

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MILPITAS APPROVING SITE DEVELOPMENT PERMIT AMENDMENT NO. SA08-0004, HUI RESIDENCE, TO ALLOW SITE AND BUILDING MODIFICATIONS THAT INCLUDE A 199 SQUARE FOOT ROOM ADDITION, 1,175 SQUARE FOOT BASEMENT ADDITION, RENOVATIONS TO AN EXISTING REAR YARD DECK, AND INSTALLATION OF ACCESSORY STRUCTURES LOCATED AT 1628 PEBBLE BEACH COURT

WHEREAS, on January 25, 2008, an application was submitted by Tommy Hui, 1628 Pebble Beach Court, to allow for various site and building modifications to allow the conversion of an existing 199 square covered porch into living space, a 1,175 square new basement addition, renovation of an existing rear yard deck and installation of accessory structures on an existing single family residence located at 1628 Pebble Beach Court (APN 029-55-020) located within the Summitpointe Planned Unit Development (PUD 21), zone Single Family Residential with the Hillside Combining District (R1-H)

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

WHEREAS, on August 27, 2008 the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

WHEREAS, on September 16, 2008 the City Council reviewed the project proposal and considered evidence presented by City staff, the applicant, and other interested parties.

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The recitals set forth above are true and correct and incorporated herein by reference.

Section 2: The project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. The proposed project entails site and building modifications to existing single-family residence.

Section 3: The project is consistent with the Milpitas Zoning Ordinance in that the project will be aesthetic and harmonious with the surrounding development. The project conforms to the Hillside Ordinance regulations to ensure minimal interference with view and privacy, preserving natural setting of the hillside, minimizes the perception of excessive bulk, and limit grading. As proposed, the bulk and massing of the home remains unchanged from the

original condition. The project will utilize the same building footprint and building form of the existing home. The proposed grading will not be significant and limited to the rear deck area only. The proposed building modifications utilize colors, material, and styles that complement the existing home.

Section 4: The proposed project is consistent the General Plan Implementing Policy No. 2.a-I-18, in which the project reviewed for conformance with the Hillside Ordinance.

Section 5: The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development in that the project as proposed is keeping with the existing architectural design of the home by utilizing materials and styles that match the existing home and preserves the natural topography of the hillside by not expanding beyond the existing footprint of the building. As conditioned, the materials, design of the accessory structures and landscaping will be in keeping with the natural setting and view of the hillside.

BE IT FURTHER RESOLVED that the City Council hereby approves the Project subject to Conditions of Approval attached hereto as Exhibit A

PASSED AND ADOPTED this ____ day of _____, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

APPROVED:

Mary Lavelle, City Clerk

Jose S. Esteves, Mayor

APPROVED AS TO FORM:

Michael J. Ogaz, City Attorney

EXHIBIT 1

CONDITIONS OF APPROVAL SITE DEVELOPMENT PERMIT AMENDMENT NO. SA08-0004

Planning Division

1. The owner or designee shall develop the approved project in conformance with the approved plans and color and materials sample boards approved by the Planning Commission on August 27, 2008, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, floor plans, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the owner or designee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. (P)

2. Site Development Permit Amendment No. SA08-0004 shall become null and void if the project is not commenced within 18 months from the date of approval. Pursuant to Section 64.04-2 of the Zoning Ordinance of the City of Milpitas, since the project requires the issuance of a building permit, the project shall not be deemed to have commenced until the date of the building permit is issued and a foundation is completed.

Pursuant to Section 64.04-1, the owner or designee shall have the right to request an extension of Site Development Permit Amendment No. SA08-0004 if said request is made, filed and approved by the Planning Commission prior to expiration dates set forth herein. (P)

