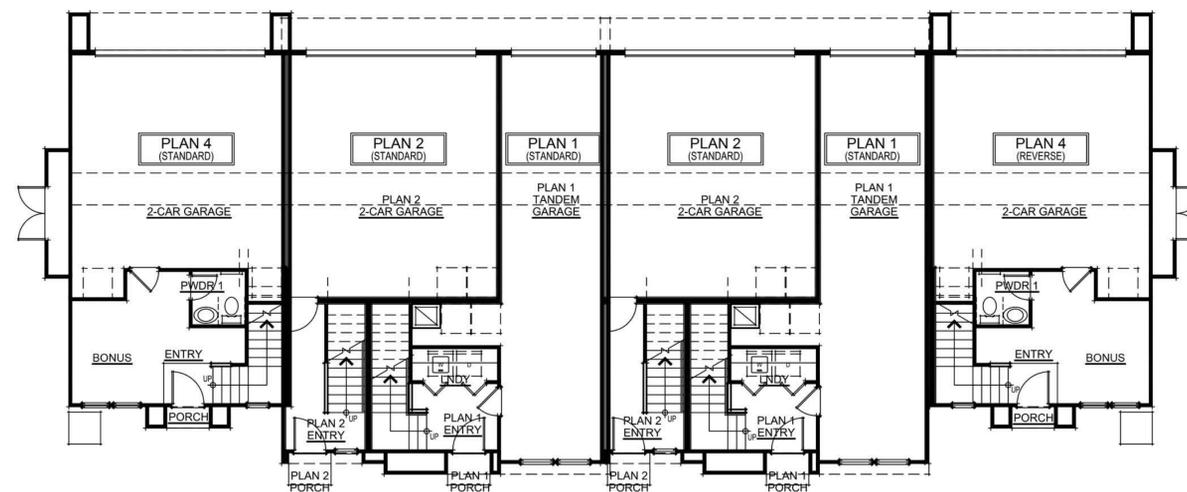
Revisions:



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035
6 Unit Building Floorplan

Date: DECEMBER 23, 2014

Scale:

