

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MILPITAS ADOPTING TIME EXTENSION (TE2007-23), PHUNG NGUYEN RESIDENCE, TO ALLOW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AND ASSOCIATED SITE IMPROVEMENTS LOCATED AT 1000 PIEDMONT ROAD

WHEREAS, on November 15, 2007 an application was submitted by John Ha, 1288 Kifer Road #207, Sunnyvale, CA 94086, to allow for a one-time eighteen-month time extension for a previously approved S-Zone (SZ2005-12) for a new single family hillside residence and associated site improvements located at 1000 Piedmont Road (APN 88-44-099), zoned Single Family Residential district with the Hillside Combining District (88-44-099), and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and determine this project is categorically exempt pursuant to Class 3, Section 15303 of the California Environmental Quality Act (Construction or conversion of small structures).

WHEREAS, the City Council approved S-Zone (SZ2005-12) subject to the Findings and Special Conditions of Approval on June 6, 2006.

WHEREAS, the Planning Commission approved Time Extension (TE2007-23) to allow for an eighteen-month time extension and recommended approval to the City Council on January 9, 2008.

NOW THEREFORE, the City Council of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The recitals set forth above are true and correct and incorporated herein by reference.

Section 2: The project is categorically exempt pursuant to Class 3, Section 15303 of the California Environmental Quality Act (Construction or conversion of small structures). The project is for the construction of the single-family residence and second family unit.

Section 3: No prior time extensions were granted. All original conditions shall remain in full force and effect. The applicant proposes no changes from the original approval and therefore there are no new conditions.

BE IT FURTHER RESOLVED that based on the entirety of the record, which includes without limitation, the Planning Commission public hearing, including staff report, project plans and minutes prepared in connection thereto, the City Council does hereby approve a one time eighteen (18) month extension for the construction of a new hillside home and associated site improvements located at 1000 Piedmont Road.

PASSED AND ADOPTED this _____ day of _____ 2008, by the following vote:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

ATTEST:

APPROVED:

Mary Lavelle, City Clerk

Jose S. Esteves, Mayor

APPROVED AS TO FORM:

Michael J. Ogaz, City Attorney

EXHIBIT 1

CONDITIONS OF APPROVAL TIME EXTENSION (TE2007-23), PHUNG NGUYEN RESIDENCE

Planning Division

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on January 9, 2008, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance.

2. Time Extension (TE2007-23), Phung Nguyen Residence, shall become null and void if the project is not commenced within 18 months from the date of approval. Pursuant to Section 64.04-2 of the Zoning Ordinance of the City of Milpitas, since the project requires the issuance of a building permit, the project shall not be deemed to have commenced until the date of the building permit is issued and a foundation is completed.
3. Applicant shall incorporate additional trees and landscaping along the southern edge and northern portion of parcel to the approval of the Planning Director or designee. (PC)
4. Applicant shall screen all ground utilities (backflow preventers) and necessary fire equipment (as per Fire Department Standards). (P)
5. Prior to building permit issuance, the applicant shall include calculations with the building permit plans that demonstrate the openwork type fence provides the required 75% transparency. (P)
6. No structures of human occupancy should be constructed within 50 feet of the Crosley Fault and within 75 feet of the Landslide Toe. Construction drawings shall clearly show the Crosley Fault setback and the Landslide setback. (P)
7. The applicant shall comply with the findings and recommendations prepared by Billy Lin and Associates, contained in the geotechnical reports, dated September 11, 2005 and the addendum prepared by GEI dated February 13, 2006 to ensure compliance with this mitigation. The applicant shall also submit a letter from a licensed geotechnical engineer at Billy Lin and Associates certifying that all of their recommendations have been incorporated into the submitted building or grading plans prior to issuance of any grading or building permit. Additionally, prior to obtaining a Building Final or Certificate of Occupancy, the applicant shall submit a letter from a licensed geotechnical engineer at Billy Lin and Associates certifying that all of their recommendations have been satisfied. (P) (E) (B)
8. The applicant shall submit a grading plan to the Planning staff showing that the overall height, grade, cut and fill slopes are developed in conformance with the recommendations from the Geological and Geotechnical Report dated September 11, 2005 and the addendum dated February 13, 2003. (P)
9. The applicant shall record with the Santa Clara County Recorders office a hold harmless agreement with the deed for the property disclosing that the site is located within an ancient landslide area, which may have higher than normal potential landslides. This agreement would hold harmless the City from future landslides resulting from development of a site within an ancient landslide area. The City Attorney shall draft said agreement. (P)
10. The applicant shall submit an erosion control plan to the approval of the Planning Division. Erosion control measures shall be in place prior to the start of any work and maintained until the completion of construction. (P)
11. During all construction activities on-site, the project applicant/developer shall adhere to the following Best Management Practices as suggested by BAAQMD:
 - a. Watering all active construction areas twice daily and more often during windy periods. Active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.

- b. Cover all trucks hauling soil, sand, and other loose material or require all truck to maintain at least 2 feet freeboard level within their truck beds.
 - c. Pave, apply water three times daily or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction site. (P)
12. Prior to certificate of occupancy all landscaping shall be installed. (P)
13. The applicant shall clarify on the building permit plans that pervious concrete is to be used for the construction of the driveway and walkways. (P)
14. If at the time of application for permit there is a project job account past due balance to the City for recovery of review fees, review of permit will not be initiated until the balance is paid in full. (P)

Public Works

15. Prior to any tree removal, the applicant shall obtain a tree removal permit from the City Parks and Facilities Department. (P) (PW)
16. Prior to any demolition or grading permit issuance, the applicant shall submit to the Planning Division a tree protection plan prepared by an arborist, addressing protective measures for the existing trees to be retained on the developed site. (P) (PW)
17. Public easement should be clearly marked. There should be no private plantings or irrigation around public tree plantings. (PW)

Land Development

18. The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)
19. Prior to issuance of any building permits, developer shall obtain approval from the City Engineer of the water, sewer and storm drain studies for this development. These studies shall identify the development's effect on the City's present Master Plans and the impact of this development on the trunk lines. If the results of the study indicate that this development contributes to the over-capacity of the trunk line, it is anticipated that the developer will be required to mitigate the overflow or shortage by construction of a parallel line or pay a mitigation charge, if acceptable to the City Engineer. (E)
20. At the time of building permit plan check submittal the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall include offsite tributary drainage areas currently draining to this site via existing cul-de-sac and analyze the existing and ultimate conditions and facilities. The subject study shall recommend adequate drainage facilities to properly accept and convey drainage flows. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to building permit issuance. (E)
21. Prior to building permit issuance, the developer shall obtain design approval and bond for all necessary public improvements along Piedmont Road including but not limited to new curb and gutter, pavement, street lights, fire hydrants, water and sewer main line extension to serve the development, storm drain, sewer and water services. Plans for all public improvements shall be prepared on Mylar (24"x36" sheets) with City Standard Title Block and submit a digital format of the Record Drawings (AutoCAD format is preferred) upon completion of improvements. The developer shall also execute a secured public improvement agreement. The agreement shall be secured for an amount of 100% of the engineer's estimate of the construction cost for faithful performance and 100% of the engineer's estimate of the construction cost for labor & materials. (E)
22. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to, water, sewer, and storm drain connection fees, plan check and inspection deposit. These fees are collected as part of the secured public improvement agreement. (E)
23. Prior to any building permit issuance developer shall dedicate necessary public service utility easements, as shown on the Engineering Services "S" dated 3/9/2006. (E)

24. All existing on-site public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrub are permitted within City utility easements, where the easement is located within landscape areas. (E)
25. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers to eliminate as much as possible pollutants entering our receiving waters. Construction activities which disturb 1 acres or greater are viewed as a source of pollution, and the RWQCB requires a Notice of Intent (NOI) be filed, along with obtaining an NPDES Construction Permit prior to the start of construction. A Storm Water Pollution Prevention Plan (SWPPP) and a site monitoring plan must also be developed by the applicant, and approved by the City prior to permit issuance for site clearance or grading. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)
26. The developer shall not obstruct the noted sight distance areas as indicated on the City standard drawing #405. Overall cumulative height of the grading, landscaping & signs as determined by sight distance shall not exceed 2 feet when measured from street elevation. (E)
27. The developer shall submit the following items with the building permit application and pay the related fees prior to building permit issuance.
28. Storm water connection fee of **\$3594**, water connection fee of **\$1910**, sewer connection fee of **\$1908** and wastewater treatment plant fee of **\$880**.
29. Water Service Agreement(s) for water meter(s) and detector check(s).
30. Sewer Needs Questionnaire and/or Industrial Waste Questionnaire.
31. Contact the Land Development Section of the Engineering Division at (408) 586-3329 to obtain the form(s). (E)
32. Prior to any work within public right of way or City easement, the developer shall obtain an encroachment permit from City of Milpitas Engineering Division. (E)
33. It is the responsibility of the developer to obtain any necessary encroachment permits or approvals from affected agencies and private parties, including but limited to the State of California Department of Water Resources (DWR). Copies of these approvals or permits must be submitted to the City of Milpitas Engineering Division. (E)
34. Apply applicable Guidelines for New Developments and Hillside Landscaping Water Conservation Policy (Resolution # 6066). (E)
35. Per Milpitas Municipal Code Chapter 2, Title X (Ord. No. 201), developer may be required to obtain a permit for removal of any existing tree(s). Contact the Street Landscaping Section at (408)586-2601 to obtain the requirements and forms. (E)
36. The developer shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hrs prior to construction for location of utilities. (E)
37. At the time of building plan check submittal, the developer shall incorporate the changes shown on Engineering Services Exhibit "S"(dated 3/9/2006) in the design plans and submit three sets of civil engineering drawings showing all proposed utilities and public improvements to the Land Development Engineer for plan check. (E)

(P) = Planning Division

(E) = Engineering Department

(B) = Building

(PW) = Public Works

(PC) = Planning Commission



MILPITAS PLANNING COMMISSION AGENDA REPORT

Meeting Date: January 9, 2008

APPLICATION:	TIME EXTENSION NO. TE2007-23 FOR "S" ZONE REVIEW NO. SZ2005-12
APPLICATION SUMMARY:	A request for a one-time eighteen-month time extension for a previously approved single-family hillside residence consisting of a 5,994 square foot single story residence and related site improvements.
LOCATION:	1000 Piedmont Road (APN 88-44-099)
APPLICANT:	John Ha, 510 Lawrence Expressway, Sunnyvale, CA 94085
OWNER:	Phung Nguyen and Trang Tran, 1671 Canyon View Dr. San Jose, CA 95132
RECOMMENDATION:	<p>Staff recommends that the Planning Commission:</p> <ol style="list-style-type: none"> 1. Close the public hearing; and 2. Approve the project subject to the attached Resolution and conditions of approval.
PROJECT DATA:	
General Plan/	
Zoning Designation:	Hillside Very Low Density/Single Family Residential (R1)
Overlay District:	Hillside Combining District (H)
Specific Plan:	N/A
Site Area:	1.68 Acres (73,181 Square Feet)
Building Square Footage:	5,994 Square Feet
Impervious Surface Area:	7,998 Square Feet
CEQA Determination:	Categorically Exempt pursuant to Class 3, Section 15303 of the California Environmental Quality Act (Construction or conversion of small structures).
PLANNER:	Cindy Hom, Junior Planner
PJ:	3197
ATTACHMENTS:	<ol style="list-style-type: none"> A. Resolution/ Findings/Conditions of Approval B. Colored Elevation C. Plans D. Public Comment from Celine Woo E. Time Extension letter request

LOCATION MAP



Not to Scale

BACKGROUND

On May 10, 2006 and June 6, 2006 the Planning Commission and City Council approved “S” Zone No. SZ2005-12, a request to construct a new single family hillside residence consisting of a 5,994 square foot single story home, detached second family unit, and various landscape amenities including a patio cover, in ground swimming pool, and spa on an undeveloped parcel.

The subject site is a 1.68-acre triangular shaped parcel located on the northeast quadrant of the intersection at Piedmont Road and Landess Avenue. The subject site is situated at the base of the Milpitas foothills and is bounded by the abandoned segment of Old Piedmont Road Cul-de-sac and the undeveloped hillside to the east; a planned unit development consisting of single family hillside homes to the northeast; single family homes to the west and southwest; and the Milpitas/San Jose city boundary and a multifamily dwellings to the south.

PROJECT DESCRIPTION

Pursuant to Milpitas Municipal Code XI-10-64.04, the applicant is requesting a one-time eighteen-month extension because of the additional time that was required to coordinate with the Department of Water Resources to obtain design approval of the water and sewer utility connections. Approval from the Department of Water Resources was required because the utility line connections transverses over a six-foot water aqueduct. The applicant is not proposing any exterior or site modifications to the project as previously approved.

The subject parcel is zoned Single Family Residential – Hillside (R1-H) and is undeveloped with a row of city street trees that runs along the west property line. The existing topography is relatively flat with an slight upslope. A vicinity map of the subject site location is included on the previous page.

Site Plan

The project proposes a new 5, 994 square foot single-family residence will be situated on the southern portion of the triangular shaped parcel approximately 6,000 feet away from the perceived Crestline. The project also proposes an attached patio cover, a 809 square foot detached second family unit, in-ground swimming pool/spa and retaining wall that are located in rear half of the lot and within the parcel’s building envelope. Primary access is from Piedmont Road and is provided by a single “Y” shaped driveway that serves the garage and the main front entryway. A meandering pervious walkway is proposed along the southern perimeter to connect the formal front entry to the rear yard and second family unit.

Building Architecture

The architecture of the house is characterized as modern Californian ranch style that utilizes concrete gray-brown slate tile roofing, stucco covered walls painted with muted earth tones, multi-paned windows and decorative tile and stacked stone accents. Included with this staff report is an attached colored elevation of the proposed new home.

Landscaping

Landscaping is proposed along the west, south and east elevations consisting of 24-inch boxed trees, various shrubs, and groundcover to be planted throughout the site. The proposed landscaping is consistent with City Council Resolution 6066 (Hillside Landscaping Water Conservation and Fire Hazard Mitigation Measures) and utilizes plants from the suggested plant list.

Grading

As proposed, the main dwelling is located where the parcel is relatively flat so that grading can be minimized. Only 380 cubic yards will be exported for the main dwelling. However, the applicant will need to grade approximately 1,836 cubic yards for the back yard and pool where the parcel exhibits a slight upslope. The impact will be minimal since the new contours will be designed to blend with the natural contours as demonstrated on the civil drawings.

ENVIRONMENTAL REVIEW

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt from further environmental review pursuant to Class 3, Section 15303 (“One single-family residence, or a second dwelling unit in a residential zone”).

PUBLIC COMMENT/OUTREACH

Staff publicly noticed the application in accordance with City and State Law. As of the time of the writing of this report, staff has received one public comment. A copy of the comment is included as an attachment to this staff report.

CONCLUSION

Staff’s position is that the time extension request is warranted because the applicant proposes no modifications to the project. No changes in the Zoning Ordinance have occurred, however, the applicant will have to apply for a building permit in accordance with the Building Codes established this year. Based on the review of the application, the plans are consistent with the previous approved plans and conform to the Milpitas General Plan and Zoning Ordinance.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission approve TE2007-23, Phung Nguyen Residence, subject to the attached Resolution and Conditions of approval.

Attachments

- A. Resolution/Findings/Conditions of Approval
- B. Colored Elevation
- C. Public Comment from Celine Woo
- D. Time Extension letter request

Plans



MILPITAS RESIDENCE

APPROVED

PLANNING COMMISSION SUBCOMMITTEE MINUTES

January 9, 2008

**I.
ROLL CALL**

Present: Ali-Santosa, Tabladillo and Williams
Absent: None
Staff: Bejines, Hom, Maxwell, Lindsay and Ogaz

**1. 'S' ZONE
AMENDMENT NO.
SA08-0001**

Cindy Maxwell, Project Planner, presented compliance with special condition no. 9 requiring Subcommittee review and approval of site lighting plans for 'S' Zone Approval No. SZ2004-100 to demolish four existing buildings and construct two new buildings totaling 46,350 square feet for Christ Community Church at 1000 South Park Victoria Drive. Ms. Maxwell recommended approval as submitted.

Motion to approve 'S' Zone Amendment No. SA08-0001.

M/S: Tabladillo/Williams

AYES: 2

NOES: 0

**2. ADMINISTRATIVE
PERMIT NO. AD07-0003**

Cindy Hom, Project Planner, presented a request to have four outdoor events that are scheduled for 1/18/08, 4/18/08, 7/25/08 and 10/17/08 between the hours of 3:00 p.m. to 6:00 p.m. in the Linear Technology Building parking lot located at 790 Sycamore Drive. Ms. Hom recommended approval subject to findings and conditions of approval.

Commissioner Tabladillo asked what type of events will the company have and Ms. Hom said they are employee events.

Commissioner Tabladillo asked if the set up will occur the same day and Ms. Hom said yes.

Commissioner Tabladillo asked where is the handicap parking spaces located and Ms. Hom said they are located near the entrances of the building.

Commissioner Tabladillo asked if they will have generators and Ms. Hom said no, the electricity will be pulled from Building three.

Commissioner Tabladillo asked how many visitors will be at the events and Ms. Hom said the company has about 600 employees and there is sufficient parking.

Motion to approve Administrative Permit No. AD07-0003.

M/S: Williams/Tabladillo

AYES: 2

NOES: 0

**3. 'S'
AMENDMENT
SA07-0004**

**ZONE
NO.**

Cindy Hom, Project Planner, presented a request to construct an 800 square foot concrete masonry storage enclosure and to install new landscaping at the northwest corner of the Walmart parking lot area located at 301 Ranch Drive. Ms. Hom recommended approval subject to findings and conditions of approval.

Commissioner Tabladillo asked what will the enclosure be used for and Ms. Hom said they will store pallets and there will be landscaping around the enclosure.

Commissioner Tabladillo asked if teenagers could get back there and Ms. Hom said there will be a ten foot wall.

Commissioner Tabladillo asked if they have a lighting plan and Ms. Hom said no.

After further discussion, the Commissioners and staff came up with the following added condition:

- *The applicant shall provide a lighting plan that demonstrates adequate and safe lighting within the enclosure area for review and approval by the Police Department and Planning Division.*

Motion to approve 'S' Zone Amendment No. SA07-0004.

M/S: Williams/Tabladillo

AYES: 2

NOES: 0

**4. 'S'
AMENDMENT
SA2007-57**

**ZONE
NO.**

Cindy Hom, Project Planner, presented a request for modifications to an existing concrete patio located at 1623 Buckeye Drive. Ms. Hom recommended approval subject to findings and conditions of approval.

Motion to approve 'S' Zone Amendment No. SA2007-57.

M/S: Williams/Tabladillo

AYES: 2

NOES: 0

**II.
ADJOURNMENT**

This meeting was adjourned at 7:00 p.m.

APPROVED

PLANNING COMMISSION MINUTES

January 9, 2008

**I.
PLEDGE OF
ALLEGIANCE**

Chair Williams called the meeting to order at 7:00 P.M. and led the Pledge of Allegiance.

**II.
ROLL CALL**

Present: Ali-Santosa, Ciardella, Mandal, Sandhu, Tabladillo and Williams
Absent: None
Staff: Bejines, Gilli, Hom, Lindsay, Maxwell and Ogaz

**III.
PUBLIC FORUM**

Chair Williams invited members of the audience to address the Commission on any topic not on the agenda, noting that no response is required from the staff or Commission, but that the Commission may choose to agendize the matter for a future meeting.

There were no speakers from the audience.

**IV.
APPROVAL OF MINUTES
December 12, 2007**

Chair Williams called for approval of the minutes of the Planning Commission meeting of December 12, 2007.

There were no changes to the minutes

Motion to approve the minutes of December 12, 2007.

M/S: Sandhu/Mandal

AYES: 6

NOES: 0

**V.
ANNOUNCEMENTS**

James Lindsay, Planning and Neighborhood Services Director, announced that staff is working on streamlining the planning process and better organizing staff reports, resolutions and conditions of approval and would welcome any comments from the Commission via phone or e-mail. He acknowledged Sheldon Ah Sing, Sr. Planner, who worked on the new format.

Commissioner Ciardella said he talked to Ted Weller who mentioned that the Weller Palm located on the Apton Plaza site is not being properly maintained and asked if the City could take initiative and water the tree. Mr. Lindsay said he called the property owner who assured him that someone would take care of it.