3. All earthwork and site drainage, including basement excavation, preparation of subgrade beneath basement mat slab and slab-on-grade, installation of backdrains and backfill behind basement and site retaining walls, and the installation of subsurface and surface drainage control devices should be performed in accordance with the recommendation of the Geotechnical Report prepared by Murray Engineers Inc. dated October 31, 2007. Murray Engineers, Inc. shall be contacted 48 hours prior to any earthwork operations and should be present to observe and/or text as necessary the earthwork and foundation installation phases of the project. (P)
4. Prior to building permit issuance, the applicant shall submit a landscape and irrigation plan. Proposed landscaping and irrigation shall conform to the City Council Resolution 6066 for Hillside Landscaping Water Conservation and Fire Hazard Mitigation. (P)
5. This project shall be conducted in compliance with all appropriate local, state, and federal laws and regulations. (P)

Engineering Division

6. It is the responsibility of the developer to obtain any necessary permits or approvals from affected agencies or private parties. Copies of these approvals and permits must be submitted to the City of Milpitas Engineering Division. (E)
7. If the existing services (water, sewer and storm) are not adequately sized to serve this additional development, plans showing new services must be submitted and approved prior to building permit issuance. (E)
8. Prior to building permit issuance, developer must pay all applicable development fees, including but not limited to plan check and inspection fee, and 2.5% building permit automation fee. (E)
9. All existing on-site public utilities shall be protected in place. No permanent structure is permitted within City easements. (E)
10. The developer shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hrs prior to construction for location of utilities. (E)
11. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers including construction activities to eliminate as much as possible pollutants entering our receiving waters. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)

UNAPPROVED

PLANNING COMMISSION SUBCOMMITTEE MINUTES

August 27, 2008

I. ROLL CALL

Present: Ali-Santosa, Ciardella, Mandal
Absent: None
Staff: Bejines and Hom

1. MINOR SITE DEVELOPMENT PERMIT NO. MS08-0013

Cindy Hom, Assistant Planner, presented a request for a one day outdoor event proposed on September 18, 2008 between the hours of 4:00 p.m. to 8:00 p.m. in the Avnet company parking lot located at 1820-1840 McCarthy Boulevard. Ms. Hom recommended approving Minor Site Development Permit No. MS08-0013 subject to the conditions of approval.

Motion to approve Minor Site Development Permit No. MS08-0013.

M/S: Ali-Santosa/Mandal

AYES: 2

NOES: 0

2. MINOR SITE DEVELOPMENT PERMIT NO. MS08-0004

Cindy Hom, Assistant Planner, presented a request to construct a 334 square foot attached patio enclosure over an existing concrete deck. The project site is located at 1506 Augusta Court. Ms. Hom recommended approving Minor Site Development Permit No. MS08-0004 subject to the conditions of approval.

Motion to approve Minor Site Development Permit No. MS08-0004.

M/S: Ali-Santosa/Mandal

AYES: 2

NOES: 0

II. ADJOURNMENT

This meeting was adjourned at 6:45 p.m.

UNAPPROVED

PLANNING COMMISSION MINUTES

August 27, 2008

I. PLEDGE OF ALLEGIANCE

Vice Chair Mandal called the meeting to order at 7:00 P.M. and led the Pledge of Allegiance.

II. ROLL CALL/SEATING OF ALTERNATE

Present: Aslam Ali, Gunawan Ali-Santosa, Larry Ciardella, Alex Galang, Sudhir Mandal, Gurdev Sandhu and Noella Tabladillo
Absent: Cliff Williams
Staff: Bejines, Hom, Lindsay and Otake

III. PUBLIC FORUM

Vice Chair Mandal invited members of the audience to address the Commission on any topic not on the agenda, noting that no response is required from the staff or Commission, but that the Commission may choose to agendize the matter for a future meeting.

There were no speakers from the audience.

IV. APPROVAL OF MINUTES August 13, 2008

Vice Chair Mandal called for approval of the minutes of the Planning Commission meeting of August 13, 2008.

There were no changes to the minutes.

Motion to approve the minutes of August 13, 2008 as submitted.

M/S: Galang

AYES: 7

NOES: 0

V. ANNOUNCEMENTS

James Lindsay, Planning and Neighborhood Services Director provided the Commissioners a copy of the adopted Transit Area Specific plan which includes all of the changes by City Council at their June 3rd meeting. He also provided a copy of the Final and Draft impact reports for Landmark Tower project. The item is being continued this evening but will be coming up at the next meeting.