Drawn by: SDG

Job #: 310.436

TRUCKPAPER - TEAMING

Sheet

A4-th



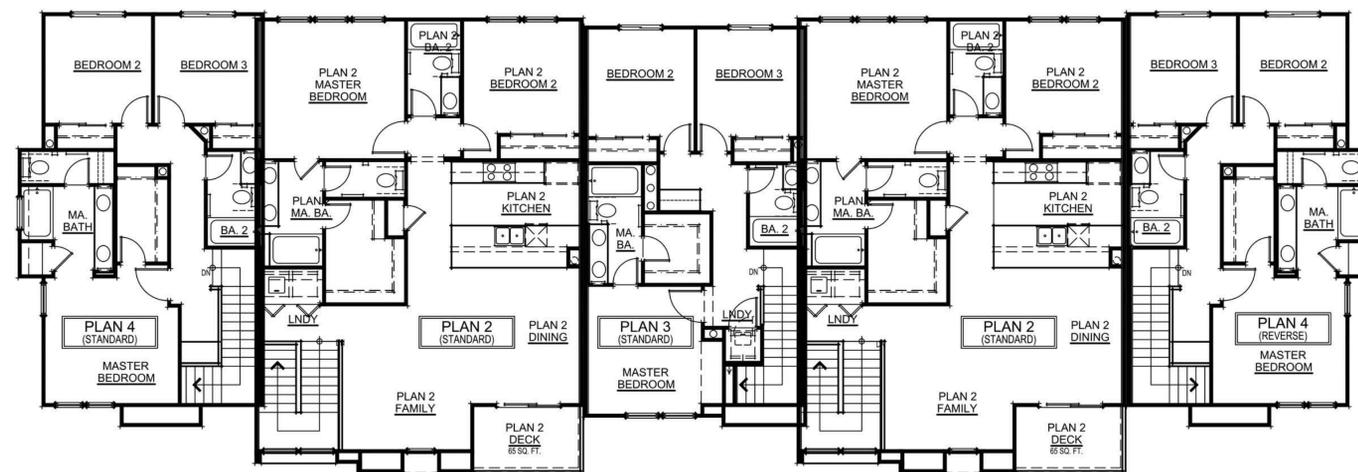
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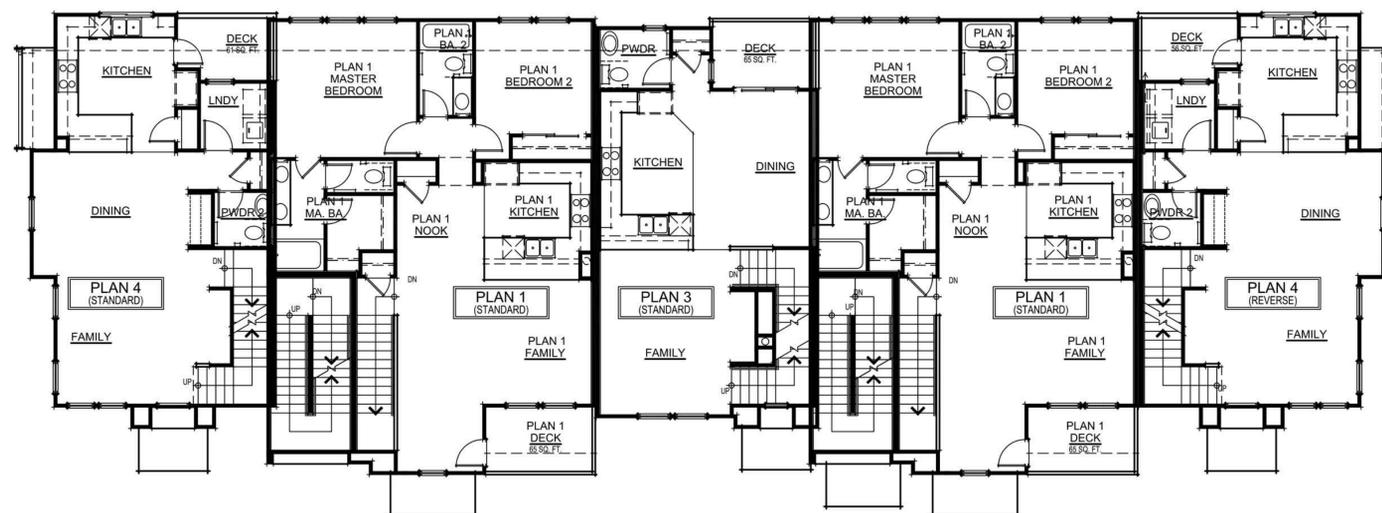
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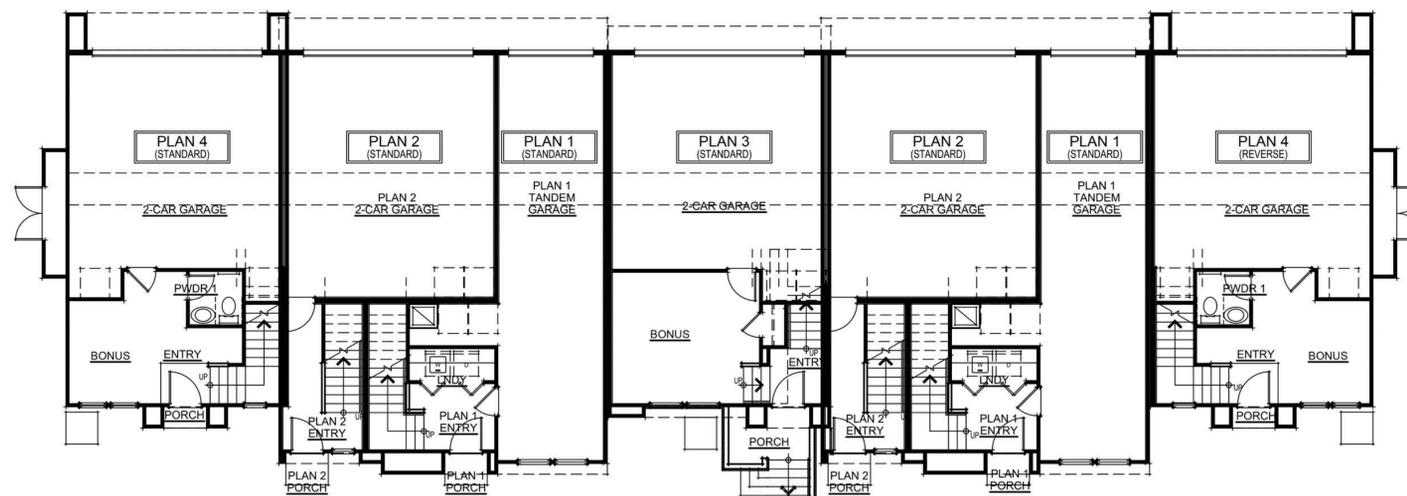
Revisions:



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035
7 Unit Building Floorplan

Date: DECEMBER 23, 2014

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Job #: 310.436

TRUCKSIPPER - TEAM/DWG

Sheet

A5-th



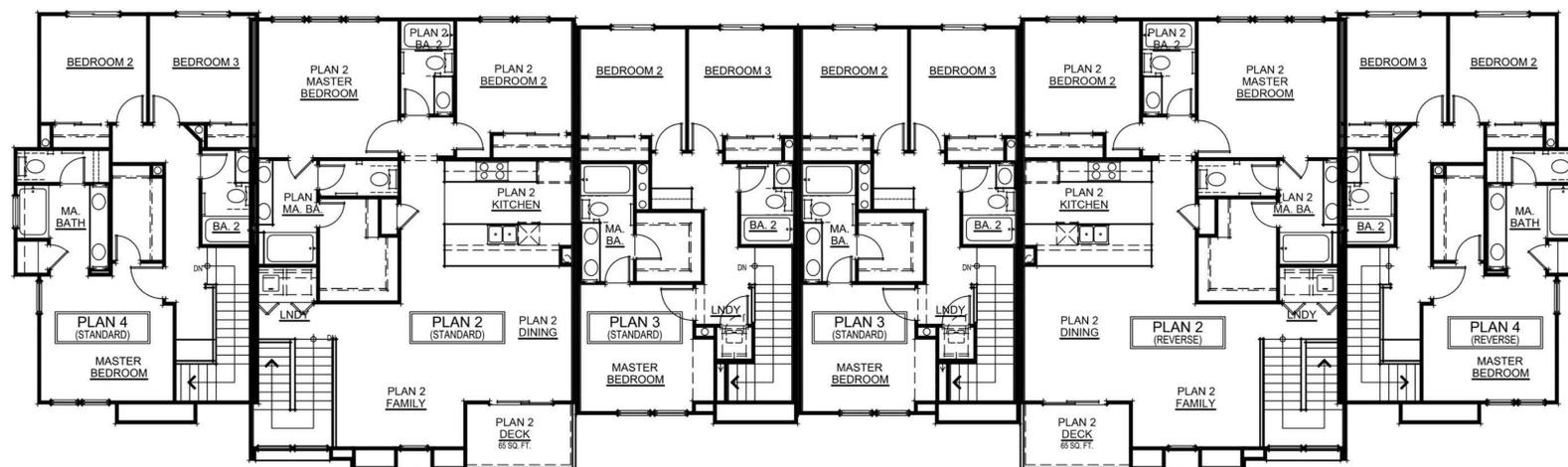
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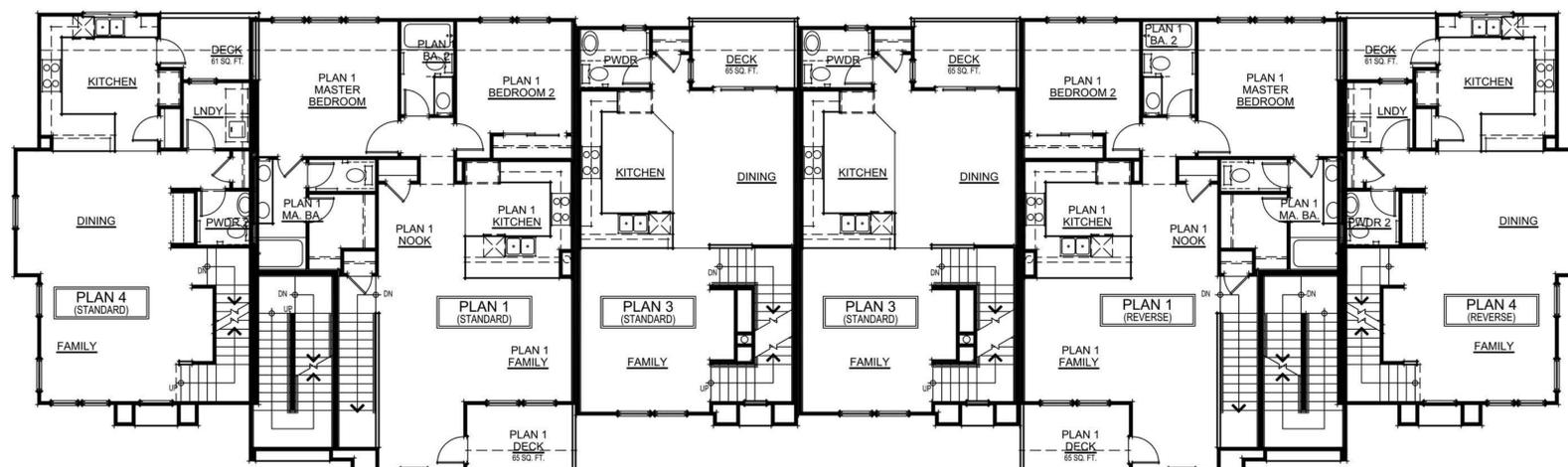