Chair Williams acknowledged Felix Reliford and presented him a certificate in recognition of his outstanding service and dedication to the Planning Commission and the community serving as the acting Planning Director for the last 10 months.

APPROVED

Planning Commission Minutes

January 9, 2008

**VI.
CONFLICT
OF INTEREST**

City Attorney Mike Ogaz asked if any member of the Commission has any personal or financial conflict of interest on tonight's agenda.

There were no commissioners who identified a conflict of interest.

**VII.
APPROVAL OF
AGENDA**

Chair Williams called for approval of the agenda.

There were no changes to the agenda.

Motion to approve the agenda as submitted.

M/S: Mandal/Sandhu

AYES: 6

NOES: 0

**VIII.
CONSENT CALENDAR**

Chair Williams asked whether staff, the Commission, or anyone in the audience wished to remove or add any items to the consent calendar.

Mr. Lindsay recommended that Agenda Item No. 2 (Conditional Use Permit Amendment No. UA2007-25, "S" Zone Amendment No. SA2007-56, Centria Project Sign Program) be added to the consent calendar because it is a very clear cut item.

Motion to add Item No. 2 to the consent calendar.

M/S: Sandhu/Mandal

AYES: 6

NOES: 0

Chair Williams opened the public hearing on Consent Item Nos. 2, 3 and 4.

There were no speakers from the audience.

Motion to close the public hearing on Consent Item Nos. 2 and 3 and continue Item No. 4 to the January 23, 2008 meeting.

M/S: Sandhu/Tabladillo

AYES: 6

NOES: 0

Motion to approve Consent Item Nos. 2, 3 and 4.

M/S: Mandal/Sandhu

AYES: 6

NOES: 0

- *2 **CONDITIONAL USE PERMIT AMENDMENT NO. UA2007-25, "S" ZONE AMENDMENT NO. SA2007-56, CENTRIA PROJECT SIGN PROGRAM:** A request to amend a previously approved Conditional Use Permit and "S" Zone review for the Centria Sign Program located at 1101 South Main Street. *(Recommendation: Approval Subject to Findings and Conditions of Approval)*
- *3 **TIME EXTENSION NO. TE2007-23:** A request for a one time 18-month extension for a previously approved S-Zone Permit (SZ2005-12) for a new single family hillside residence located at 1000 Piedmont Road. *(Recommendation: Approval Subject to Findings and Conditions of Approval)*
- *4 **"S" ZONE APPLICATION NO. SZ2007-18, USE PERMIT NO. UP2007-0002 AND VESTING TENTATIVE MAP NO. MI2007-0001:** A request for a 397-unit apartment project in three buildings located on 5.9 acres at 1504 -1620 South Main Street. The project would provide studio, one and two-bedroom apartments in four-story buildings. The Use Permit application requests (1) to exceed the height limits of five stories with the 6.5 story garage in Building One, (2) reduce front and street side building setbacks and (3) reduce required parking by 19 spaces. The Vesting Tentative Map is for condominium purposes and provides public streets and three privately owned parcels. The tentative map would vest the applicant with the ability to convert the apartment project to condominiums at an undetermined date in the future. *(Recommendation: Open the public hearing and continue to the January 23, 2008 meeting)*

**IX.
PUBLIC HEARING**

**1. CONDITIONAL USE
PERMIT NO. UP2007-34**

Judie Gilli, Project Planner, presented a request to locate a 1,300 square foot nursing school located at 238 South Hillview Drive. Ms. Gilli recommended approval subject to findings and conditions of approval.

Vice Chair Mandal asked what kind of training will the nursing school provide? Ms. Gilli said the training school will certify students to be nursing assistants.

Commissioner Ciardella asked if there is on street parking and Ms. Gilli said yes.

Commissioner Sandhu asked if the school is recognized by the government and Ms. Gilli deferred the question to the applicant.

Chair Williams introduced the applicant.

Patricia Zarate, Director of Nursing, 120 Corning Avenue, Milpitas, said the curriculum is designed to train students to become certified nursing assistants and is approved by the Department of Health Services and secondary education. The school is also inspected annually to ensure that their curriculum meets the requirements of the government.

Commissioner Sandhu asked if the nursing school is comparable to Heald College? Ms. Zarate said the program consists of 150 hours of training, 100 hours are spent in a clinical facility and 50 hours are spent in the classroom. The school will be in a classroom setting with a portion set aside for beds and a small laboratory.

Commissioner Sandhu asked what are the pre-qualifications for students. Ms. Zarate said the students should understand reading comprehension, be physically fit and pass fingerprint clearance.

Vice Chair Mandal asked if there are other locations. Ms. Zarate said they used to be located on Abel Street in Milpitas, moved to Santa Clara, and are now moving back to Milpitas.

Commissioner Tabladillo asked how many students will attend each session. Ms. Zarate said there will be approximately 35 students in the morning classes and 15 to 20 students in the afternoon and weekend classes.

Commissioner Ciardella asked what is the average amount of students in a class and Ms. Zarate said 20 to 25 students.

Commissioner Ciardella asked if the school is going to encourage carpool since they are only allotted seven parking spaces and Ms. Zarate said yes.

Commissioner Ciardella asked where are all the teachers going to park and Ms. Zarate said they will be able to carpool.

Chair Williams opened the public hearing.

There were no speakers from the audience.

Motion to close the public hearing.

M/S: Mandal/Ciardella

AYES: 6

NOES: 0

Commissioner Tabladillo said she has concerns about parking and does not want to impact the residents.

Chair Williams said there are no residents in that area because it is in an industrial area and there is parking across the street and he is comfortable if there is an overflow.

Motion to approve Conditional Use Permit No. UP2007-34 based on the findings and conditions of approval.

M/S: Tabladillo/Mandal

AYES: 6

NOES: 0

X. NEW BUSINESS

2. CITYWIDE PARKING TASK FORCE

Mr. Lindsay requested that the Planning Commission appoint a member to serve on the Citywide Parking Task Force to review and update the City's parking section of the Zoning Ordinance. He also pointed out that at the last meeting, the Commission requested that parking for medical offices be studied and he confirmed that the parking task force is studying the item. Also, the next meeting is scheduled for Tuesday, January 29th at 6:00 p.m. in the Committee Conference Room.

Commissioner Sandhu nominated Chair Williams to service on the task force. Chair Williams respectfully declined because he will be forming a Subcommittee to look at the Planning Commission bylaws which will involve him and another Commissioner.

APPROVED
Planning Commission Minutes
January 9, 2008

Commissioner Sandhu nominated Commissioner Tabladillo. Commissioner Tabladillo respectfully declined because of other responsibilities.

Commissioner Tabladillo nominated Vice Chair Mandal and Commissioner Ciardella seconded the nomination.

Motion to appoint Vice Chair Mandal to the Citywide Parking Task Force.

M/S: Tabladillo/Ciardella

AYES: 6

NOES: 0

**XI.
ADJOURNMENT**

The meeting was adjourned at 7:31 p.m. to the next regular meeting of January 23, 2008. Chair Williams reminded the Commission that the next meeting will begin at 5:30 p.m. because of the American Institute of Architects (AIA) presentation.

Respectfully Submitted,

James Lindsay
Planning & Neighborhood
Services Director

The foregoing minutes were approved by the Milpitas Planning Commission as submitted on January 23, 2008.

Veronica Bejines
Recording Secretary

APPROVED
Planning Commission Minutes
January 9, 2008



Innovative Design Architecture, Inc.

JOHN HA, AIA
510 LAWRENCE EXP.
SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0891
TEL: (408) 245-0319

OWNER:
PHUNG NGUYEN
1671 CANYON VIEW DR.
SAN JOSE, CA 95132
408-926-1625

PHUNG RESIDENCE

1000 PIEDMONT ROAD MILPITAS, CA 95035

REVISIONS:

- △ PLANNING REVISION 11-09-05
- △ PLANNING REVISION 02-02-06

SHEET TITLE:
SITE PLAN

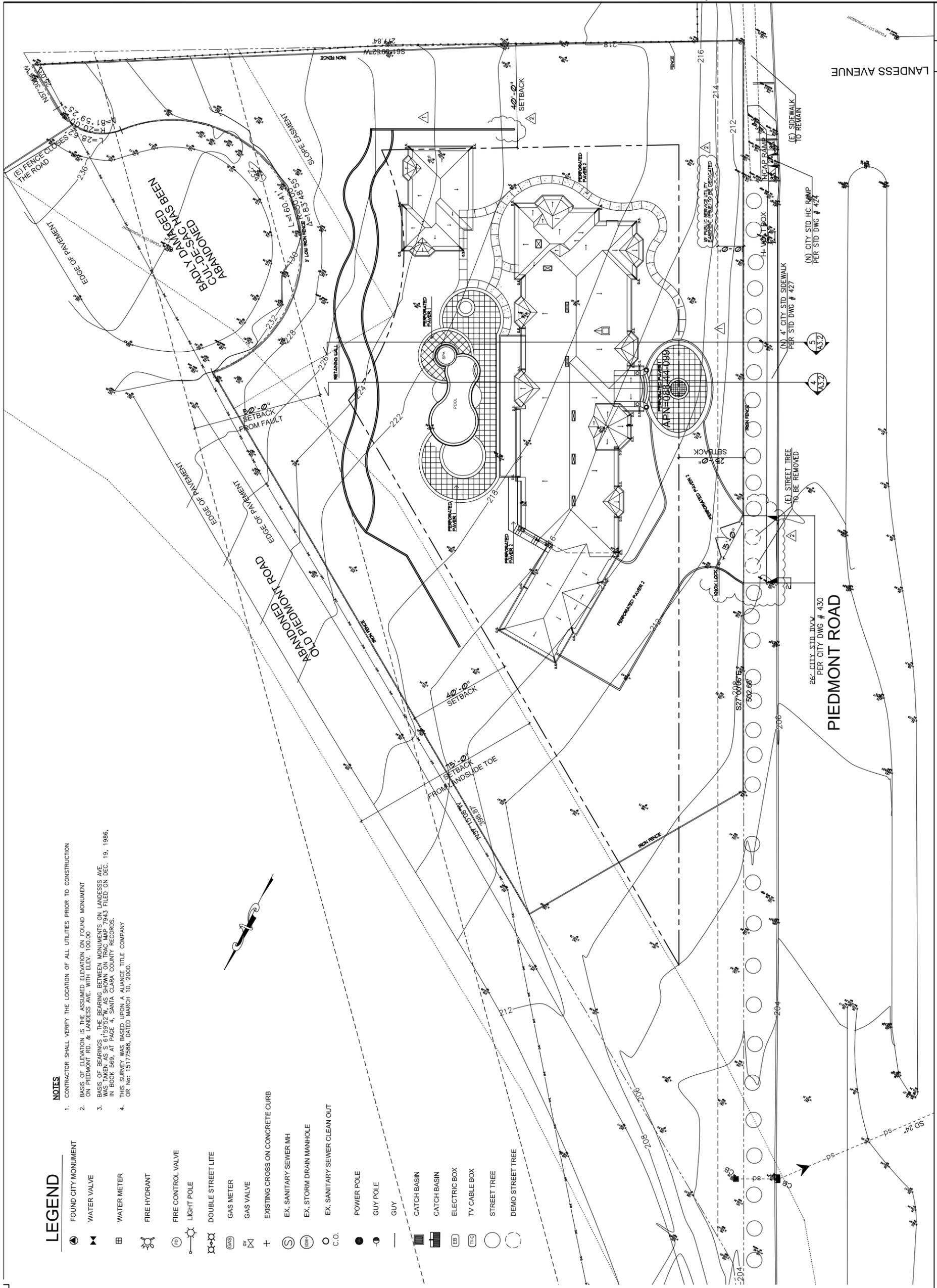
PROJECT NO. 09-813
DATE SEPT. 13, 2005
SCALE
SHEET
DRAWN JH/JW
A-1

1/16" 1

SITE PLAN

- NOTES**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
 - BASIS OF ELEVATION IS THE ASSUMED ELEVATION ON FOUND MONUMENT ON PIEDMONT RD. & LANDESS AVE. WITH ELEV. 100.00
 - BASIS OF BEARINGS - THE BEARING BETWEEN MONUMENTS ON LANDESS AVE. WAS TAKEN AS S 61°59'52"W, AS SHOWN ON TRAC MAP 7943 FILED ON DEC. 19, 1986, IN BOOK 569, AT PAGE 4, SANTA CLARA COUNTY RECORDS.
 - THIS SURVEY WAS BASED UPON A ALIANCE TITLE COMPANY OR No: 15177588, DATED MARCH 10, 2000.

- LEGEND**
- FOUND CITY MONUMENT
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - FIRE CONTROL VALVE
 - LIGHT POLE
 - DOUBLE STREET LITE
 - GAS METER
 - GAS VALVE
 - EXISTING CROSS ON CONCRETE CURB
 - EX. SANITARY SEWER MH
 - EX. STORM DRAIN MANHOLE
 - EX. SANITARY SEWER CLEAN OUT
 - C.O.
 - POWER POLE
 - GUY POLE
 - GUY
 - CATCH BASIN
 - ELECTRIC BOX
 - TV CABLE BOX
 - STREET TREE
 - DEMO STREET TREE



26' CITY STD. DIV. PER CITY DWG # 430

(E) STREET TREE TO BE REMOVED

(N) 4' CITY STD. SIDEWALK PER STD DWG # 427

(N) CITY STD. HC RAMP PER STD DWG # 424

(E) SIDEWALK TO REMAIN

40'-0" SETBACK

15'-0" SETBACK FROM LANDSLIDE TOE

40'-0" SETBACK



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REVISIONS:

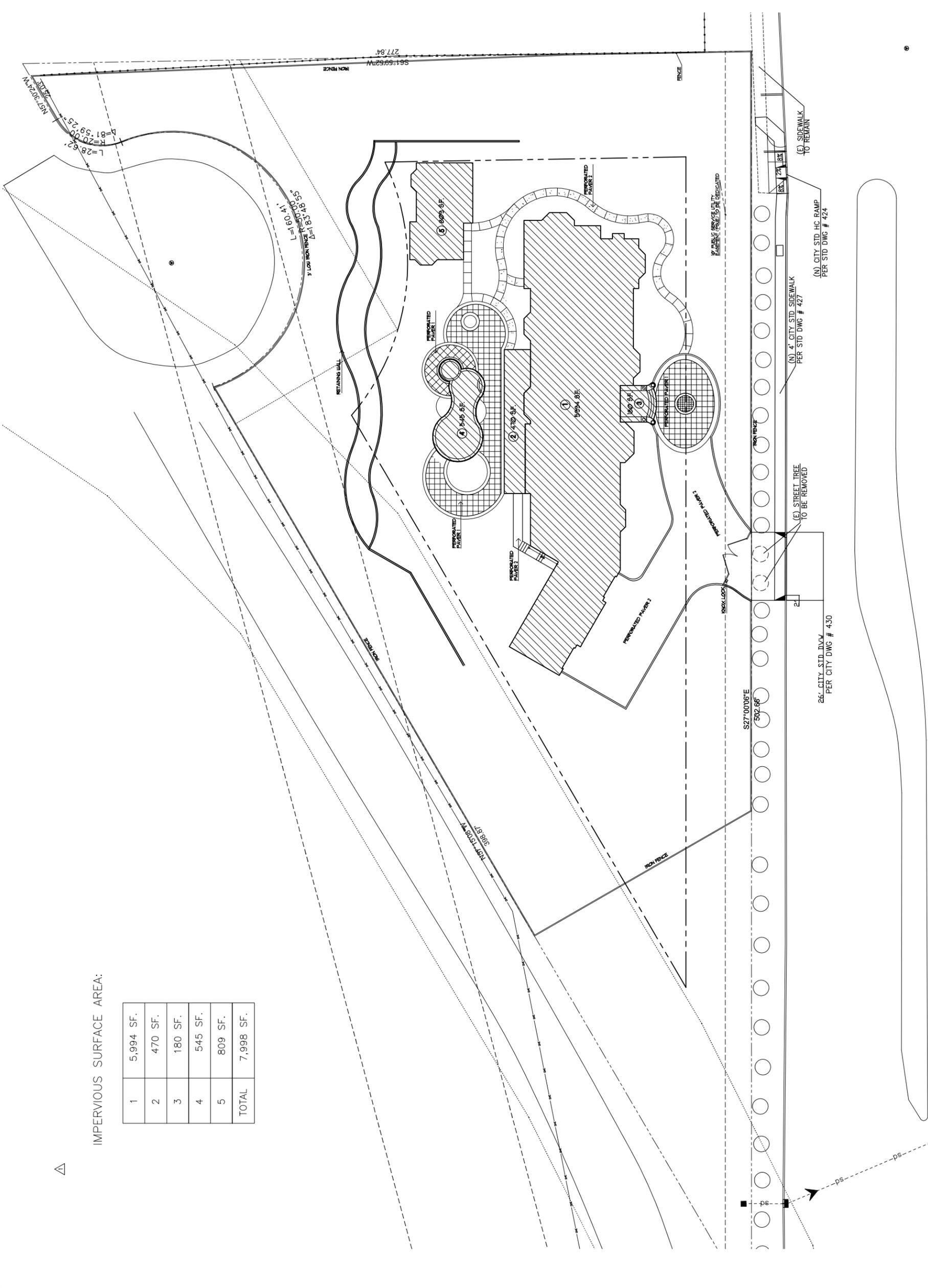
△ PLANNING REVISION 11-09-05

SHEET TITLE:
**IMPERVIOUS SURFACE
 CALCULATION**

DATE: SEPT. 13, 2005
 PROJECT NO.: 05-813
 SCALE: .
 DRAWN: JH/JW
 SHEET: A-1.1

IMPERVIOUS SURFACE AREA:

1	5,994 SF.
2	470 SF.
3	180 SF.
4	545 SF.
5	809 SF.
TOTAL	7,998 SF.



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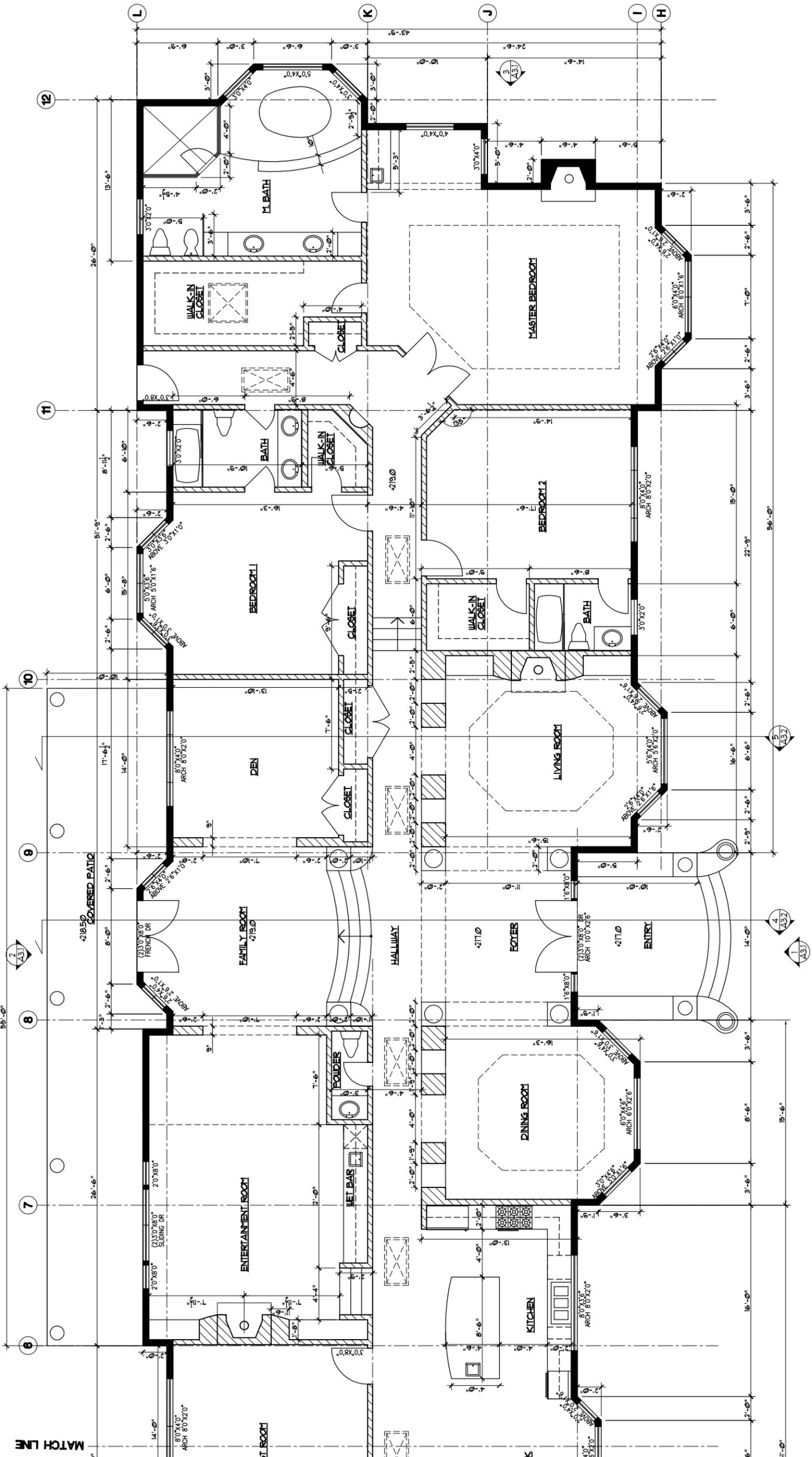
REVISIONS:

SHEET TITLE:
FLOOR PLAN 1

DATE: SEPT. 13, 2005
 PROJECT NO.: 05-013
 SCALE: DRAWN: JH/JW
 SHEET:

A-2.1

OF SHEETS



All escape or rescue windows shall have a minimum net clear operable area of 5.7 square feet. The minimum net clear operable height dimension shall be 24". The minimum net clear operable width dimension shall be 20". escape or rescue they shall have a finished sill height not more than 44 inches above the floor.