VI. CONFLICT OF INTEREST

Assistant City Attorney Bryan Otake asked if any member of the Commission has any personal or financial conflict of interest related to any of the items on tonight's agenda.

There were no Commissioners who identified a conflict of interest.

UNAPPROVED
Planning Commission Minutes

August 27, 2008

**VII.
APPROVAL OF
AGENDA**

Vice Chair Mandal asked whether staff or the Commission have any changes to the Agenda.

There were no changes to the agenda.

Motion to approve the agenda.

M/S: Ali-Santosa/Sandhu

AYES: 7

NOES: 0

**VIII.
CONSENT CALENDAR**

Vice Chair Mandal asked whether staff, the Commission, or anyone in the audience wished to remove or add any items to the consent calendar.

Mr. Lindsay suggested to add Item No. 4 (General Plan Amendment No. GP2007-6, Zone Change No. ZC2007-3, Environmental Assessment No. EA2007-1, Major Tentative Map No. MT08-0003, Site Development Permit No. SZ2007-2) to the consent calendar.

Vice Chair Mandal opened the public hearing on Item Nos. 2 and 4.

There were no speakers from the audience.

Motion to close the public hearing on Item No. 2 and continue Item No. 4 to September 10, 2008.

M/S: Sandhu/Ciardella

AYES: 7

NOES: 0

***2 GENERAL PLAN AMENDMENT NO. GP08-0004 AND ZONING AMENDMENT NO. ZA08-0008:** A request to amend the General Plan land use and Zoning designation for the parcel located at 1425 McCandless Drive from High Density Transit Oriented Residential to High Density Retail-Residential Mixed Use. The purpose of the amendment is to correct an inconsistency with the recently adopted Transit Area Specific Plan. (*Recommendation: Adopt Resolution No. 08-046 recommending approval to the City Council.*)

***4 GENERAL PLAN AMENDMENT NO. GP2007-6, ZONE CHANGE NO. ZC2007-3, ENVIRONMENTAL ASSESSMENT NO. EA2007-1, MAJOR TENTATIVE MAP NO. MT08-0003, SITE DEVELOPMENT PERMIT NO. SZ2007-2:** A request to change the land use and zoning designations of the approximately three-acre project site located at 600 Barber Lane (formerly Billings Chevrolet). The proposed project also involves the redevelopment of the site with an 18-story mixed-use building with an attached 8-level parking garage. The mixed-use building and parking garage is proposed to be approximately 277 and 115 feet in height, respectively. The mixed use building includes 148,805 gross square feet of retail (floors 1-3), 48,960 gross square feet of office (floor 4) and 375 residential condominium units (floors 5-18). The proposed project includes amendments to the City of Milpitas General Plan and Zoning Map. An Environmental Impact Report has been prepared for this project and includes over-riding considerations to adopt. (*Recommendation: Open the public hearing and continue to the September 10, 2008 meeting.*)

IX. PRESENTATION

1. MODIFICATION TO PLANNED ROADWAY SYSTEM IN MIDTOWN SPECIFIC PLAN

Jaime Rodriguez, Traffic Engineer, presented a proposed project which consists of changes to the existing and planned roadway system within the Milpitas Midtown Area, which were described in the Specific Plan EIR as either the existing condition or as proposed mitigation for impacts created by the Specific Plan. These changes include the following: 1) Converting the eastbound Carlo Street onramp at Calaveras Boulevard to an eastbound off ramp. 2) Reducing the number of lanes on Main Street from Abel Street to Great Mall Parkway from five lanes (two lanes in each direction with a center turn lane) to three lanes (one lane in each direction with a center turn lane) and other ancillary changes. Mr. Rodriguez said this was a note receipt and file and no action is necessary.

Vice Chair Mandal asked how the public was notified. Mr. Rodriguez said public agencies were notified about the environmental impact report and a public meeting was held that was noticed in the Milpitas Post and only one person attended.

Commissioner Ciardella asked how the City plans to start construction on the project this winter if they have to put it out to bid. Mr. Rodriguez said the project is ready to go out to bid and the only hold up is receiving the encroachment permit from the state.