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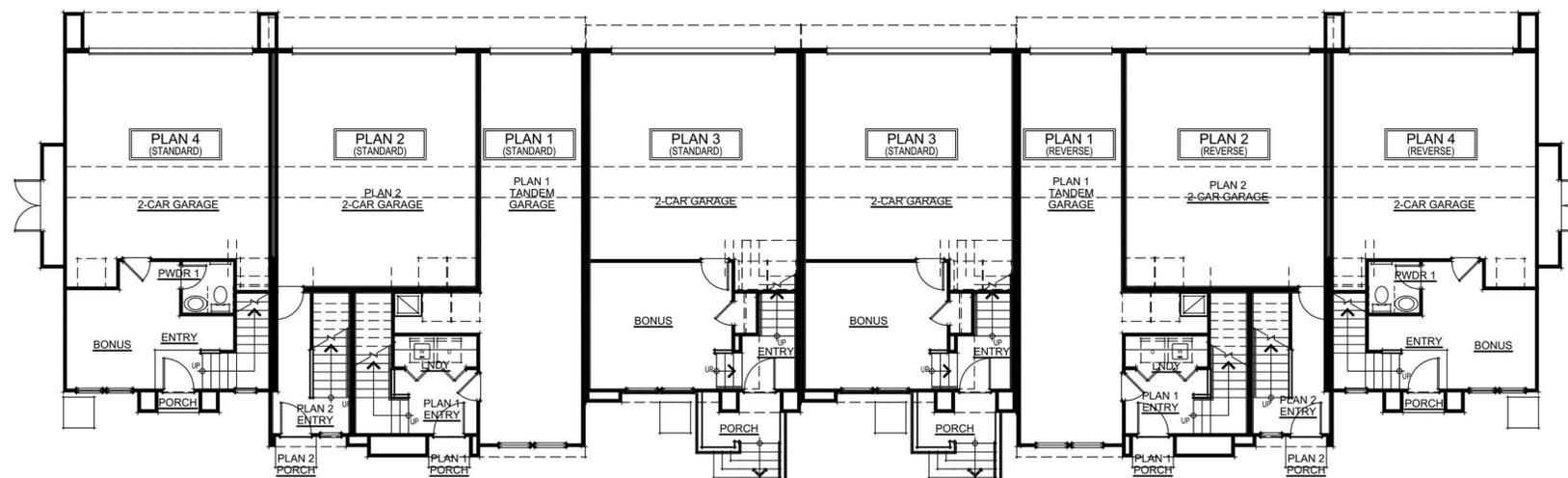
Revisions:



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035
8 Unit Building Floorplan

Date: DECEMBER 23, 2014

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TRUCKS/PIPER - TEAM/DWG

Sheet

A6-th



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Revisions:

**PIPER DRIVE
RESIDENTIAL**
1256 PIPER DRIVE, MILPITAS, CA 95035
10 Unit Building Floorplan

Date: DECEMBER 23, 2014

Scale:

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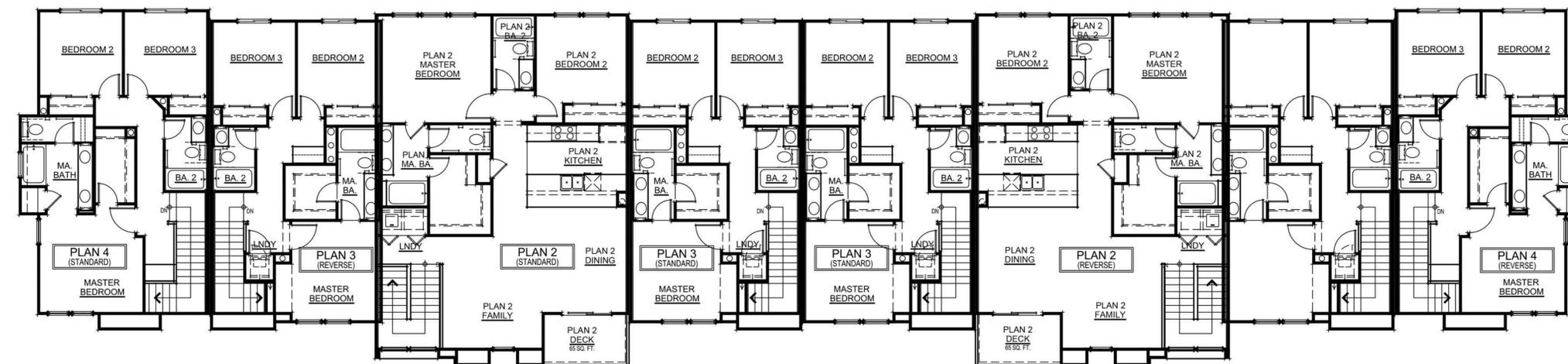
Job #: 310.436

TRUCKS/PIPER - TEAM/DWG

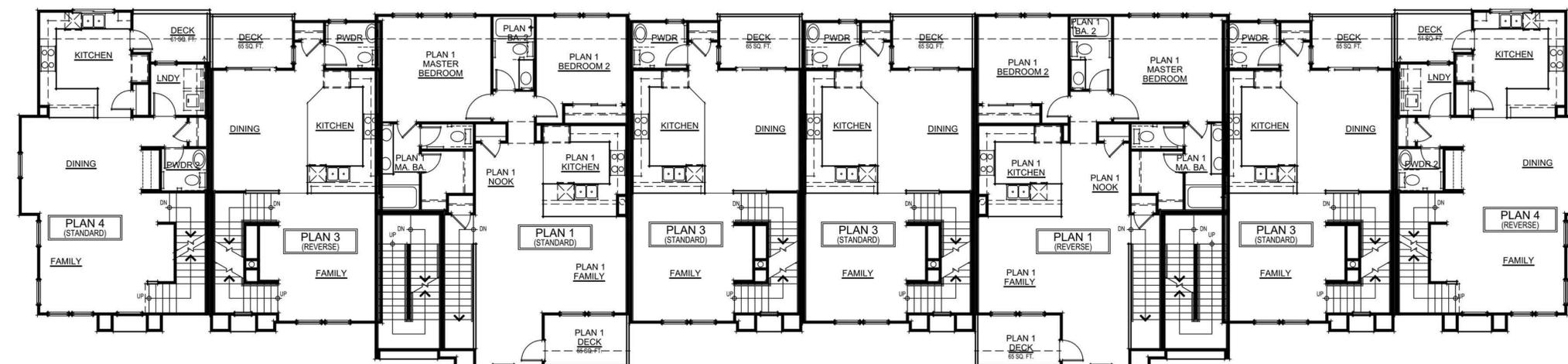
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A7-th