- NOTES:**
1. PROVIDE 5/8" TYPE "X" GYP. BD. @ ALL WALLS AND CEILING IN STORAGE RM UNDER STAIR
 2. PROVIDE W/R GREEN GYP. BD. @ AROUND SHOWER, TUBS PER UBC CHAPTER 25
 3. FURNACE COMBUSTION AIR TO COMPLY WITH 602 UMC
 4. WATER HEATER / FURNACE SHOULD BE STRAPPED & RAISED +18" OFF THE FLOOR PER UPC / UMC
 5. THE CEILING IN GARAGE AND FURNACE AND FLUES SHALL COMPLY WITH UBC CHAPTER 3
 6. VENTILATION @ LAUNDRY & WATER CLOSET ROOM TO COMPLY WITH UBC CHAPTER 3
 7. ALL ESCAPE WINDOWS TO COMPLY UBC 310.4
 8. EXTERIOR CONCRETE LANDING TO COMPLY UBC 1902
 9. ATTIC VENTILATION TO COMPLY UBC 1505
 10. CRAWL SPACE VENTILATION TO COMPLY UBC 2317.7
 11. FIRE PLACE TO COMPLY IBCO #3507 FM
 12. ALL BATH ROOM LIGHTS SHALL BE FLUORESCENT LIGHTS.
 13. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS.

LEGEND :

- WINDOWS**
- 2x4 or 2x6 WOOD STUDS @ 16" O.C. WITH 1/2" THK GYP. BD. ON BOTH SIDES
 - USE W/R GREEN GYP. BD. @ WET WALLS (CDX PLYWOOD OVER STUD @ SHEAR WALLS) S.S.D.
 - 2x4 OR 2x6 WOOD STUDS @ 16" O.C. WITH 1/2" THK. GYP. BD. ON INTERIOR SIDE. 7/8" CEMENT PLASTER OVER 2 LAYER GRADE "D" PAPER LATH OR WOOD SIDING OVER 1 1/2" BLDG. PAPER (SEE ELEMIONS FOR EXTERIOR FINISH)
 - 2x4 OR 2x6 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYP. BD. ON BOTH SIDES. (1/2" CDX PLYWOOD OVER STUD @ SHEAR WALLS)
 - * PROVIDE 2x6 @ ALL PLUMBING WALL LOAD BEARING WALL AS INDICATED ON STRUCT. DWG.
 - * TYPICAL ALL PLUMBING WALLS BEARING WALLS AND WALL EXCEED 10'-0" HIGH SHALL BE 2x6 STUDS @ 16" O.C.



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REVISIONS:

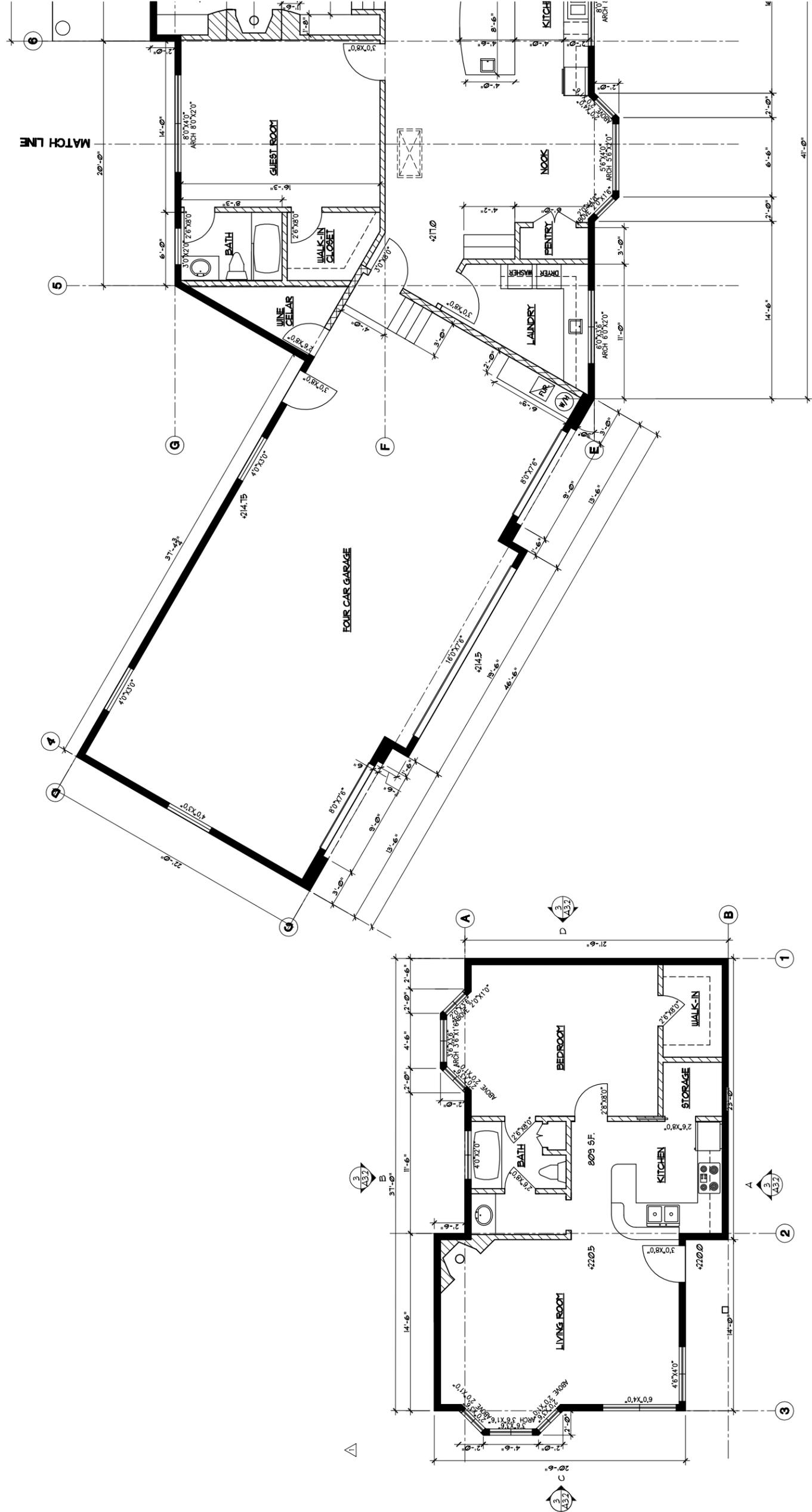
PLANNING REVISION 11-09-05

SHEET TITLE:
FLOOR PLAN 2

DATE: SEPT. 13, 2005
 PROJECT NO.: 05-013
 SCALE: DRAWN: JH/JW
 SHEET

A-2.2

OF SHEETS



All escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet. The minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of egress, the minimum height above the floor shall be 44 inches above the floor.

7. ALL ESCAPE WINDOWS TO COMPLY UBC 310.4
8. EXTERIOR CONCRETE LANDING TO COMPLY UBC 1902
9. ATTIC VENTILATION TO COMPLY UBC 1505
10. CRAWL SPACE VENTILATION TO COMPLY UBC 2317.7
11. FIRE PLACE TO COMPLY CBO #3507 FMI
12. ALL BATH ROOM LIGHTS SHALL BE FLUORESCENT LIGHTS.
13. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS.

1. PROVIDE 5/8" TYPE "X" GYP. BD. @ ALL WALLS AND CEILING IN STORAGE RM UNDER STAIR
2. PROVIDE W/R GREEN GYP. BD. @ AROUND SHOWER, TUBS PER UBC CHAPTER 25
3. FURNACE COMBUSTION AIR TO COMPLY WITH 602 UMC
4. WATER HEATER / FURNACE SHOULD BE STRAPPED & RASSED +18" OFF THE FLOOR PER UPC / UMC
5. THE CEILING IN GARAGE AND FURNACE AND FLUES SHALL COMPLY WITH UBC CHAPTER 3
6. VENTILATION @ LAUNDRY & WATER CLOSET ROOM TO COMPLY WITH UBC CHAPTER 3

LEGEND :

- WINDOWS**
- 2x4 or 2x6 WOOD STUDS @ 16" O.C. WITH 1/2" PAPER LATH OR WOOD SIDING OVER 1 1/2" THK. GYP. BD. ON INTERIOR SIDE. 7/8" CEMENT PLASTER OVER 2 LAYER GRADE OVER 1/2" CDX PLYWOOD EXTERIOR SIDE PAINTED. (SEE ELEVATIONS FOR EXTERIOR FINISH)
 - 2x4 OR 2x6 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" GYP. BD. ON BOTH SIDES. (1/2" CDX PLYWOOD OVER STUD @ SHEAR WALLS)
 - * PROVIDE 2x6 @ ALL PLUMBING WALL LOAD BEARING WALL AS INDICATED ON STRUCT. DWG.
 - * TYPICAL ALL PLUMBING WALLS BEARING WALLS AND WALL EXCEED 10'-0" HIGH SHALL BE 2x6 STUDS @ 16" O.C.

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REVISIONS:

△ PLANNING REVISION 11-09-05

SHEET TITLE:
ROOF PLAN

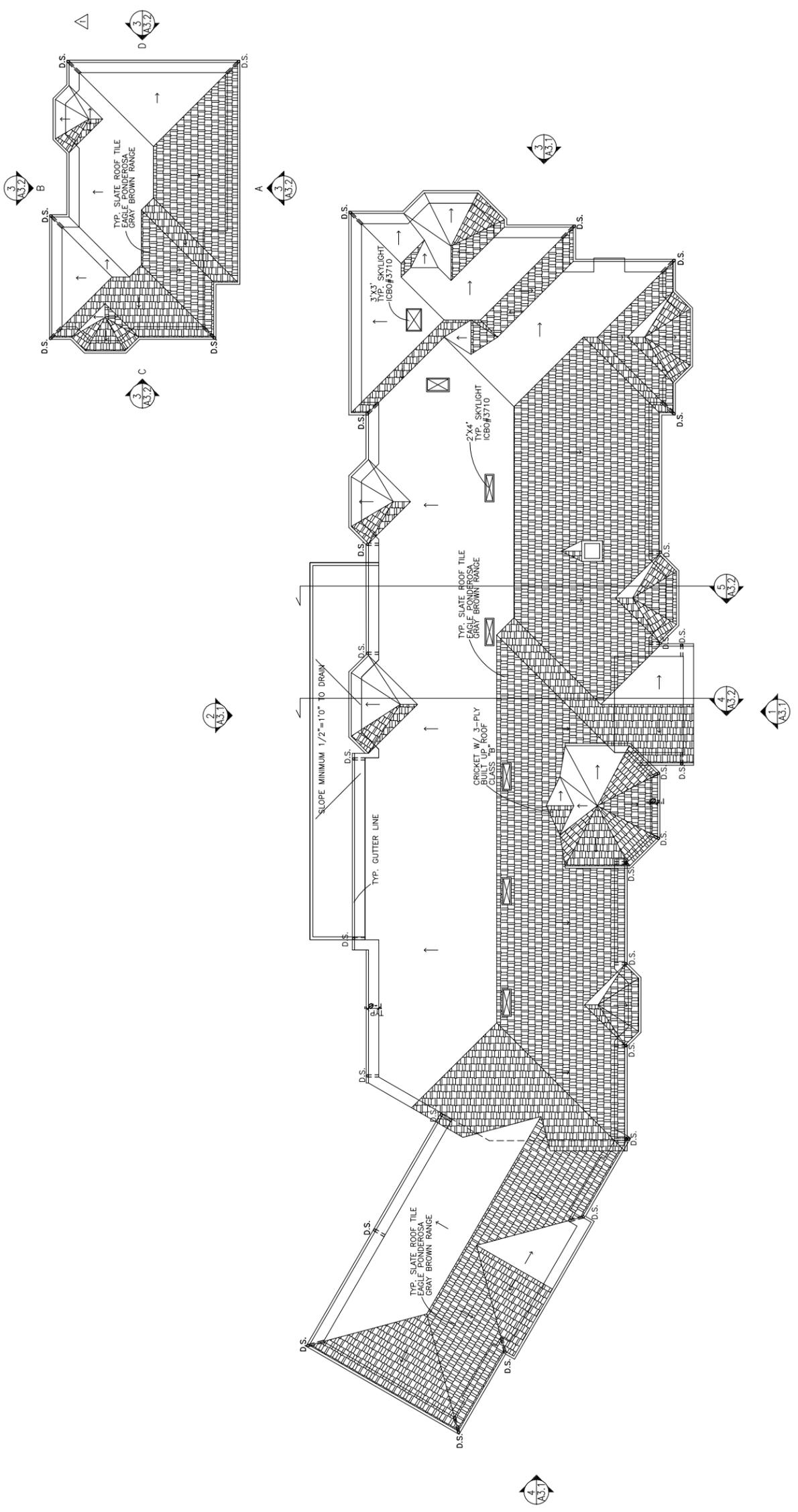
PROJECT NO. 08-813
 DATE SEPT. 13, 2005
 SCALE .
 DRAWN JH/JW
 SHEET

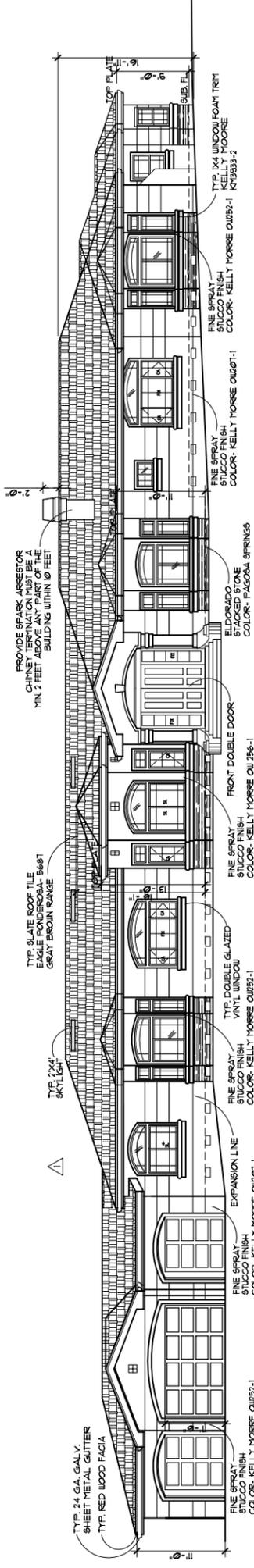
A-2.3

OF SHEETS

1/8"

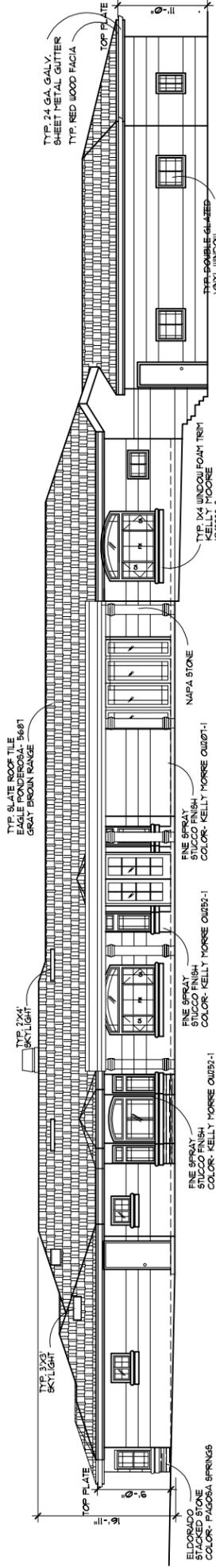
ROOF PLAN





FRONT ELEVATION

1/8" 1



FRONT ELEVATION

1/8" 2



LEFT ELEVATION

1/8" 3

RIGHT ELEVATION

1/8" 4



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REVISIONS:

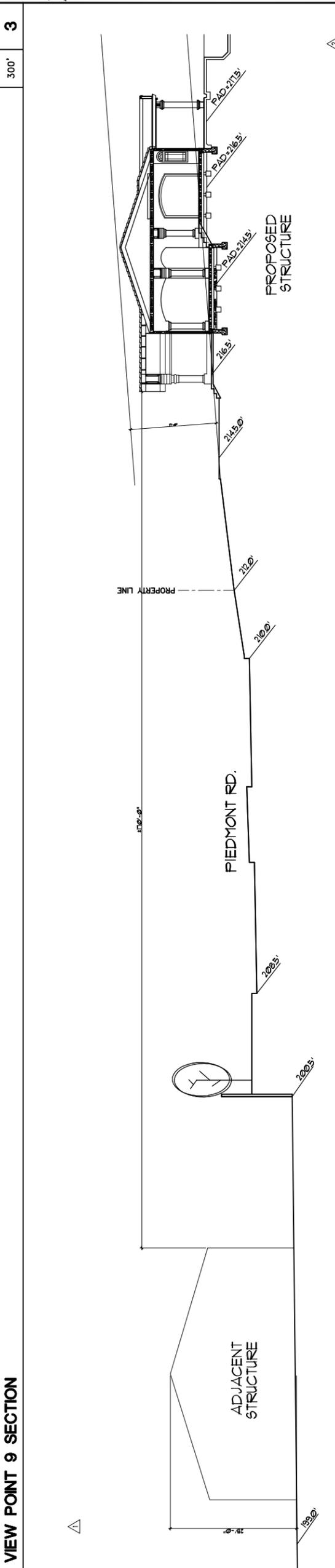
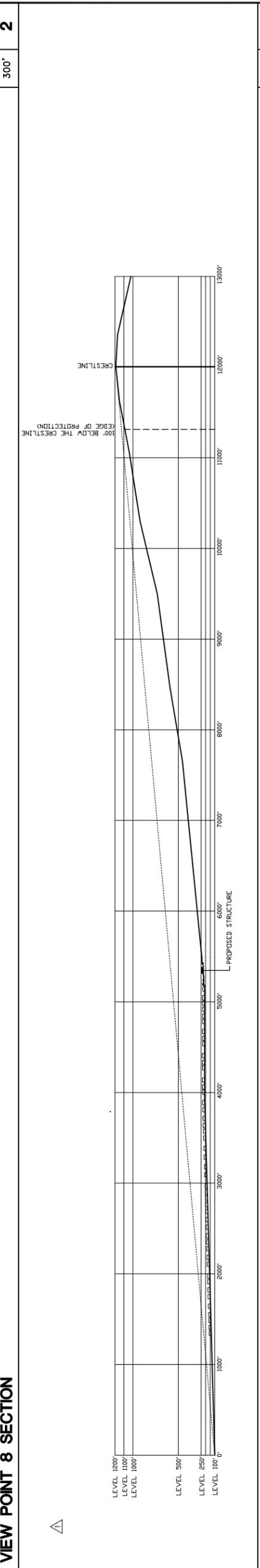
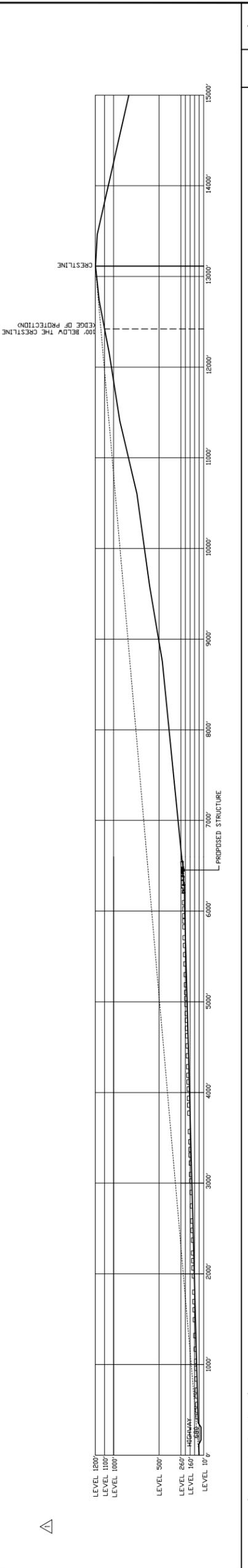
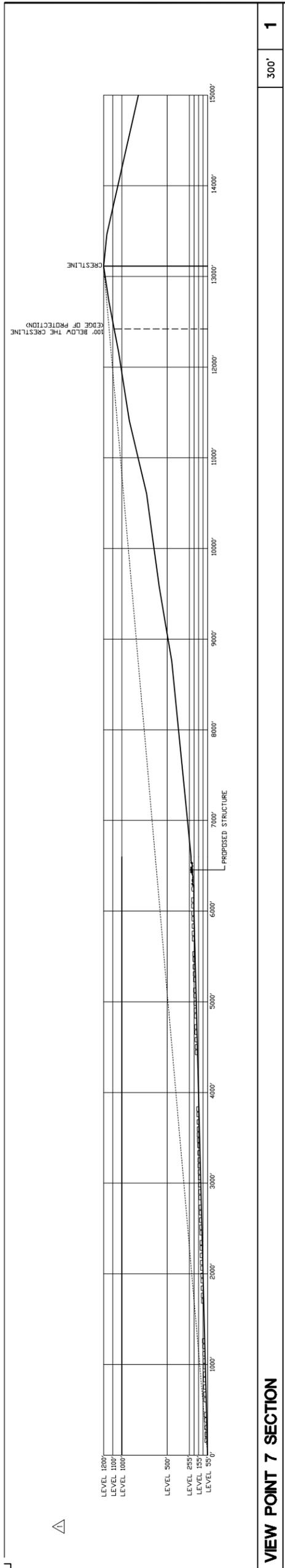
- △ PLANNING REVISION 11-09-05
- △ PLANNING REVISION 02-02-06

SHEET TITLE:
VIEW POINT SECTIONS

DATE: SEPT. 13, 2005
 PROJECT NO.: 05-873
 SCALE: .
 DRAWN: JH/JW
 SHEET

A-3.3

OF SHEETS



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		CONTOUR
		WATER LINE
		STORM DRAIN LINE
		SANITARY SEWER LINE
		OVERHEAD UTILITIES WITH POLE
		GAS LINE
		STREET LIGHT VAULT
		SANITARY SEWER CLEANOUT
		MANHOLE
		CONCRETE MONUMENT IN WELL
		ELECTROLIER
		WATER METER
		TREE WITH TRUNK
		6' WOODEN FENCE
		SPOT ELEVATION
		EARTH SWALE, 1% MIN. AROUND HOUSE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
		1% MIN. FROM PROPERTY LINE TO SWALE

ABBREVIATIONS

AB.	AGGREGATE BASE	G	GRADE
AC	ASPHALT CONCRETE	GB	GRADE BREAK
AD	AREA DRAIN	GFF	FINISH GRADE AT FRONT OF GARAGE
BOW	GRADE AT BOTTOM OF WALL	HP	HIGH POINT
C	CONCRETE	INV	INVERT
CB	CATCH BASIN	(N)	NEW
CL	CHAIN LINK	P	PAVEMENT
CF	FINISH GRADE AT BACK OF GARAGE	PCC	PORTLAND CEMENT CONCRETE
CMB	CONCRETE MASONRY BLOCK	TC	TOP OF CURB
CPP	CORRUGATED PLASTIC PIPE	TG	TOP OF GATE
CRB-OP	CURB OPENING	TOS	TOP OF SLOPE
DRW	DRIVEWAY	TOW	TOP OF WALL
(E)	EXISTING	S.C.V.M.D.	SANTA CLARA VALLEY WATER DISTRICT
FF	FINISH FLOOR	SSB	SIDE SETBACK
FG	FINISH GRADE	SSCO	SANITARY SEWER CLEAN OUT
FL	FLOW LINE	SLD	SUBDRAIN PIPE
		WLK	WALKWAY

SHEET INDEX:

- C-1 GRADING AND DRAINAGE PLAN
- C-2 ON SITE UTILITY PLAN
- C-3 ON SITE CROSS SECTIONS, DETAILS
- C-4 PRELIMINARY OFF SITE IMPROVEMENT PLAN
- C-5 OFF SITE SANITARY SEWER PROFILE
- C-6 EROSION CONTROL

(N) FENCE NOTE:
 UP HILL PROPERTY FENCES NEXT TO THE CUL-DE-SAC AND OLD PIEDMONT ROAD SHOULD NOT BLOCK THE NATURAL WATER FLOW.
 PROVIDE 6" CLEARANCE FROM ORIGINAL GROUND TO THE BOTTOM OF THE NEW FENCE.
 USE HOT DEEP GALVANIZED CHAIN LINK/ WIRE MESH AT THE BOTTOM OF FENCE TO PREVENT PETS AND SMALL ANIMALS.

SLOPE DENSITY CALCULATION:

NET AREA = 61,566 SQ. FT
 AVERAGE SLOPE = 1/A x SUM (L)
 WHERE:
 SUM(L) = 3,335 FEET (TOTAL LENGTH OF CONTOURS)
 AVERAGE SLOPE = 2 x 3,335 x 100 / 61,566
 AVERAGE SLOPE = 10.8%

NOTES

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
- BASIS OF ELEVATION IS THE ASSUMED ELEVATION ON INVERT OF THE STORM DRAIN MANHOLE ON PIEDMONT RD. & CRESTHAVEN AVE. WITH ELEV. 192.13 PER CITY UTILITY PLAN.
- BASIS OF BEARINGS - THE BEARINGS BETWEEN MONUMENTS ON LANDRESS AVE. WAS TAKEN AS S 61°59'52"W, AS SHOWN ON TRAC MAP 7943 FILED ON DEC. 19, 1986.
- THIS SURVEY WAS BASED UPON A ALANCE TITLE COMPANY OR No: 15177588, DATED MARCH 10, 2000.

PHUNG RESIDENCE
 1000 PIEDMONT ROAD
 MILPITAS, CA 95035
GRADING AND DRAINAGE PLAN

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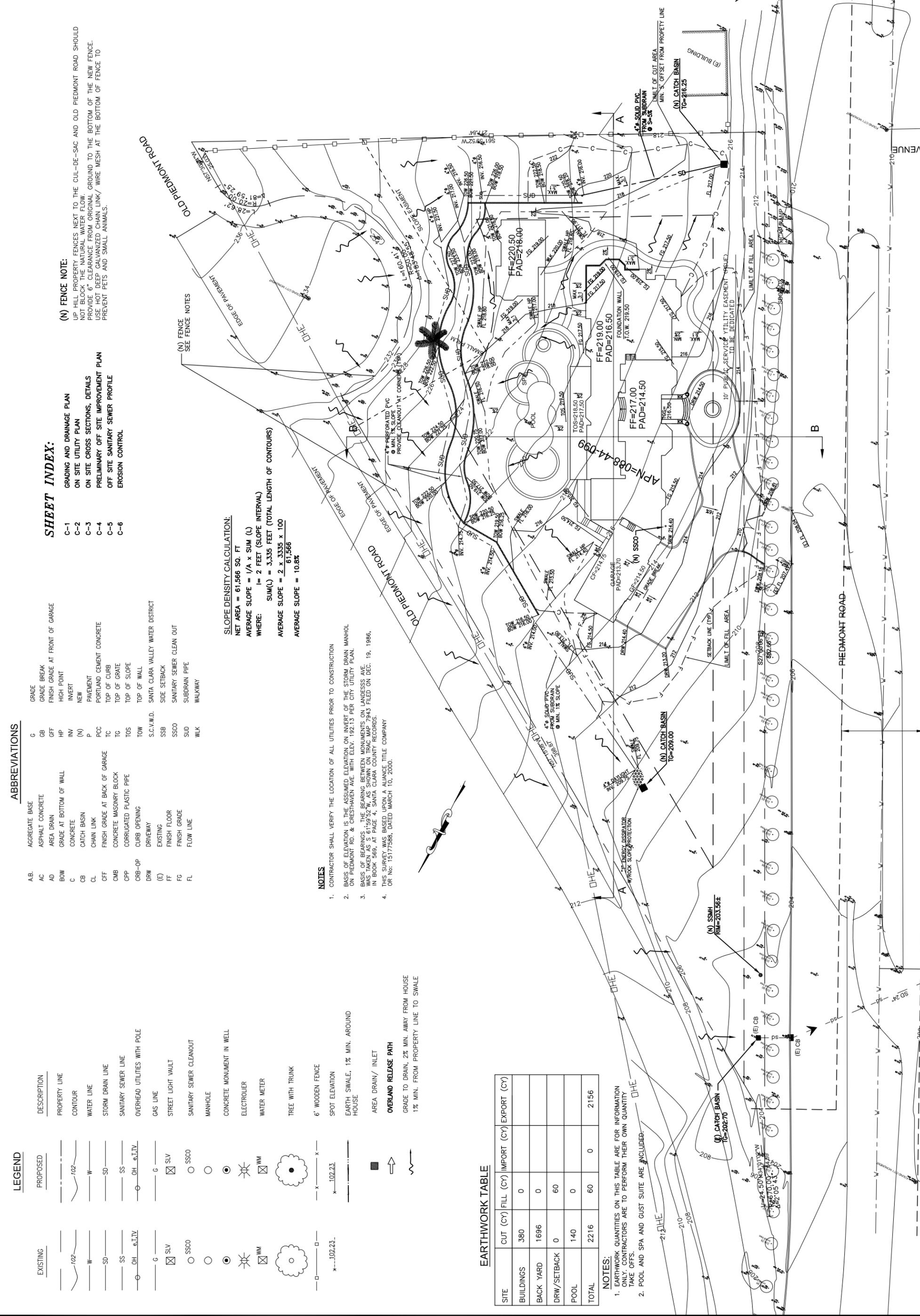
OWNER:
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 SAN JOSE, CA 95120

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 CIVIL ENGINEERS

EARTHWORK TABLE

SITE	CUT (CY)	FILL (CY)	IMPORT (CY)	EXPORT (CY)
BUILDINGS	380	0	0	0
BACK YARD	1696	0	0	0
DRW/SETBACK	0	60	0	0
POOL	140	0	0	0
TOTAL	2216	60	0	2156

- NOTES:**
- EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.
 - POOL AND SPA AND GUEST SUITE ARE INCLUDED.



Date: FEBRUARY 20, 2006
 Scale: 1" = 20'
 Designed by: S.R.
 Drawn by: AM
 Job #: 25111
 Sheet:

UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. CONNECT SANITARY SEWER AND WATER LINES TO EXISTING STREET LATERALS.
3. CONNECT GAS AND ELECTRIC LINES TO EXISTING STREET LATERALS, PER PG&E STANDARDS.
4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
5. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
6. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER/



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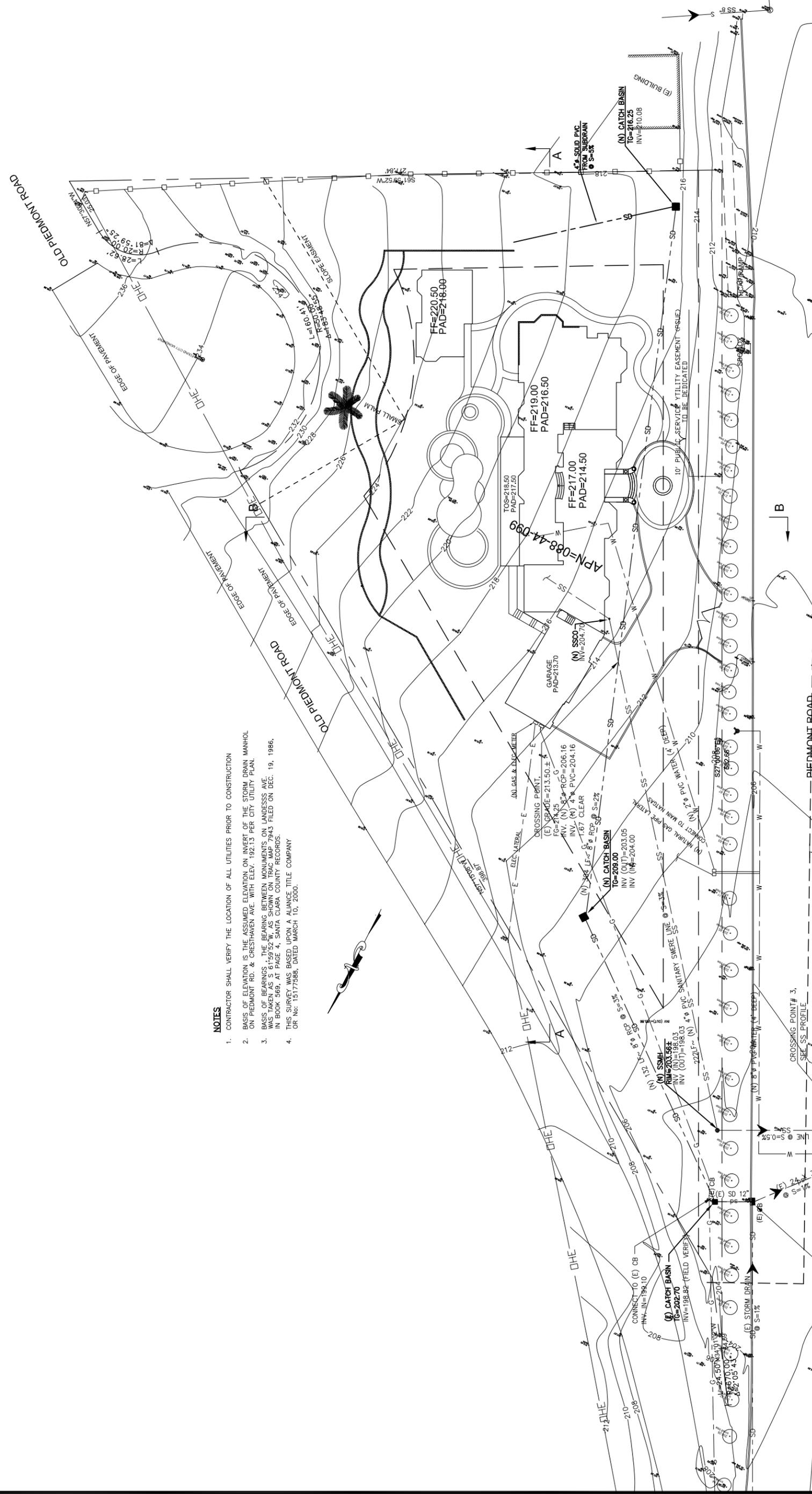
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PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035
ON SITE UTILITY PLAN

Revisions:

Date: FEBRUARY 20, 2006
Scale: 1" = 20'
Designed by: S.R.
Drawn by: AM
Job #: 25111
Sheet: C-2



NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
2. BASIS OF ELEVATION IS THE ASSUMED ELEVATION ON INVERT OF THE STORM DRAIN MANHOLE ON PIEDMONT RD. & CRESTHAVEN AVE. WITH ELEV. 192.15 PER CITY UTILITY PLAN.
3. BASIS OF BEARINGS IS THE BEARING BETWEEN MONUMENTS ON LANDESS AVE. IN SANITARY RECORDS AS SHOWN ON MAPS 443 FILED ON DEC. 19, 1986, IN BOOK 869, AT PAGE 4, SANTA CLARA COUNTY RECORDS.
4. THIS SURVEY WAS BASED UPON A ALMANAC TITLE COMPANY OR NO. 151775861, DATED MARCH 10, 2006.



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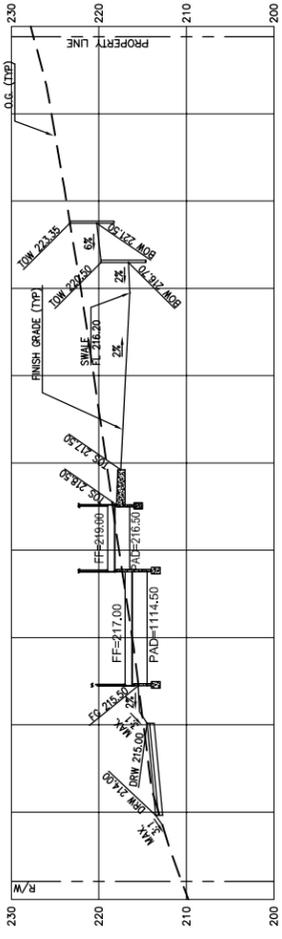
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PHUNG RESIDENCE
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 CROSS SECTIONS, DETAILS

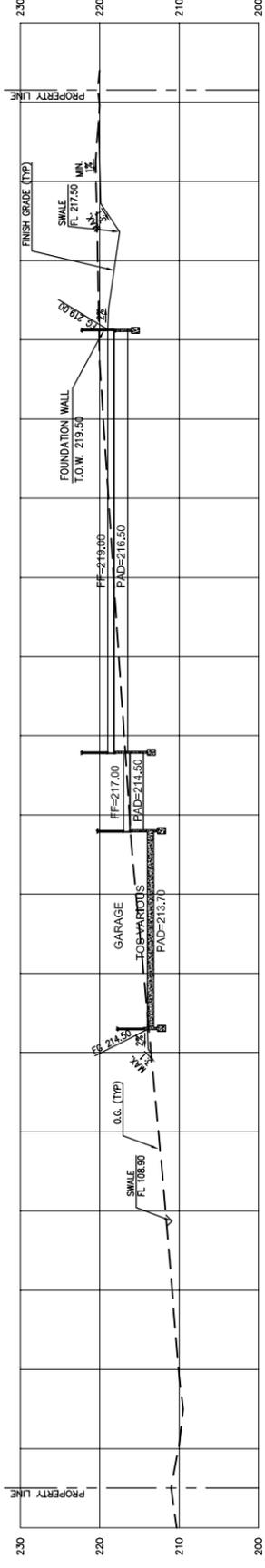
Revisions:

Date: FEBRUARY 20, 2006
 Scale: AS SHOWN
 Designed by: S.R.
 Drawn by: AM
 Job #: 25111
 Sheet:

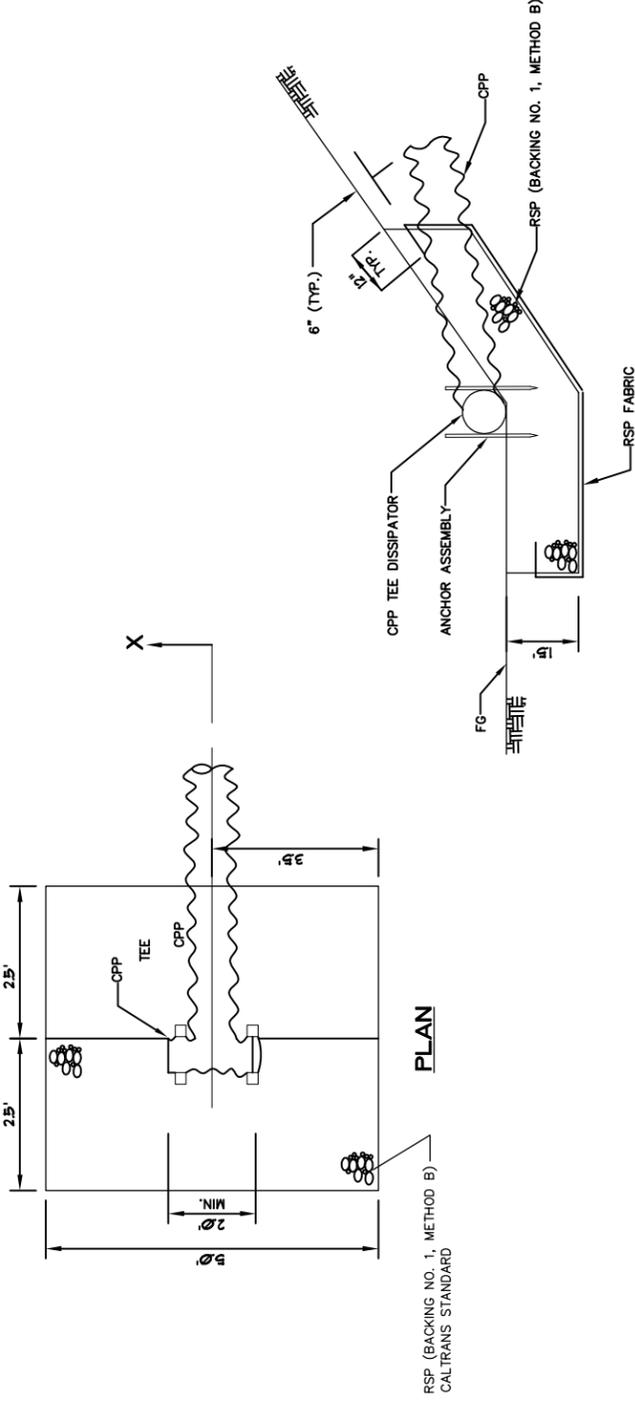


SECTION B-B
 SCALE H: 1"=20'
 SCALE V: 1"=10'

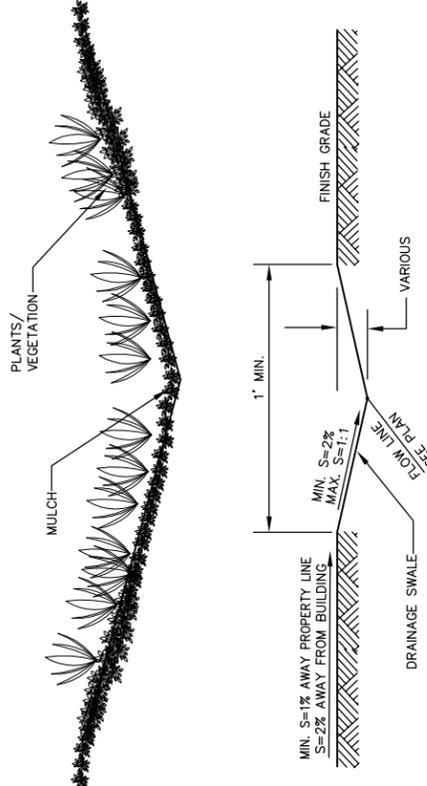
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SECTION A-A
 SCALE H: 1"=20'
 SCALE V: 1"=10'



SECTION X-X



BIOSWALE DETAIL
 NTS

ROCK SLOPE PROTECTION AND TEE ENERGY DISSIPATOR
 NTS



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OFF SITE SANITARY SEWER PROFILE

Revisions:

Date: FEBRUARY 20, 2006

Scale: AS NOTED

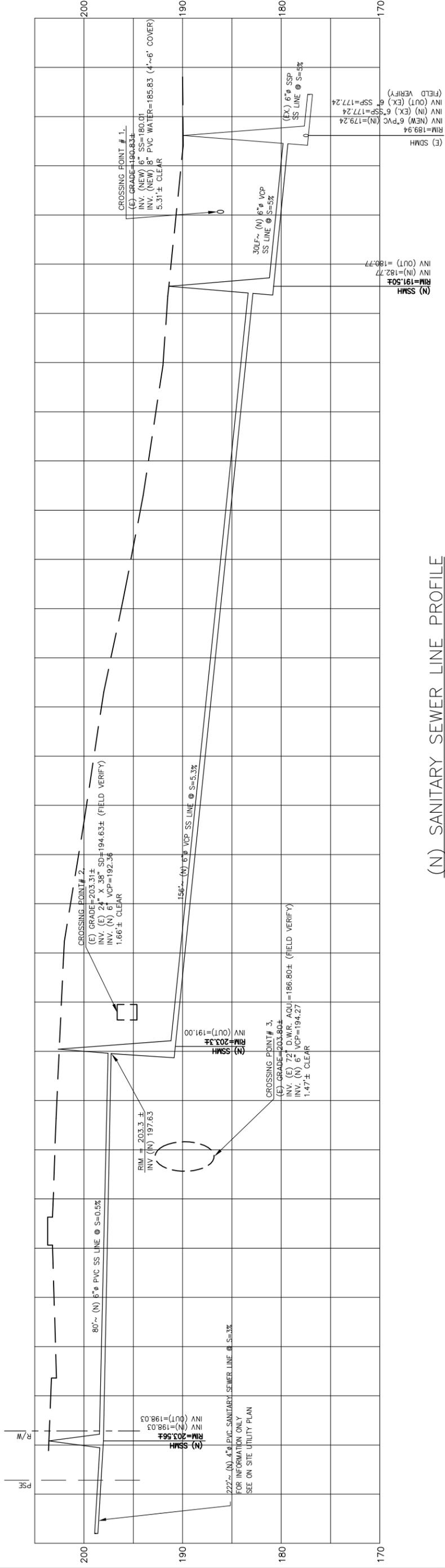
Designed by: S.R.

Drawn by: AM

Job # 25111

Sheet:

C-5



(N) SANITARY SEWER LINE PROFILE
SCALE H: 1"=10'
SCALE V: 1"=5'

Record Drawings		Revisions	
To be completed prior to acceptance of work by the City		Nurr.	Description
Signature and Seal	Date	City	Engr.
P.E. No.	Exp.	Aprv.	Date
Public Works Inspector:			
Public Improvements Initially Accepted by			
the City Council on:			

CITY OF MILPITAS ENGINEERING DIVISION	
Approved:	Project No.
City Engineer	Drawing No.
Any changes to public improvements shall be approved by the City engineer	EP. No.
Recommended for approval:	
Fire Dept. Date:	Sheet ___ of ___
Engineering Date:	

OWNER:

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CIVIL ENGINEERS

PHUNG RESIDENCE
1000 PIEDMONT ROAD
MILPITAS, CA 95035
EROSION CONTROL PLAN

Revisions:

Revisions:

Date: JANUARY 23, 2006
Scale: AS NOTED
Designed by: S.R.
Drawn by: AM
Job #: 25111
Sheet: C-6

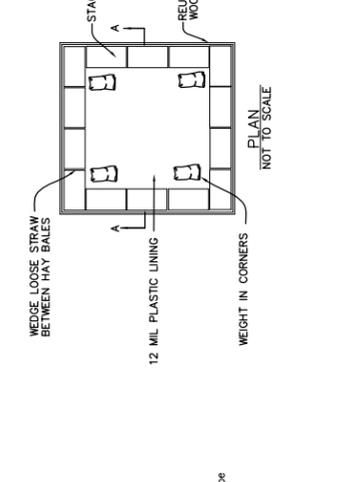
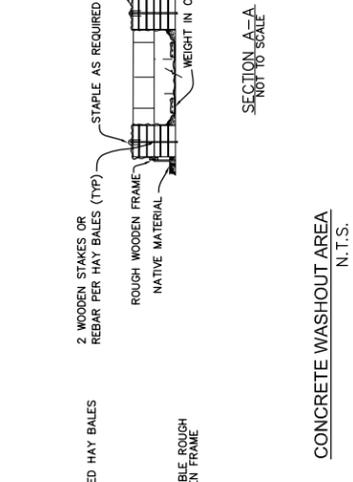
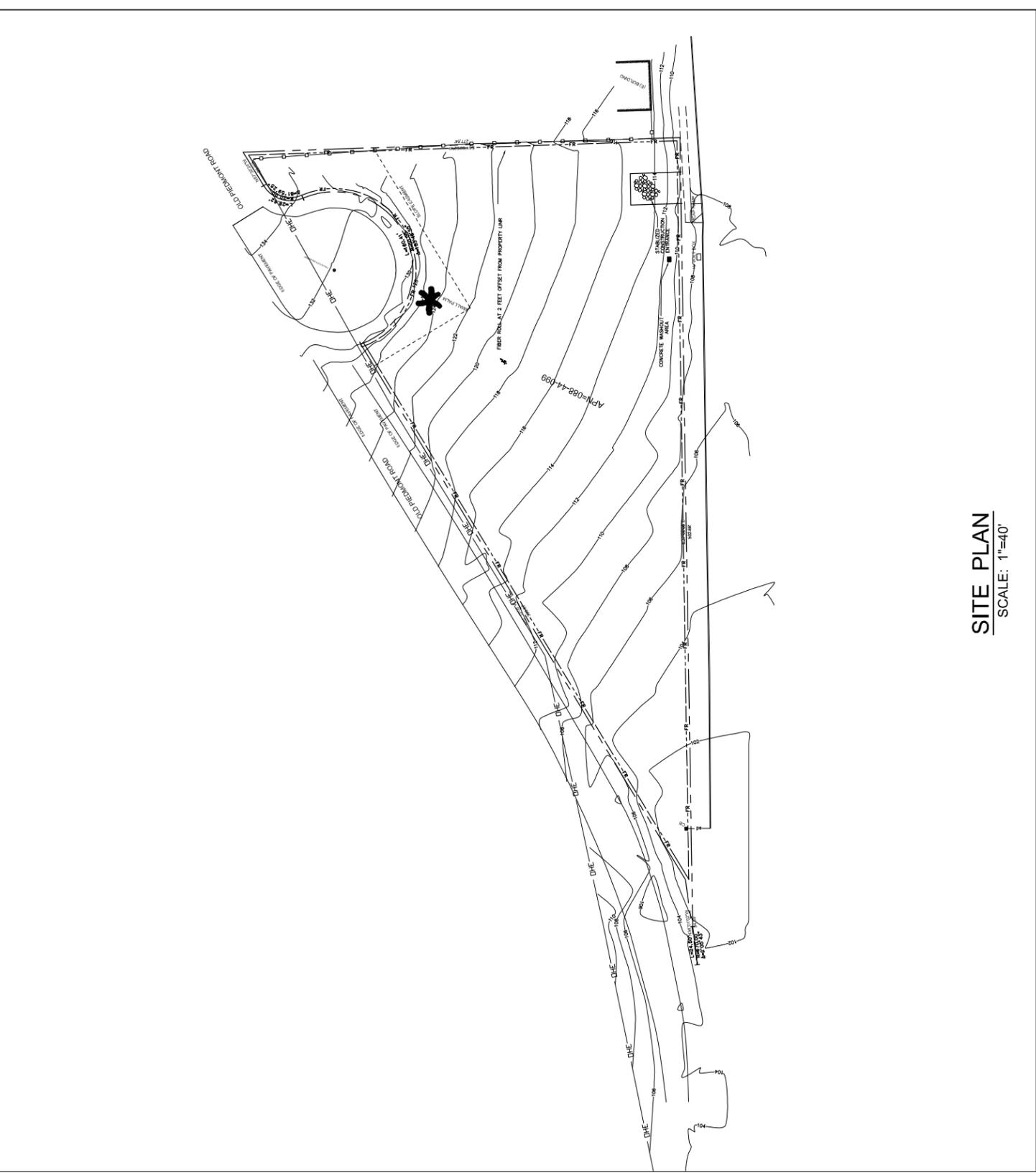
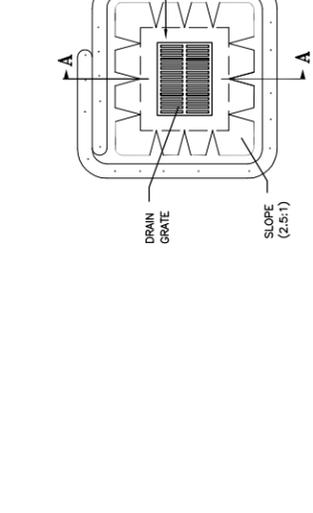
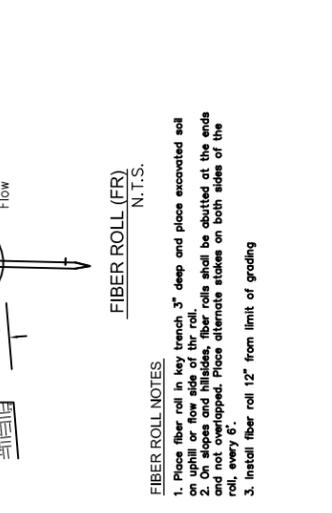
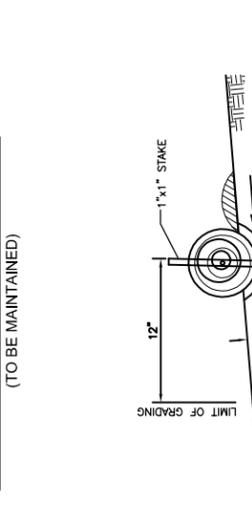
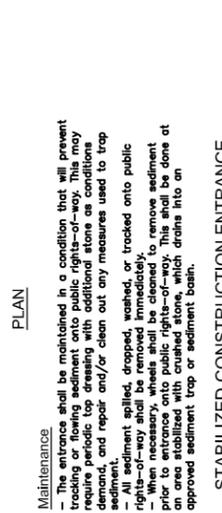
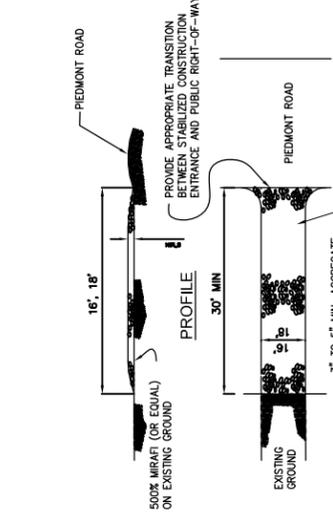
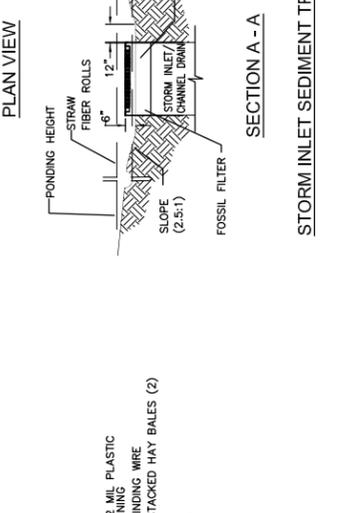
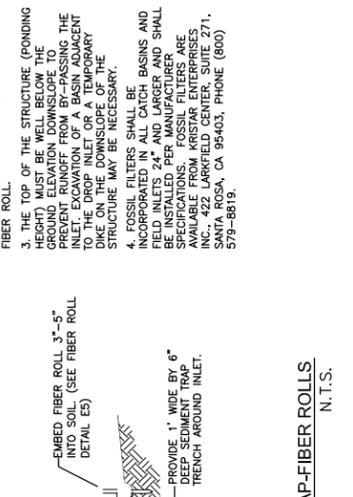
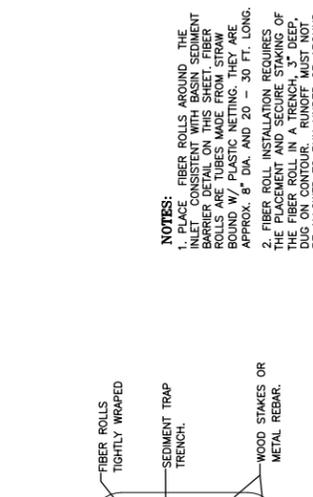
- EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**
- The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 15 to April 15. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
 - This plan covers only the first winter following grading with erosion control measures. The erosion control plan shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
 - Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
 - This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
 - This plan is intended to be used for final elevations or permanent improvements. Only and is not to be used for final elevations or permanent improvements.
 - Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.
 - Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, or other substances over any public street, alley or other public place. Should any vehicle spill, track over, or upon said public or adjacent private property, immediately remedy shall occur.
 - Sanitary facilities shall be maintained on the site.
 - During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
 - Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
 - Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
 - With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.
 - The contractor shall implement year-round Best Management Practices, regarding the discharge of non-storm water runoff into the drainage system.

- MAINTENANCE NOTES**
- Maintenance is to be performed as follows:
 - Repair damages caused by soil erosion or construction at the end of each working day.
 - Swales shall be inspected periodically and maintained as needed.
 - Sediment traps, berms, and swales to be inspected after each storm and repairs made as needed.
 - Sediment shall be removed and sediment traps restored to a depth of original dimensions when sediment has accumulated to a depth of one foot.
 - Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - Rills and gullies must be repaired.
 - All existing drainage inlets on Piedmont Road, around the project site shall be protected with sand bags during construction. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.

- FIBER ROLL NOTES**
- Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
 - On slopes and hillside, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
 - Install fiber roll 12" from limit of grading.

- STABILIZED CONSTRUCTION ENTRANCE**
(TO BE MAINTAINED)
- Maintenance
- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
 - All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
 - When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at the entrance with water hoses and wheel washers that drain into an approved sediment trap or sediment basin.

- NOTES:**
- PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT CAPACITY. FIBER ROLLS MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
 - FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, AND CONTAINMENT OF THE FIBER ROLL BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
 - THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE STRUCTURE. TEMPORARY DIKE OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
 - FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES LABORATORY CENTER, 2501 ZEPHYRUS AVENUE, SANTA ROSA, CA 95405, PHONE (866) 579-8819.



STORM INLET SEDIMENT TRAP-FIBER ROLLS
N.T.S.

CONCRETE WASHOUT AREA
N.T.S.

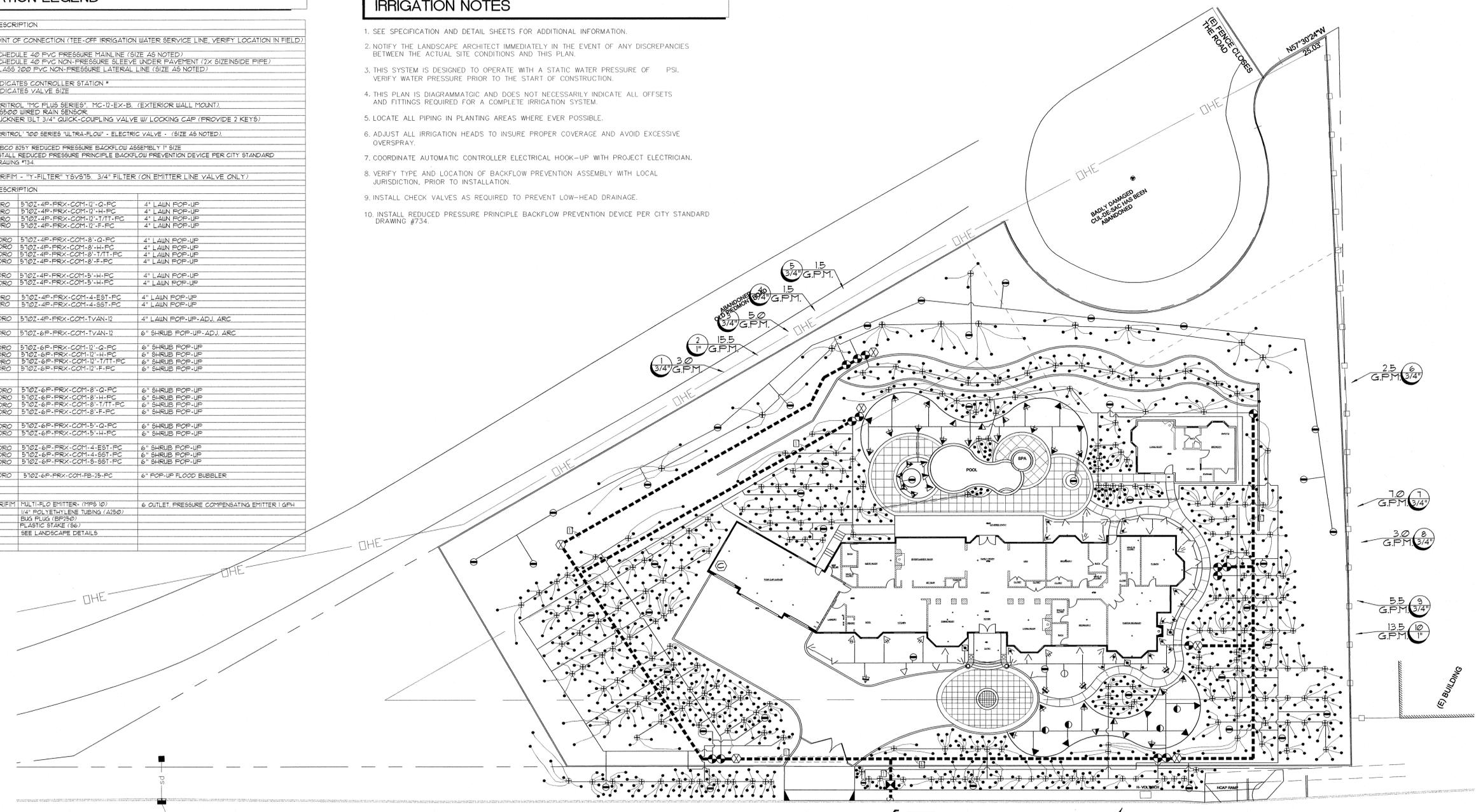
TEMPORARY COVER ON TOPSOIL STOCKPILE
N.T.S.