Commissioner Galang asked how commuters will be able to travel to Calaveras Blvd. from Main Street if Carlo Street is closed and Mr. Rodriguez explained different routes that commuters could take.

Commissioner Galang asked for clarification on reducing lanes from South Main street from Abel Street to Great Mall Parkway from five lanes to three lanes. Mr. Rodriguez said there are currently five lanes (2 southbound lanes, center lane and 2 northbound lanes) with bike lanes on Main Street between Great Mall Parkway and Abel. The traffic volumes on Main Street are fairly low, and staff is suggesting a lane reduction with the removal of one northbound and one southbound lane to provide for parking on both sides of the street and the bike lanes will be maintained.

Commissioner Sandhu asked if the traffic circulation problem at the Milpitas post office has been taken care of and Mr. Rodriguez said that is a separate issue from this project.

Vice Chair Mandal noted that this was an informational item only and there is no action necessary.

UNAPPROVED Planning Commission Minutes

August 27, 2008

X. PUBLIC HEARING

3. SITE DEVELOPMENT PERMIT AMENDMENT NO. SA08-0004

Cindy Hom, Assistant Planner, presented a request for site and building modifications to allow the conversion of an existing 199 square feet of an existing covered porch into living space, a 1,175 square feet new basement addition, and renovation of an existing rear yard deck located at 1628 Pebble Beach Court. Ms. Hom recommended to Adopt Resolution No. 08-042 approving the project subject to conditions of approval.

Vice Chair Mandal recalled that there was a fire in that area and asked about the proposed landscaping. Ms. Hom said that when the applicant submits for building permits, they will provide a detailed landscaping plan conditioned per City Council resolution to conform to landscaping and water conservation.

Vice Chair Mandal introduced the applicant.

Tom Hui, 1628 Pebble Beach Court, Milpitas, said he is available to answer any questions.

Vice Chair Mandal asked Mr. Hui what type of landscaping will be provided. Mr. Hui said he will do what he can to prevent a fire hazard and is consulting with the architect. Vice Chair Mandal opened the public hearing.

Jerry Fedor, lives across from the applicant, asked if the trellis will be open so as not to block his view. Ms. Hom said the proposed trellis is nine feet tall and will be open.

Motion to close the public hearing.

M/S: Tabladillo/Sandhu

AYES: 7

NOES: 0

Motion to approve Site Development Permit Amendment No. SA08-0004 subject to the attached Resolution No. 08-042 and conditions of approval.

M/S: Ali-Santosa/Tabladillo

AYES: 7

NOES: 0

XI. ADJOURNMENT

The meeting was adjourned at 7:40 p.m. to the next regular meeting of September 10, 2008.

Respectfully Submitted,

James Lindsay
Planning & Neighborhood
Services Director

Veronica Bejines
Recording Secretary

UNAPPROVED
Planning Commission Minutes

August 27, 2008



MILPITAS PLANNING COMMISSION
AGENDA REPORT

PUBLIC HEARING

Meeting Date: August 27, 2008

APPLICATION: **SITE DEVELOPMENT PERMIT AMENDMENT NO. SA08-0004,
HUI RESIDENCE.**

APPLICATION
SUMMARY:

A request for site and building modifications to allow the conversion of an existing 199 square covered porch into living space, a 1,175 square new basement addition, renovation of an existing rear yard deck and installation of accessory structures.

LOCATION:
APPLICANT:
OWNER:

1628 Pebble Beach Court (APN 029-55-020)
Tom Hui, 1628 Pebble Beach Court, Milpitas, CA 95035
Same as above.

RECOMMENDATION:

Staff recommends that the Planning Commission:
1. Close the public hearing; and
2. Adopt Resolution No. 08-042 approving the project subject to conditions of approval.

PROJECT DATA:
General Plan/
Zoning Designation:

Single Family Residential Hillside Medium Density (HLD)/Single Family Residential with Hillside Combining District (R1-H).

Site Area:
Proposed Total Living Area:
New Basement Addition:
Proposed Impervious Coverage:

19,997 sq. ft. (.46 acres)
5,834 sq. ft.
1,175 sq. ft.
7,962 sq. ft

CEQA Determination:

The proposed project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines.