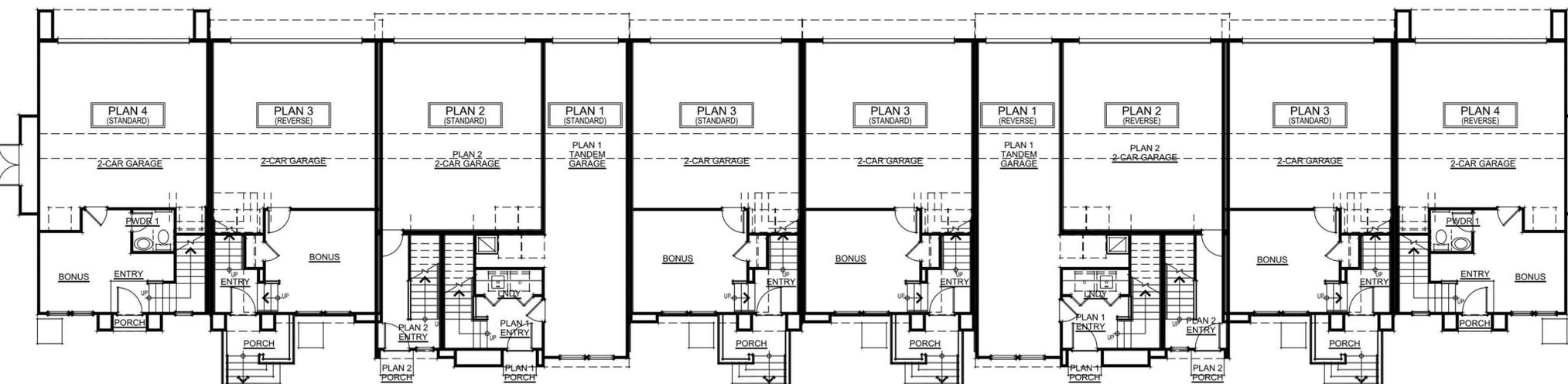
RESUBMITTAL: OCTOBER 21, 2015



THIRD FLOOR PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



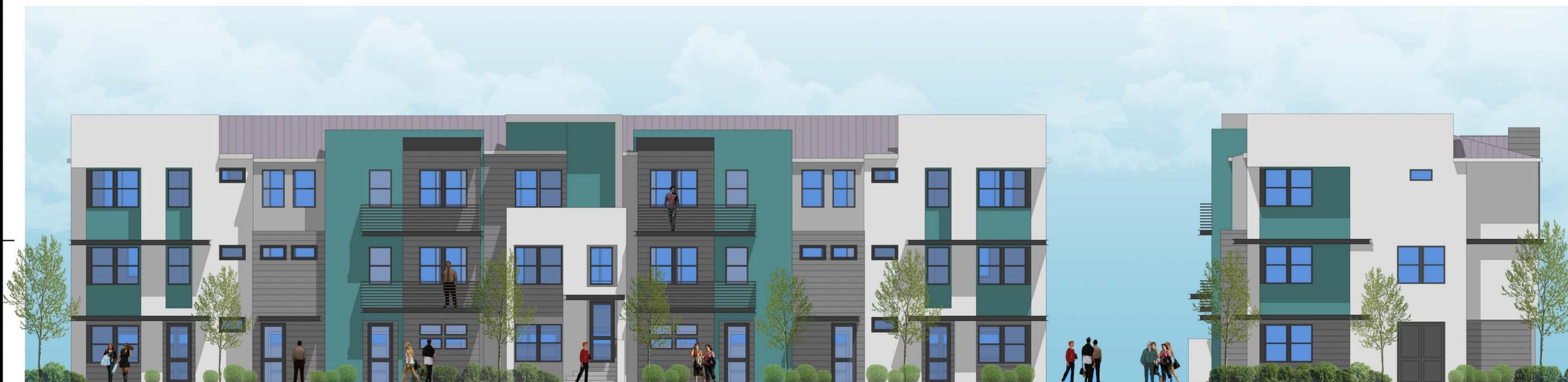
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**PIPER DRIVE
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1256 PIPER DRIVE, MILPITAS, CA 95035

Elevations

Date: DECEMBER 23, 2014

Scale:

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TALKASPIPER - TEAM.DWG

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A8-th

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**PIPER DRIVE
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1256 PIPER DRIVE, MILPITAS, CA 95035

Detail and Corner View

Date: DECEMBER 23, 2014

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TBKX/SDG - TEAM/DWG

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A9-th