IRRIGATION LEGEND

KEY	DESCRIPTION
(POC)	POINT OF CONNECTION (TEE-OFF IRRIGATION WATER SERVICE LINE, VERIFY LOCATION IN FIELD)
---	SCHEDULE 40 PVC PRESSURE MAIN LINE (SIZE AS NOTED)
---	SCHEDULE 40 PVC NON-PRESSURE SLEEVE UNDER PAVEMENT (2X SIZE/INSIDE PIPE)
---	CLASS 200 PVC NON-PRESSURE LATERAL LINE (SIZE AS NOTED)
(C)	INDICATES CONTROLLER STATION *
(V)	INDICATES VALVE SIZE
(M)	IRRITROL "MC PLUS SERIES" MC-12-EX-B (EXTERIOR WALL MOUNT)
(R)	R5500 WIRED RAIN SENSOR
(X)	BUCKNER 1.5L 3/4" QUICK-COUPING VALVE W/ LOCKING CAP (PROVIDE 7 KEYS)
(E)	IRRITROL "100 SERIES" ULTRA-FLOW - ELECTRIC VALVE - (SIZE AS NOTED)
(B)	REBO 8151 REDUCED PRESSURE BACKFLOW ASSEMBLY 1" SIZE
(P)	INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE PER CITY STANDARD DRAWING #134
(F)	AGRIFIM "Y-FILTER" Y5V515 3/4" FILTER (ON EMITTER LINE VALVE ONLY)
KEY	DESCRIPTION
(TORO)	5102-4P-FRX-COM-12-Q-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-12-H-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-12-T/TT-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-12-F-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-8-Q-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-8-H-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-8-T/TT-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-8-F-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-5-H-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-5-H-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-4-EST-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-4-SS1-PC 4" LAWN POP-UP
(TORO)	5102-4P-FRX-COM-TVAN-12 4" LAWN POP-UP-ADJ. ARC
(TORO)	5102-6P-FRX-COM-TVAN-12 6" SHRUB POP-UP-ADJ. ARC
(TORO)	5102-6P-FRX-COM-12-Q-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-12-H-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-12-T/TT-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-12-F-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-8-Q-PC 6" SHRUB POP-UP
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(TORO)	5102-6P-FRX-COM-5-H-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-4-EST-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-4-SS1-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-5-SS1-PC 6" SHRUB POP-UP
(TORO)	5102-6P-FRX-COM-FB-75-PC 6" POP-UP FLOOD BUBBLER
(AGRIFIM)	MULTI-FLO EMITTER (MP5 10) 6" OUTLET, PRESSURE COMPENSATING EMITTER 1 GPH
(1/4")	1/4" POLYETHYLENE TUBING (A230)
(B)	BUG PLUG (BP250)
(S)	PLASTIC STAKE (S6)
(L)	SEE LANDSCAPE DETAILS

IRRIGATION NOTES

- SEE SPECIFICATION AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE ACTUAL SITE CONDITIONS AND THIS PLAN.
- THIS SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF PSI. VERIFY WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND DOES NOT NECESSARILY INDICATE ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
- LOCATE ALL PIPING IN PLANTING AREAS WHERE EVER POSSIBLE.
- ADJUST ALL IRRIGATION HEADS TO INSURE PROPER COVERAGE AND AVOID EXCESSIVE OVERSPRAY.
- COORDINATE AUTOMATIC CONTROLLER ELECTRICAL HOOK-UP WITH PROJECT ELECTRICIAN.
- VERIFY TYPE AND LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH LOCAL JURISDICTION, PRIOR TO INSTALLATION.
- INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW-HEAD DRAINAGE.
- INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE PER CITY STANDARD DRAWING #734.



IRRIGATION PIPE SIZING CHART

CLASS 200	
1/2"	0-4 GPM
3/4"	5-9 GPM
1"	10-16 GPM
1-1/4"	17-26 GPM
1-1/2"	27-35 GPM
2"	36-55 GPM

SCHEDULE 40	
1/2"	0-4 GPM
3/4"	5-8 GPM
1"	9-16 GPM
1-1/4"	16-22 GPM
1-1/2"	23-30 GPM
2"	31-50 GPM

ANNUAL IRRIGATION REQUIREMENT

28,668 SQUARE FEET TOTAL LANDSCAPE WITH IRRIGATION
 49,856 GALLONS PER YEAR FOR ESTABLISHED PLANT MATERIAL

REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 477 SOUTH TAAFFE STREET
 SUNNYVALE, CALIFORNIA 94086
 408.481.9020 / 408.481.9022 FAX
 web: www.raia.net / email: reed@raia.net

PHUNG NGUYEN RESIDENCE

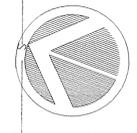
1671 CANYON VIEW DR.
 SAN JOSE, CA 95132

ISSUE	DATE



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Approved: pjr
 Drawn: DGS
 Project No.: 03.xx
 Scale: 1"=20'
 Reviewed: pjr
 Issue Date: 7/28/05



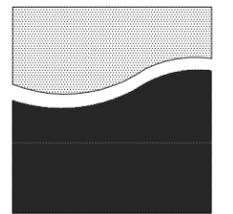
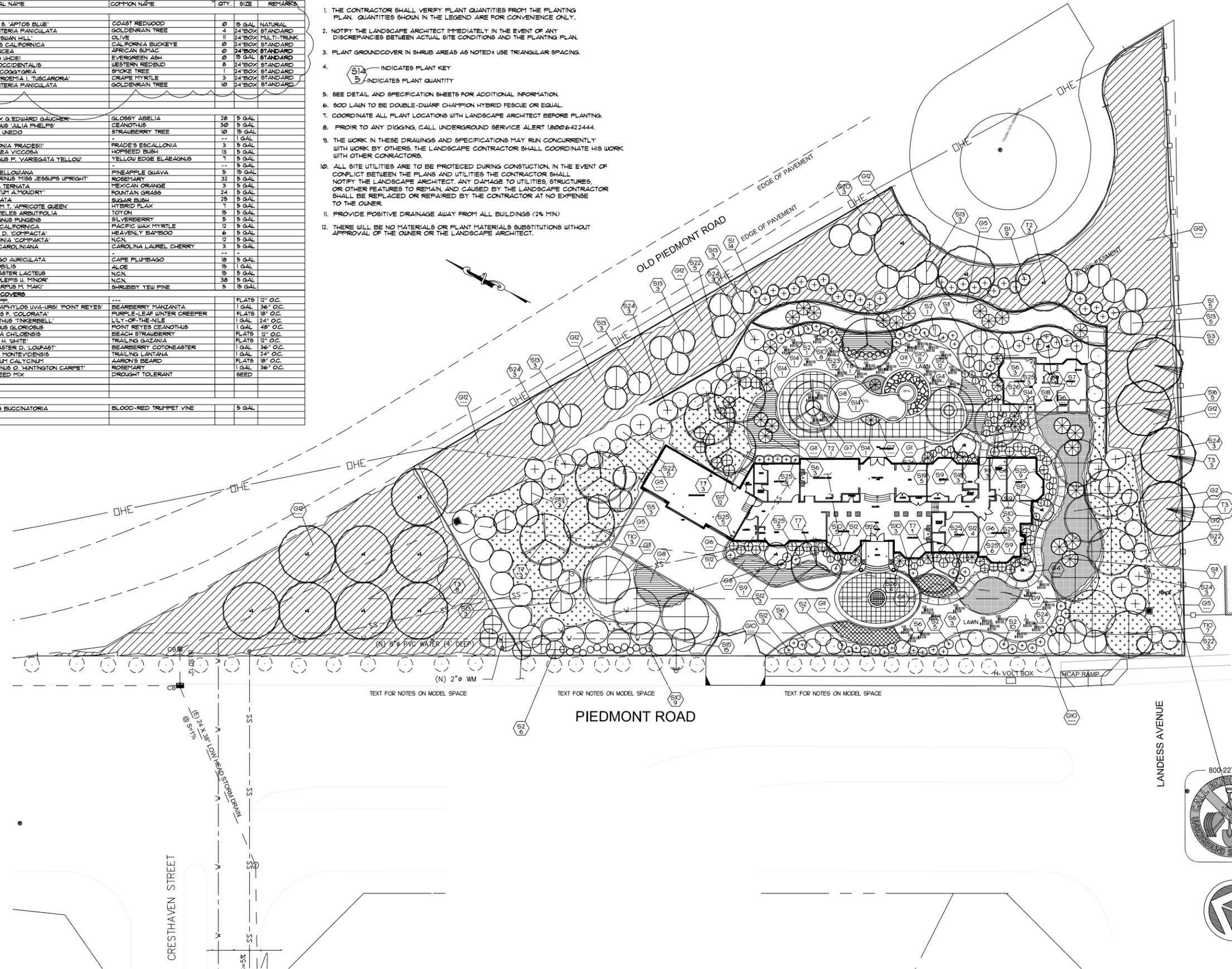
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PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
T1	SEQUOIA S. 'AFTOS BLUE'	COAST REDWOOD	0	15 GAL	NATURAL
T2	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	4	24" BOX	STANDARD
T3	OLEA E. 'SWAN HILL'	OLIVE	11	24" BOX	MULTI-TRUNK
T4	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	0	24" BOX	STANDARD
T5	RHUS LANCEA	AFRICAN SUMAC	0	24" BOX	STANDARD
T6	FRAXINUS UNDULATA	EVERGREEN ASH	0	15 GAL	STANDARD
T7	CERCIS OCCIDENTALIS	WESTERN REDBUD	8	24" BOX	STANDARD
T8	COTINUS COGGYGARIA	SMOKE TREE	1	24" BOX	STANDARD
T9	LAGERSTROEMIA I. 'TUSCARORA'	CRAPE MYRTLE	3	24" BOX	STANDARD
T10	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	10	24" BOX	STANDARD
SHRUBS					
S1	ABELIA X G. 'EDWARD GAUCHER'	GLOSSY ABELIA	20	5 GAL	
S2	CEANOTHUS 'JULIA PHELPS'	CEANOTHUS	30	5 GAL	
S3	ARBUTUS UNEDO	STRAUBERRY TREE	10	15 GAL	
S4	ESCALLONIA 'TRADESII'	TRADE'S ESCALLONIA	3	5 GAL	
S5	DODONAEA VICOOSA	HOPBEEB BUSH	13	5 GAL	
S6	ELAEAGNUS P. 'VARIEGATA YELLOW'	YELLOW EDGE ELAEAGNUS	7	5 GAL	
S7	FELOA BELLOWIANA	PINEAPPLE GUAVA	5	5 GAL	
S8	ROSEMARINUS 'MISS JESSUP'S UPRIGHT'	ROSEMARY	32	5 GAL	
S9	CHOISYA TERNATA	MEXICAN ORANGE	3	5 GAL	
S10	FENISSETUM 'A. MOUDRY'	FOUNTAIN GRASS	24	5 GAL	
S11	RHUS OVATA	SUGAR BUSH	25	5 GAL	
S12	PHORADENDRON 'APRICOTE QUEEN'	HYBRID FLAX	1	5 GAL	
S13	HETEROMELES ARBUTIFOLIA	TOTON	15	5 GAL	
S14	ELAEAGNUS PUNGENS	SILVERBERRY	5	5 GAL	
S15	HYDRICIA CALIFORNICA	PACIFIC WAX MYRTLE	12	5 GAL	
S16	NANDINA D. 'COMPACTA'	HEAVENLY BAMBOO	6	5 GAL	
S17	ESCALLONIA 'COMPACTA'	N.C.N.	12	5 GAL	
S18	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	3	5 GAL	
S19	FLUMBAGO AURICULATA	CAPE FLUMBAGO	18	5 GAL	
S20	ALOE NOBILIS	ALOE	15	1 GAL	
S21	COTONEASTER LACTEUS	N.C.N.	15	5 GAL	
S22	RHAMNUS ALBIS U. 'MINOR'	N.C.N.	30	5 GAL	
S23	PODOCARPUS M. 'MAKI'	SHRUBBY YEW PINE	15	5 GAL	
GROUND COVERS					
G1	AUGA SPF	---	FLATS	12" OC.	
G2	ARCTOSTAPHYLOS UVA-URSI 'POINT REYES'	BEARBERRY MANZANITA	1 GAL	36" OC.	
G3	EUCENTHUS P. 'COLORATA'	PURPLE-LEAF WINTER GREENER	FLATS	18" OC.	
G4	AGAPANTHUS 'INKERBELL'	LILY-OF-THE-NILE	1 GAL	24" OC.	
G5	CEANOTHUS GLORIOSUS	POINT REYES CEANOTHUS	1 GAL	48" OC.	
G6	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	FLATS	12" OC.	
G7	GAZANIA H. 'VAUTE'	TRAILING GAZANIA	FLATS	12" OC.	
G8	COTONEASTER D. 'LOUFAST'	BEARBERRY COTONEASTER	1 GAL	36" OC.	
G9	LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 GAL	24" OC.	
G10	HYPERICUM CALYCNUM	AARON'S BEARD	FLATS	18" OC.	
G11	ROSEMARINUS O. 'MANTINGTON CARPET'	ROSEMARY	1 GAL	36" OC.	
G12	HYDROSEED MIX	DROUGHT TOLERANT	SEED		
VINES					
V1	DICTYOTIS BUCCINATORIA	BLOOD-RED TRUMPET VINE	5 GAL		

PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED: USE TRIANGULAR SPACING.
- S14 INDICATES PLANT KEY
 - S INDICATES PLANT QUANTITY
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- SOD LAWN TO BE DOUBLE-DWARF CHAMPION HYBRID FESCUE OR EQUAL.
- COORDINATE ALL PLANT LOCATIONS WITH LANDSCAPE ARCHITECT BEFORE PLANTING.
- PROIR TO ANY DIGGING, CALL UNDERGROUND SERVICE ALERT 1.800.642.2444.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN)
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.



REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 477 SOUTH TAAFFE STREET
 SUNNYVALE, CALIFORNIA 94086
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PHUNG NGUYEN RESIDENCE

1671 CANYON VIEW DR.
 SAN JOSE, CA 95132

ISSUE	DATE
City Comments	5/27/06
City Comments (Plant list and qty corrected)	12/7/07



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Approved: pjr
 Drawn: DGS Reviewed: pjr
 Project No. 03.xx
 Scale 1"=20' Issue Date 7/28/05



PLANTING PLAN

L2.0

LANDSCAPE SPECIFICATIONS

IRRIGATION SPRINKLER SYSTEM AND LANDSCAPE PLANTING

1.0 GENERAL

- A. THE WORK INCLUDES LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK INDICATED IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS.
 - 1. PERFORM WORK IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES, AND UNDER CONTINUOUS SUPERVISION OF A COMPONENT FOREMAN CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.
 - B. PRIOR TO CONSTRUCTION, VERIFY THAT CONTRACT DOCUMENTS REFLECT LATEST REVISIONS, INCLUDING PLAN CHECK REQUIREMENTS.
 - C. CONSTRUCT IRRIGATION SYSTEM USING MATERIAL AND METHODS CONFORMING TO APPLICABLE PROVISIONS OF UNIFORM PLUMBING CODE, PUBLISHED BY WESTERN PLUMBING OFFICIALS ASSOCIATION, NATIONAL ELECTRICAL CODE, AND OTHER CODES PROPERLY GOVERNING THESE ACTIVITIES AT THE LOCATION OF THE WORK.
 - 1. VERIFY LOCATIONS OF EXISTING UTILITIES WHETHER OR NOT SHOWN IN DRAWINGS. ASSUME RESPONSIBILITY FOR THEIR PROTECTION.
 - D. THE CONTRACT DOCUMENTS ARE NOT INTENDED TO CONFLICT WITH REQUIREMENTS OF GOVERNING ORDINANCES. WHEN DRAWINGS AND SPECIFICATIONS DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF BETTER QUALITY, HIGHER STANDARD, PROVISIONS OF DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE.
 - E. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED FOR THE WORK.
 - F. BEFORE PROCEEDING WITH THE WORK, VERIFY DIMENSIONS AND QUANTITIES. IMMEDIATELY INFORM LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS, AND ACTUAL CONDITIONS. COMMENCE WORK IN AREAS OF DISCREPANCY ONLY AFTER RECEIVING INSTRUCTIONS FROM LANDSCAPE ARCHITECT.
 - G. DIMENSIONS INDICATED IN DRAWINGS ARE APPROXIMATE. PROVIDE OFFSETS, FITTINGS, SLEEVES, ETC., REQUIRED TO COMPLETE THE PROJECT. PERFORM SIMILAR OPERATIONS FOR LIKE CONDITIONS WITHOUT ADDITIONAL COST TO OWNER.
- 1.1 SUBSTITUTIONS
- A. FURNISH MATERIALS IN QUANTITIES, SIZE, AND MANUFACTURE INDICATED IN DRAWINGS AND SPECIFICATIONS.
 - B. FOR A PERIOD OF 30 DAYS AFTER EXECUTION OF CONTRACT, LANDSCAPE ARCHITECT WILL CONSIDER FORMAL REQUESTS FROM CONTRACTOR FOR SUBSTITUTION OF PRODUCTS IN PLACE OF THOSE SPECIFIED ONLY UNDER THE FOLLOWING CONDITIONS:
 - 1. WHEN SPECIFIED PRODUCTS ARE NOT AVAILABLE THROUGH NO FAULT OF SUB-CONTRACTOR.
 - 2. WHEN IT IS CLEARLY SEEN, IN THE JUDGMENT OF OWNER, THAT A SUBSTITUTION WILL BE TO OWNER'S BEST INTERESTS IN TERMS OF TIME, COST, OR OTHER CONSIDERATIONS.
 - C. SUBMIT A SEPARATE REQUEST FOR EACH SUBSTITUTION. PROVIDE COMPLETE DATA SUBSTANTIATING COMPLIANCE OF PROPOSED SUBSTITUTION, INCLUDING PRODUCT IDENTIFICATION, MANUFACTURER'S NAME AND ADDRESS, MANUFACTURER'S LITERATURE, AND SAMPLES AS APPLICABLE.
 - D. MANUFACTURER'S WARRANTIES WILL NOT RELIEVE SUB-CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE, ONLY SUPPLEMENT THE GUARANTEE.
- 1.2 RECORD DRAWINGS
- A. FURNISH OWNER WITH A SET OF RECORD DRAWINGS (REPRODUCIBLE VELLUMS) OF IRRIGATION SPRINKLER SYSTEM AT CONCLUSION OF THE INSTALLATION.
 - 1. OBTAIN VELLUMS FROM LANDSCAPE ARCHITECT AT COST OF REPRODUCTION PLUS 25 PERCENT.
 - B. INDICATE IN RECORD DRAWINGS ALL CHANGES MADE TO IRRIGATION SYSTEM DESIGN.
- 1.3 EXTRA MATERIALS
- A. FURNISH OWNER WITH 2 EACH OF THE FOLLOWING MATERIALS FOR EACH TYPE OF VALVE AND SPRINKLER HEAD INSTALLED IN THE SYSTEM.
 - 1. VALVE KEYS.
 - 2. SERVICE WRENCHES.
 - 3. QUICK COUPLER VALVE KEYS.
 - 4. HOSE SWIVEL COMPATIBLE WITH QUICK COUPLER VALVES.
 - 5. KEYS TO OPEN AUTOMATIC CONTROL CABINET.

1.4 WARRANTY

- A. FURNISH OWNER WITH GUARANTEE THAT IRRIGATION SPRINKLER SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE, OR NEGLECT ACCEPTED.
- B. PROVIDE GUARANTEE FOR REPAIR OR REPLACEMENT OF DEFECTS IN MATERIAL OR WORKMANSHIP, SETTLING OF BACKFILLED TRENCHES, AND TO REPAIR OR REPLACE DAMAGE RESULTING FROM THE REPAIRS OR REPLACEMENTS OF DEFECTS WITHOUT ADDITIONAL COST TO OWNER.
- C. MAKE REPAIRS OR REPLACEMENTS, INCLUDING COMPLETE RESTORATION OF DAMAGED PLANTING, PAVING, OR OTHER IMPROVEMENTS OF ANY KIND, WITHIN A REASONABLE TIME AS DETERMINED BY OWNER, AFTER RECEIPT OF WRITTEN NOTICE.
- D. IN THE EVENT OF FAILURE BY CONTRACTOR TO MAKE REPAIRS OR REPLACEMENTS WITHIN A TEN DAYS AFTER RECEIPT OF WRITTEN NOTICE, REPAIRS OR REPLACEMENTS WILL BE MADE BY OTHERS AT THE EXPENSE OF SUB-CONTRACTOR.
- E. WARRANTY PERIOD FOR IRRIGATION SPRINKLER SYSTEM, 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER.

1.5 LANDSCAPE MAINTENANCE AND GUARANTEE

- A. PROVIDE MAINTENANCE FOR PLANTING AND IRRIGATION FOR 60 CALENDAR DAYS AFTER STAGE ACCEPTANCE.
 - 1. WORK INCLUDES, BUT IS NOT LIMITED TO, WATERING, WEEDING, MOWING, FERTILIZING, CULTIVATING, SPRAYING, CUTTING, AND PRUNING NECESSARY TO KEEP PLANTS IN A HEALTHY GROWING CONDITION, AND TO KEEP PLANTED AREAS NEAT AND ATTRACTIVE IN APPEARANCE THROUGHOUT MAINTENANCE PERIOD.
 - 2. IMMEDIATELY REPLACE DAMAGED, UNHEALTHY, OR DEAD TREES, SHRUBS, AND GROUND COVERS WITH SIZE AND KIND INDICATED IN DRAWINGS.
 - 3. PRIOR TO END OF MAINTENANCE PERIOD, APPLY FERTILIZED 'D' (15-2-6) AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET UNIFORMLY OVER ALL PLANTING AREAS.
 - 4. UPON COMPLETION OF INITIAL 60 DAY MAINTENANCE PERIOD, NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DATE OF INITIAL INSPECTION.
- B. GUARANTEE THAT PLANTS AND PLANTING AREAS ARE IN HEALTHY, THRIVING CONDITION FOR AN ADDITIONAL 60 DAYS AFTER INITIAL ACCEPTANCE OF PROJECT BY LANDSCAPE ARCHITECT.
 - 1. FINAL ACCEPTANCE MAY BE GRANTED AT THIS TIME AS DETERMINED BY LANDSCAPE ARCHITECT.

2.0 PRODUCTS

- 2.1 IRRIGATION SPRINKLER MATERIALS
- A. PVC PLASTIC PIPE AND FITTINGS
 - 1. MAIN LINE (PRESSURE) PIPING, TYPE 1120-1220 SCHEDULE 40, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
 - A. MAIN LINE PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED.
 - 2. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1120-1220 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
 - A. LATERAL PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED, LASCO, SLOANS, OR APPROVED EQUAL.
 - 3. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 80 PVC THREADED NIPPLES IN RISER ASSEMBLIES.
 - 4. USE ONLY PVC PLASTIC PIPE FREE FROM BULTERS, INTERNAL STRIATIONS, DENTS, WRINKLES, CRACKS, HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS-LIKE APPEARANCE.
 - A. CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE, MATERIAL, SIZE SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION.
 - B. GALVANIZED PIPE AND FITTINGS
 - 1. WHERE INDICATED IN DRAWINGS, USE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE, GALVANIZED, WITH MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON FITTINGS.
 - A. GALVANIZED COUPLINGS MAY BE MERCHANT COUPLING.

C. CONTROL WIRE

- 1. DIRECT BURIAL REMOTE CONTROL WIRES, U.L. APPROVED TYPE U.F. MINIMUM OF 4/64 INCH VINYL INSULATION. CONSULT VALVE MANUFACTURER'S CURRENT WIRE SIZING CHART FOR REQUIRED WIRE SIZES.
 - 2. COMMON RETURN WIRE = WHITE, PILOT WIRE = RED, ORANGE, OR BLACK.
 - 3. MAKE SPLICES WITH "SCOTCH LOK" NO. 3577 CONNECTOR SEALING PACKS, OR APPROVED EQUAL.
- D. SPRINKLER HEADS, REMOTE CONTROL VALVES, AUTOMATIC CONTROLLER, QUICK COUPLER
- 1. TYPE, SIZE, AND LOCATION INDICATED IN DRAWINGS.
 - 2. LOCATE REMOTE CONTROL VALVES AND QUICK COUPLERS A MAXIMUM OF 12 INCHES FROM CURB, WALK, OR HEADERBOARD.
- E. BACKFLOW PREVENTION
- 1. BACKFLOW PREVENTERS AS INDICATED IN DRAWINGS OR AS APPROVED BY LOCAL GOVERNING BODY.
 - 2. DO NOT LOCATE IN LAWN AREAS.
 - 3. SCREEN UNIT WITH PLANT MATERIAL SHOWN ON PLANTING PLAN IN LOCATION OF BACKFLOW PREVENTER OR ELSEWHERE ON SITE WHEN DIRECTED BY LANDSCAPE ARCHITECT.
 - 4. AVOID USING PVC PIPING IN BACKFLOW PREVENTER ASSEMBLIES.
- F. VALVE BOXES
- 1. CONTROL VALVE BOXES, AMETEK NO. 10-70-00 WITH GREEN COVER LID NO. 10-173-004, OR EQUAL. PROVIDE EXTENSIONS IF REQUIRED.

2.2 LANDSCAPE PLANTING MATERIALS

- A. SOIL
- 1. EXISTING SURFACE SOIL, UNLESS OTHERWISE INDICATED IN DRAWINGS, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, ROCKS, STICKS, BRUSH OR OTHER DELETERIOUS MATERIALS.
 - 2. NATIVE SOIL, MATERIAL EXCAVATED FROM PLANTING HOLES, FREE FROM ROCK OVER 1/2 INCH IN DIAMETER.
 - 3. IMPORTED SOIL, IF REQUIRED, SANDY LOAM TEXTURE.
 - A. SUBMIT SOIL SAMPLES AND ANALYSIS OF IMPORTED SOIL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY TO PROJECT SITE.
 - B. SHOULD LANDSCAPE ARCHITECT REJECT ANY PORTION OF DELIVERED SOIL FOR ANY REASON, SELECT SOIL MATERIAL FROM A DIFFERENT SOURCE AND RESUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL WITHOUT ADDITIONAL COST TO OWNER.
- B. FERTILIZERS AND SOIL AMENDMENTS
- 1. COMMERCIAL GRADE FERTILIZERS AND SOIL AMENDMENTS, UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING, DELIVERED TO SITE IN ORIGINAL, UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
 - 2. MATERIAL WHICH BECOMES CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL BE REJECTED.
 - A. FERTILIZER 'A': FERTILIZER FOR GENERAL SOIL FERTILITY IMPROVEMENT IN ALL TURF AND PLANTING AREAS SHALL BE PELLETED TYPE HAVING A N6-P20-K20 FORMULA.
 - B. FERTILIZER 'B': FERTILIZER TO BE APPLIED TO LAWN AREAS PRIOR TO SEEDING OR SODDING SHALL BE PELLETED TYPE HAVING N6-P2-K0 (WITH 1% IRON).
 - C. FERTILIZER 'C': FERTILIZER TO BE INCORPORATED IN EACH PLANT PIT SHALL BE A PLANT TAB WITH FORMULA N20-P10-K5, SUCH AS AGRIFORM.
 - D. FERTILIZER 'D': FERTILIZER TO BE APPLIED TO LAWN AREAS AFTER TURF IS ESTABLISHED AND AROUND INSTALLED CONTAINER PLANTS DURING THE MAINTENANCE PERIOD SHALL BE PELLETED TYPE COMBINATION CHEMICAL ORGANIC FORMULA N15-P2-K6.
 - E. SOIL AMENDMENT: NITROLIZED REDWOOD SANDUST WHICH SHALL BE BULK, TREATED WITH A REACTIVE FORM OF NITROGEN (NH3), OR RECYCLED COMPOST MATERIAL W/ SOIL ANALYSIS APPROVED IN ADVANCE.

F. IRON SULFATE: STANDARD COMMERCIAL BRAND.

- C. WOOD CHIP MULCH
- 1. ALL PLANTED AREAS, EXCEPT TURF, SHALL RECEIVE A TOP DRESSING OF MULCH CONSISTING OF RECYCLED, DYED WOOD CHIPS OR FIR CHIPS, MEDIAN GRIND 3/8 TO 3/4" DIAMETER. SHREDDED BARK IS UNACCEPTABLE.
- D. PLANT MATERIAL
- 1. CONFORM PLANT MATERIAL, INDICATED IN DRAWINGS BY THE LISTED NAMES, TO "STANDARD PLANT NAMES", SECOND EDITION, EXCEPT FOR NAMES NOT INCLUDED, FOLLOW THE ESTABLISHED CUSTOMS OF THE NURSERY TRADE.
 - 2. ALL PLANTS SHALL BE TRUE TO NAME. TAG ONE OF EACH BUNDLE OR LOT WITH THE NAME AND SIZE OF THE PLANT, IN ACCORDANCE WITH STANDARDS OF PRACTICE RECOMMENDED BY AMERICAN ASSOCIATION OF NURSERYMEN.
 - 3. ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF FEDERAL, STATE, AND COUNTY LAWS, REQUIRING INSPECTION FOR PLANT DISEASES AND INSECT INFESTATIONS.
 - 4. PLANTS SHALL BE SYMMETRICAL, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES, INSECT PESTS, OR OTHER EGGS, WITH HEALTHY, NORMAL, ROOT SYSTEMS, WELL FILLING THEIR CONTAINERS, BUT NOT TO THE POINT OF BEING ROOT BOUND.
 - 5. USE ONLY PLANT MATERIALS THAT ARE FIRST CLASS REPRESENTATIVE OF THE SPECIES AND CULTIVARS SPECIFIED AND THAT CONFORM TO ALL STATE AND LOCAL LAWS GOVERNING THE SALE, TRANSPORTATION, AND INSPECTION OF PLANT MATERIALS.
 - 6. PROVIDE ONLY PLANTS WITH STRAIGHT, SINGLE TRUNKS, UNLESS OTHERWISE INDICATED IN DRAWINGS.
 - 7. THOSE SPECIFIED TO BE MULTI-TRUNK SHALL HAVE AT LEAST THREE MAIN LEADERS FROM THE BASE.
 - 8. PLANTS THAT HAVE ENCIRCLING ROOTS, NOT ROOT BOUND, SHALL HAVE ROOTBALLS LIGHTLY SLASHED ON A MINIMUM OF 3 SIDES TO STOP ENCIRCLING ROOT GROWTH.
 - 9. THE HEIGHT AND SPREAD OF PLANT MATERIALS SHALL BE MEASURED WITH BRANCHES IN THEIR NORMAL POSITION. MEASURE SIZES OF PLANTS ON THE PLANT LIST.
 - A. 1 AND 1.5 GALLON CAN CONTAINER STOCK SHALL HAVE BEEN GROWN IN THAT CONTAINER NOT LESS THAN SIX (6) MONTHS, BUT SHALL NOT HAVE BEEN OVERGROWN IN THE CONTAINERS SO AS TO HAVE BECOME ROOT BOUND.
 - B. 15 GALLON CAN CONTAINER STOCK SHALL HAVE A PLANTED HEIGHT OF 6 FEET WITH 1 INCH CALIPER TRUNK.
- 2.3 SOURCE QUALITY CONTROL
- A. PERFORM INSPECTIONS OF CONSTRUCTION FOR THE FOLLOWING PARTS OF THE WORK:
 - 1. INSPECTION UPON COMPLETION OF PRELIMINARY FINISH GRADING AND IRRIGATION SPRINKLER SYSTEM.
 - 2. INSPECTION OF PLANTS PRIOR TO LAYOUT.
 - 3. LAYOUT INSPECTION OF SPOTTED PLANTS.
 - 4. INITIAL INSPECTION UPON COMPLETION OF PLANTING AND TREE STAKING, PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD.
 - 5. FINAL INSPECTION AT CONCLUSION OF ADDITIONAL 60 DAY LANDSCAPE MAINTENANCE PERIOD.
 - B. LISTED INSPECTIONS WILL BE MADE BY LANDSCAPE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE.
 - 1. REQUEST INSPECTION BY LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF TIME INSPECTION IS REQUIRED.
- 3.0 EXECUTION
- 3.1 IRRIGATION SPRINKLER SYSTEM
- A. PREPARATION
- 1. COORDINATE INSTALLATION OF SPRINKLER MATERIALS, INCLUDING PIPE, TO ELIMINATE INTERFERENCE WITH OR DIFFICULTY IN PLANTING SHRUBS, TREES, GROUND COVER, EXISTING OR PROPOSED UTILITIES, AND OTHER CONSTRUCTION. RESTORE TO ORIGINAL CONTOURS AND ESTABLISHED GRADES CHANGED DURING COURSE OF THE WORK.

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B. INSTALLATION

- 1. PRIOR TO INSTALLATION, LAYOUT AND STAKE PRESSURE SUPPLY LINES, LATERAL LINES, AND LOCATION OF SPRINKLER HEADS. OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT.
 - A. IF EQUIPMENT IS INCORRECTLY LOCATED WITHOUT APPROVAL, RELOCATE PER DIRECTIONS OF LANDSCAPE ARCHITECT WITHOUT ADDITIONAL COST TO OWNER.
 - 2. CONNECT SPRINKLER IRRIGATION SYSTEM TO POINT OF CONNECTION (P.O.C.) INDICATED IN DRAWINGS.
 - A. MAKE CONNECTIONS AT APPROXIMATE LOCATIONS SHOWN IN DRAWINGS.
 - B. ASSUME RESPONSIBILITY FOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.
- C. TRENCHING & BACKFILLING
- 1. EXCAVATION INCLUDES REMOVAL OF WATER AND MATERIALS, OR OBSTRUCTIONS OF ANY NATURE THAT WOULD INTERFERE WITH THE WORK.
 - 2. REMOVE FROM THE SITE EXCESS AND WASTE MATERIAL RESULTING FROM TRENCHING OPERATIONS.
 - 3. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF DITCH.
 - A. LAY PIPE TO AN EVEN GRADE. FOLLOW LAYOUT FOR TRENCHING EXCAVATION INDICATED IN DRAWINGS AND AS NOTED.
 - 4. COVERAGES
 - A. PROVIDE MINIMUM COVER OF 18 INCHES FOR PRESSURE SUPPLY LINES.
 - B. PROVIDE MINIMUM COVER OF 15 INCHES FOR ALL NON-PRESSURE LINES INDICATED IN DRAWINGS.
 - C. PROVIDE MINIMUM COVER OF 24 INCHES OVER PIPE UNDER VEHICULAR WAYS.
 - D. PROVIDE MINIMUM COVER OF 18 INCHES FOR CONTROL WIRING.
 - E. PROVIDE 3 INCH SAND BACKFILL, ALL SIDES OF PVC PIPE, WHERE SOILS CONTAIN GREATER THAN 50% ROCKS OR OTHER MATERIAL 1/2 INCH OR LARGER IN DIAMETER WITHIN NATIVE BACKFILL MATERIAL.
- D. COMPACTION
- 1. COMPACT BACKFILL FOR TRENCHING TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL IN PLANTING AREAS AND TO 90% IN PAVED AREAS.
 - 2. CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS, OR OTHER IRREGULARITIES.
 - 3. PLACE INITIAL BACKFILL ON ALL LINES OF A FINE GRANULAR MATERIAL.
 - 4. FOREIGN MATTER LARGER THAN 1/2 INCH IN SIZE WILL NOT BE PERMITTED.
 - 5. IF SETTLEMENT OCCURS AND ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING, OR OTHER CONSTRUCTION ARE NECESSARY, MAKE REQUIRED ADJUSTMENTS WITHOUT ADDITIONAL COST TO OWNER.
- E. HANDLING OF PIPE
- 1. INSTALL PVC PIPE ALLOWING A SMALL AMOUNT OF EXCESS LENGTH IN THE LINE TO COMPENSATE FOR CONTRACTION OR EXPANSION OF THE PIPE.
 - A. ACCOMPLISH EXCESS LENGTH BY "SNAKING" THE LINE IN THE TRENCH DURING TIME OF INSTALLATION.
 - 2. HANDLE AND ASSEMBLE PIPE, FITTINGS, AND ACCESSORIES BY SKILLED TRADESMEN USING APPROVED METHODS AND TOOLS. EXERCISE CARE TO PREVENT DAMAGE TO MATERIALS OR EQUIPMENT.
 - A. KEEP INTERIOR OF PIPES, FITTINGS, AND ACCESSORIES CLEAN AT ALL TIMES. CLOSE OPENINGS IN PIPING RUNS AT THE END OF WORK EACH DAY TO PREVENT ENTRY OF FOREIGN MATERIALS.
 - B. BENDING OF GALVANIZED STEEL PIPE WILL NOT BE PERMITTED.
 - 3. PERFORM JOINING BY COMPETENT TRADESMEN SPECIALLY TRAINED IN THE TYPE OF WORK REQUIRED, USING TOOLS AND EQUIPMENT RECOMMENDED BY THE MANUFACTURERS OF THE PIPE, FITTINGS, OR EQUIPMENT.
 - A. TAKE EVERY PRECAUTION TO SECURE A PERMANENT, WATER-TIGHT JOINT BETWEEN EACH LENGTH OF PIPE.
 - B. JOINING PROCEDURES AND METHODS ADOPTED BY CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH RECOMMENDATIONS OF MANUFACTURER OF JOINING MATERIAL USED.

C. CUT PIPE CUT STRAIGHT AND TRUE.

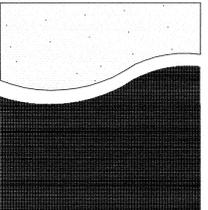
- D. AFTER CUTTING, REAM OUT ENDS TO THE FULL INSIDE DIAMETER OF THE PIPE.
 - E. IN CHANGING PIPE DEPTHS, USE 45° ELBOWS.
- F. SPRINKLER HEADS
- 1. INSTALL TURF HEADS, WHERE ADJACENT TO FIXED OBJECTS SUCH AS HEADERBOARDS, CURBS, OR MOWING STRIPS, SO POWERED EDGING TOOLS CAN PASS BETWEEN TURF HEAD AND FIXED OBJECT WITHOUT DIFFICULTY.
 - 2. LOCATE SHRUB HEADS MINIMUM 12 INCHES FROM BACK OF CURBS AND EDGE OF WALKWAYS WHEN SHRUB HEAD IS MOUNTED ABOVE GRADE ON A RISER.
- G. CONTROL VALVES
- 1. INSTALL ELECTRIC, NORMALLY CLOSED ANGLE CONTROL VALVES AS INDICATED IN DRAWINGS AND AS SPECIFIED BY MANUFACTURER.
 - 2. SET VALVES IN VERTICAL POSITION, HOUSED IN AMETEK OR EQUAL VALVE BOX WITH REMOVABLE COVER, FLUSH WITH FINISHED GRADE, WHEREVER POSSIBLE, INSTALL IN A SHRUB AREA.
- H. ELECTRICAL WORK
- 1. PERFORM ELECTRICAL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE STATE OF CALIFORNIA ELECTRICAL SAFETY ORDERS, OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
 - 2. ASSUME RESPONSIBILITY FOR THE COORDINATION OF ALL ELECTRICAL SERVICE CONNECTIONS TO THE CONTROLLER.
- I. FIELD QUALITY CONTROL
- 1. FLUSH PIPES BY REMOVING HEADS AND OPERATING THE SYSTEM AT FULL PRESSURE UNTIL ALL RUST, SCALE, SAND, ETC., IS REMOVED.
 - A. DIVERT FLUSHING WATER TO PREVENT PONDING OR SOIL EROSION.
 - 2. TEST PIPING UNDER FULL PRESSURE, WITH RISERS CAPPED FOR A PERIOD OF TWO HOURS.
 - 3. INSPECT PIPE FOR LEAKS.
 - A. CORRECT ANY LEAKAGE DISCOVERED DURING TESTS.
 - B. REPEAT TESTS UNTIL SATISFACTORY.
 - 4. TEST SPRINKLER HEADS:
 - A. TO DETERMINE THAT THEY FUNCTION ACCORDING TO MANUFACTURER'S DATA, AND
 - B. TO DETERMINE THAT THE INSTALLATION WILL PROVIDE DESIGN COVERAGE.
 - 5. ALLOW OR CAUSE WORK TO BE COVERED UP OR ENCLOSED ONLY AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY LANDSCAPE ARCHITECT.
 - A. SHOULD ANY WORK BE COVERED OR COVERED UP BEFORE INSPECTION AND TESTS ARE SATISFACTORILY COMPLETED, UNCOVER THE WORK AND AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED, MAKE ALL REPAIRS WITH MATERIALS AS MAY BE NECESSARY TO RESTORE TO ORIGINAL AND PROPER CONDITION WITHOUT ADDITIONAL COST TO OWNER.
- 3.2 LANDSCAPE PLANTING PROCEDURES
- A. CLEARING & GRUBBING
- 1. PRESERVE EXISTING TREES IN AN UNDISTURBED CONDITION.
 - 2. ROUGH GRADE EARTHEN MOUNDS TO CONTOURS INDICATED IN DRAWINGS.
 - 3. CONSTRUCT MOUNDS WITH ENOUGH EXCESS MATERIAL TO ALLOW FOR FUTURE SETTLEMENT.
 - A. FINAL LOCATION OF MOUNDS SHALL NOT CONFLICT WITH EXISTING UTILITIES, UTILITY BOXES, VALVE BOXES, ETC.
 - 4. NO COMPACTION WILL BE ALLOWED, EXCEPT FOR NORMAL GRADING AND SHAPING OPERATIONS.
 - 5. UPON COMPLETION OF GRADING OPERATIONS, SPREAD EXCESS MATERIAL IN AREAS DIRECTED BY LANDSCAPE ARCHITECT.
- B. SOIL CONDITIONS
- 1. CULTIVATE PLANTED AREAS TO A LIGHT AND FRIBLE CONSISTENCY. UNIFORMLY TILL THE

FOLLOWING MATERIAL, PER 1,000 SQUARE FEET, INTO THE TOP 6 INCHES OF SOIL, USING A ROTOTILLER OR SIMILAR MACHINE, THEN THOROUGHLY WATER.

- 6 CU. YDS. - NITROGEN STABILIZED SAWDUST (SOIL AMENDMENT)
 - 25 LBS. - FERTILIZER 'A'
 - 15 LBS. - SOIL SULPHUR
2. CULTIVATE EXISTING PLANTING AREAS WITH HAND TOOLS.
3. PREPARED SOIL MIX FOR BACKFILL IN PITS FOR TREES, VINES, AND SHRUBS, CONSISTING OF THE FOLLOWING:
- 1/3 YD. - NITROGEN STABILIZED SAWDUST (SOIL AMENDMENT)
 - 2/3 YD. - NATIVE SOIL
 - 1 LB. - IRON SULPHATE
- AND FERTILIZER 'C' AS FOLLOWS
- 1 GAL: 1-TAB
 - 5 GAL: 2-TABS
 - 15 GAL: 4-TABS
- 6-8 TABS FOR BOXED MATERIAL
4. CONDUCT SOIL PREPARATION AND PLANTING OPERATIONS ONLY UNDER FAVORABLE WEATHER CONDITIONS. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET.
- A. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO STOP WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.
- C. PLANTING TREES, SHRUBS, & VINES
- 1. DIG PITS FOR PLANTS SQUARE PER DETAIL IN DRAWINGS.
 - A. LEVEL SIZE OF PITS SHALL BE 2 TIMES DIAMETER OF ROOT BALL, AND ONE-HALF AGAIN AS DEEP AS THE DEPTH OF ROOT BALL.
 - B. SOIL AT SIDES AND BOTTOMS SHALL BE LOOSEENED BY SCARIFYING TO ENSURE ROOT PENETRATION. AVOID SMOOTH CIRCULAR SIDES.
 - 2. BACKFILL PITS WITH "PREPARED SOIL" TO THE BOTTOM OF THE ROOT BALL. THEN SET THE PLANT IN AN UPRIGHT POSITION IN CENTER OF HOLE. BACKFILL SPACE AROUND IT WITH PLANTING MIX.
 - A. WHEN THE BACKFILL AROUND THE PLANT IS APPROXIMATELY TWO-THIRDS COMPLETED, THOROUGHLY WATER. BACKFILL COMPLETE TO THE GRADE OF THE SURROUNDING AREA.
 - B. THE CROWN OF THE PLANT SHALL BE 1-1/2 INCHES ABOVE (MINIMUM) FINISHED GRADE.
 - 3. PREPARE A SOIL RING AT LEAST 3 INCHES HIGH AND AS WIDE AS ROOT BALL AROUND EACH PLANT (NOT IN A TURF AREA) TO RETAIN WATER.
 - A. WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
 - B. REMOVE TURF IN A 24 INCH DIAMETER RING AROUND EACH TREE BASE IN TURF AREAS.
- D. PLANTING GROUND COVERS
- 1. PLANTING SHALL TAKE PLACE IN THE EXISTING PREPARED MOIST AND FRIBLE SOIL, NEVER DRY OR WET AND SOGGY.
 - A. THE MOIST CONDITION SHALL EXTEND TO THE FULL DEPTH OF CULTIVATION.
 - 2. SPACE GROUND COVER PLANTS AS INDICATED IN DRAWINGS AND IN THE PLANT LIST.
 - 3. PLANT IN EVENLY SPACED ROWS WITH STAGGERED TRIANGULAR SPACING AND AROUND SHRUBS AND TREES TO WITHIN ONE FOOT.
 - 4. NO GROUND COVER SHALL BE PLANTED LESS THAN ONE-HALF OF THE SPECIFIED SPACING FROM ANY CURB OR WALKWAY.
- E. PLANTING TURF GRASS
- 1. AFTER ALL SOIL AMENDMENT AND FERTILIZERS HAVE BEEN APPLIED AND CULTIVATED INTO SOIL, FINE GRADE ALL AREAS.
 - 2. REMOVE RIDGES AND DEPRESSIONS. AREAS SHALL BE SMOOTH, CONTINUOUS, FIRM PLANES THAT ENSURE PROPER SURFACE DRAINAGE.
 - 3. REMOVE ROCKS, SOIL LUMPS, AND DELETERIOUS MATERIALS LARGER THAN 1 INCH, RAKE AND COMPACT AREAS WITH A 200 POUND ROLLER.
 - 4. AVOID ADDITIONAL COMPACTION OF THE SOILS AFTER TREATMENT. DO NOT PERMIT VEHICULAR OR EQUIPMENT TRAFFIC OVER AREAS.

A. IN THE EVENT OF SUCH COMPACTION, CONTRACTOR WILL BE REQUIRED TO RECULTIVATE COMPACTED AREAS.

- 5. SODDING: RAKE AREAS TO FINISH GRADE ELEVATION TO 1 INCH LOWER THAN ADJACENT PAVING TO ACCOMMODATE SOD THICKNESS.
 - A. SPREAD 20 POUNDS PER 1,000 SQUARE FEET OF FERTILIZER 'B' ON SOIL SURFACES PRIOR TO SODDING. THEN NEATLY INSTALL SOD SLABS.
 - B. STAGGER END JOINTS, TIGHTLY JOINTED WITH NO VISIBLE SPACES.
 - C. LIGHTLY WATER AND RAKE ENTIRE AREAS. THEN HEAVILY WATER TO ASSURE WATER PENETRATION OF AT LEAST A DEPTH OF 8 INCHES.
 - 6. SEEDING: APPLY FERTILIZER 'B' TO FINISH GRADED SURFACES AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET.
 - A. USE ONLY SEED THAT IS WEE FREE, FRESH, RECLEANED, GRADE A, NEW CROP CONSISTING OF THE PERCENTAGE OF MIX AS DESCRIBED IN DRAWINGS.
 - B. LABEL SEED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT PRESENTLY IN EFFECT AND SHALL BE DELIVERED TO PROJECT SITE IN BAGS BEARING DEALER'S LABEL AND GUARANTEED ANALYSIS.
 - C. SOW SEED IN 2 DIRECTIONS AT A TOTAL COMBINED RATE OF 10 POUNDS PER 1,000 SQUARE FEET.
 - D. SOW SEED BY EXPERIENCED PERSONNEL AT A TIME WHEN LITTLE OR NO WIND IS BLOWING.
 - E. LIGHTLY RAKE INTO TOP 1/8 INCH OF SOIL.
 - F. DO NOT MOW UNTIL TURF IS 2-1/2 INCHES HIGH, AND FOR INITIAL MOWING DO NOT MOW LOWER THAN 1-1/2 INCHES. REMOVE ALL CLIPPINGS.
 - 7. FERTILIZING DURING MAINTENANCE: APPLY FERTILIZER 'D', 30 CALENDAR DAYS AFTER PLANTING, AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET.
 - A. REPEAT EVERY 30 DAYS THROUGH MAINTENANCE.
- F. WEED CONTROL, PEST CONTROL, & MULCHING
- 1. WEED CONTROL MATERIAL SHALL BE A PRE-EMERGENT HERBICIDE, TRIFLURLOLIN (TREFLAN) OR DIPHENAMID (DYMD OR ENIDE) OR APPROVED EQUAL, APPLIED ON PLANTED AREAS. DON'T APPLY TO TURF DEVELOPED AREAS.
 - 2. CONSIDER IF PART OF CONTRACTOR'S WORK TO CONTROL ON-SITE OR NEARBY PESTS THAT ARE DISTURBING THE CONDITION OF LANDSCAPE IMPROVEMENTS.
 - 3. CONTROL OF PESTS INCLUDES, BUT IS NOT LIMITED TO RODENTS, RABBITS, INSECTS, DEER, ETC.
 - 4. REPAIR DAMAGE THAT OCCURS TO THE ORIGINAL CONDITION OF IMPROVEMENTS, INCLUDING REPLACEMENT OF PLANT MATERIAL WHEN REQUIRED, WITHOUT ADDITIONAL COST TO OWNER.
 - 5. SPREAD BARK CHIP MULCH EVENLY OVER ENTIRE PLANTED AREA, EXCEPT TURF DEVELOPED AREAS, TO A MINIMUM DEPTH OF 2".
- G. PRELIMINARY INSPECTION AND STAGE ACCEPTANCE
- 1. UPON COMPLETION OF PLANTING WORK, NOTIFY LANDSCAPE ARCHITECT THAT PROJECT IS READY FOR INSPECTION.
 - 2. UPON INSPECTION, IF LANDSCAPE ARCHITECT FINDS ENTIRE PROJECT COMPLETE AND IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, STAGE ACCEPTANCE WILL BE GRANTED.
 - 3. IF ASPECTS OF PROJECT ARE INCOMPLETE OR IMPROPERLY INSTALLED, CONTRACTOR SHALL BE NOTIFIED AND HAVE 5 WORKING DAYS IN WHICH TO CORRECT OR COMPLETE THE WORK.
 - 4. STAGE ACCEPTANCE WILL BE GIVEN ONLY WHEN ALL WORK IS CORRECT AND COMPLETE.
 - 5. THE STAGE ACCEPTANCE BY LANDSCAPE ARCHITECT OF LANDSCAPE PROJECT WILL ESTABLISH THE BEGINNING OF PLANT MAINTENANCE PERIOD.
- 3.3 CLEANING
- A. UPON COMPLETION OF WORK, REMOVE EXCESS MATERIALS, RUBBISH, DEBRIS, AND SUB-CONTRACTOR'S CONSTRUCTION AND INSTALLATION EQUIPMENT FROM THE PREMISES.
 - B. FINAL INSPECTION OF THE WORK WILL BE MADE BY LANDSCAPE ARCHITECT IN THE PRESENCE OF THE SUB-CONTRACTOR WHEN WORK IS COMPLETED. NOTIFICATION SHALL BE MADE BY THE CONTRACTOR 48 HOURS IN ADVANCE OF SUCH INSPECTION.



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ISSUE	DATE

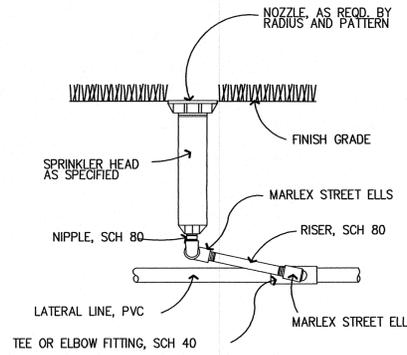


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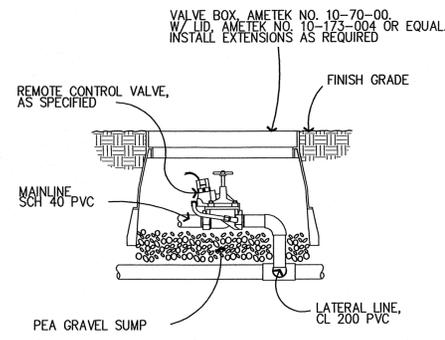
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Drawn	DGS	Reviewed	
Project No.	03.xx		
Scale	---	Issue Date	7/28/05

LANDSCAPE
SPECIFICATIONS

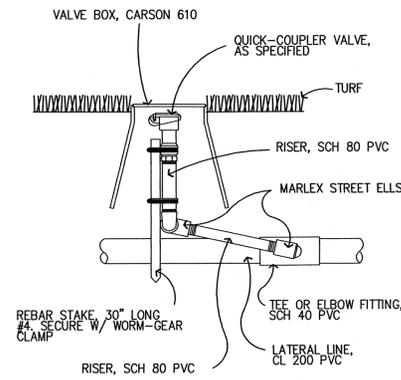
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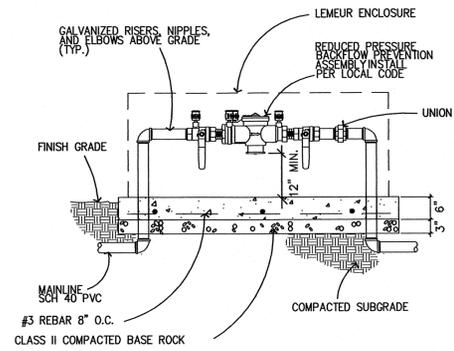
1 IRRIGATION HEAD DETAIL



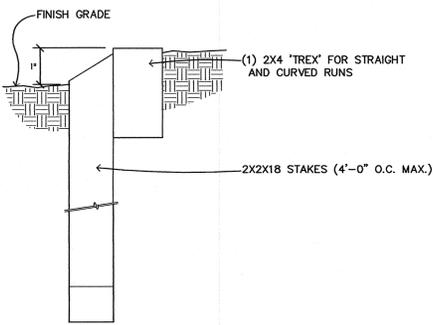
2 CONTROL VALVE DETAIL



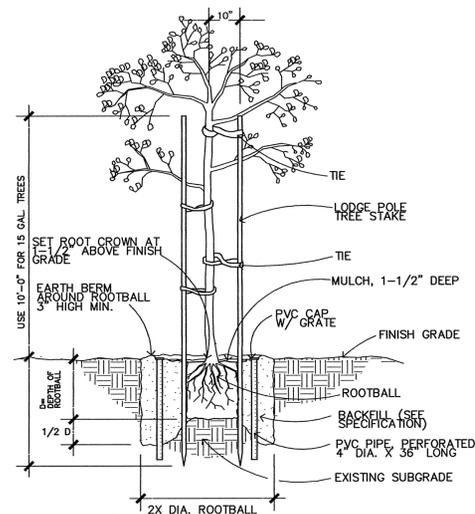
3 QUICK-COUPLER DETAIL



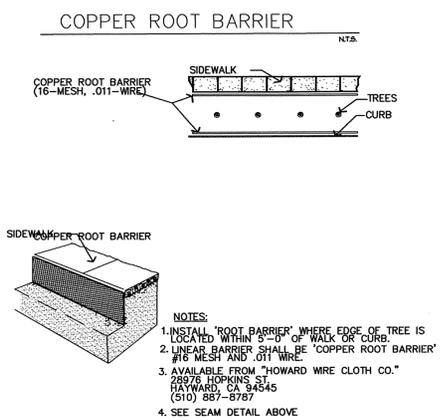
4 BACKFLOW PREVENTER DETAIL



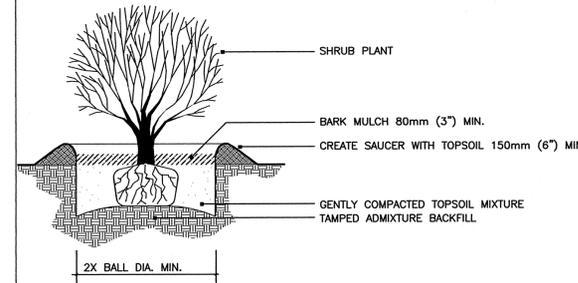
5 'TREX' LAWN HEADER DETAIL



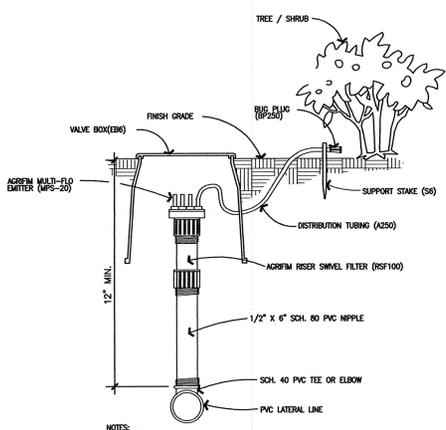
6 TREE PLANTING DETAIL



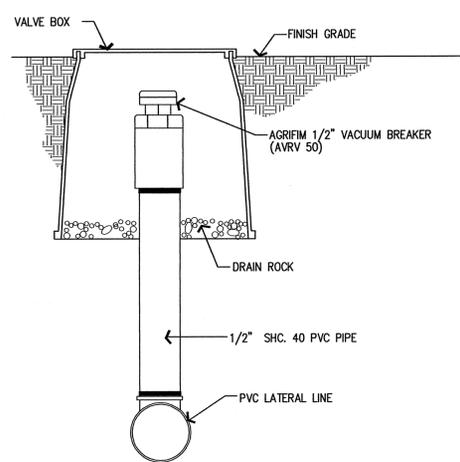
7 TREE ROOT BARRIER DETAIL



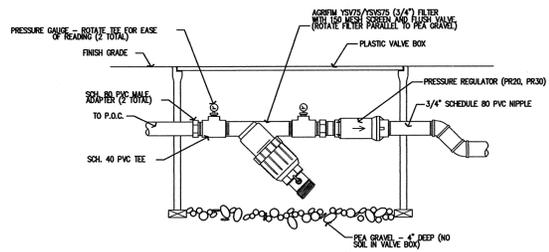
8 SHRUB PLANTING DETAIL



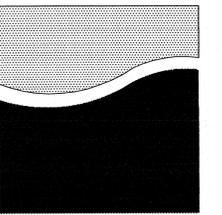
9 AGRIFIM - EMITTER DETAIL



10 AGRIFIM - VACUUM BREAKER DETAIL



11 FILTER DETAIL



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LANDSCAPE
CONSTRUCTION DETAILS

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