PLANNER:

Cindy Hom, Assistant Planner

ATTACHMENTS:

- A. Resolution No. 08-042
- B. Project Plans
- C. Project Letter
- D. Photos
- E. HOA approval

HUI RESIDENCE

LOCATION MAP



No scale

BACKGROUND

The City Council approved Planned Unit Development (PUD) 21, Summitpointe, on May 17, 1984, for the subdivision of 88 lots in the hillside area. On November 17, 1988, the Planning Commission granted Site and Architectural approval for the project site and allowed for the construction of a two-story single family home and rear yard deck.

On January 25, 2008, Tommy Hui submitted an application to request for site and building modifications to an existing residence located 1628 Pebble Beach Court. The application is submitted pursuant to Milpitas Municipal Code XI-10-45.09-2 (Hillside Site and Architectural Approval), XI-10-45.18-4 (b) (Grading in excess of 500 cubic yards) and XI-54.09 (Accessory Structures) for Planning Commission and City Council review and approval.

PROJECT DESCRIPTION

The project is located within the Summitpointe Subdivision and is situated on a 0.46-acre parcel that is developed with an existing 5,635 square foot, two-story residence with an attached porte-cochere cover that is constructed over the front driveway; two 5-foot rock veneer retaining, and an approximately 700 square foot slate tile rear yard deck. The project is zoned Single Family Residential with the Hillside Combining District (R1-H) and is surrounded by other hillside homes. A vicinity map of the subject site location is included on the previous page.

The applicant is proposing site and building modifications that consist of converting 199 square feet of an existing covered porch area to living space, a rebuild and remodel of the existing rear deck that includes a new 1,175 square foot basement addition below, grading of approximately 521 cubic yards of soil, removal of approximately 1,785 of impervious surface that will be replaced with new landscaping, and installation of a new wooden trellis, landscape planter box, and a new wooden gate on the side yard.

Room Addition

The proposed room addition is located on the main floor and allows for an enlarged parlor and foyer area. The proposed addition would replace two existing double glass doors and bay window with a new stucco wall with a ribbon window and new slider glass door that matches and compliments the existing building in terms of materials and styles.

Remodeled Deck

The remodeled patio deck shall consist of new deck tiles, glass block skylights, replacement of iron guardrails with new decorative balustrades, and reconfiguration of the deck stairs and steps between the upper and lower deck areas. The deck is approximately 5 ½ feet tall measured from the nearest grade. The overall height, including the balustrades, is 8-feet. The deck spans approximately 39-feet wide and 25-feet long. The outline of the deck remains relatively the same except the corners are proposed to be tapered back compare to being squared as it is currently. The tapered corners would be in keeping with the building form.

Basement

The 1,175 square foot new basement addition will be located below the remodeled deck and will be partially above ground (approximately 5 ½-feet or half of the total wall height will appear above grade). As proposed, the design and location of the basement allows them utilize the under story area of the

deck which minimizes grading and the need for new retaining walls. The proposed floor plan consists of a new game room, media storage area, and bathroom. The basement addition proposes minor exterior elevations changes that include new openings for awnings and the removal of raised landscape planters along the base of the deck and basement.

Grading

Based on the grading plans prepared by SMP Engineers, approximately 521 cubic yards of soil will need to be excavated to accommodate the proposed basement. Grading activities will be limited to the footprint of the basement addition. The project adheres to the grading regulation in that the existing grade is to be maintained as demonstrated on the grading plans (Sheet C-3). **Staff recommends a condition of approval** that all earthwork and site drainage, including basement excavation, preparation of subgrade beneath basement mat slab and slab-on-grade, installation of backdrains and backfill behind basement and site retaining walls, and the installation of subsurface and surface drainage control devices should be performed in accordance with the recommendation of the Geotechnical Report prepared by Murray Engineers Inc. dated October 31, 2007. Murray Engineers, Inc. shall be contacted 48 hours prior to any earthwork operations and should be present to observe and/or text as necessary the earthwork and foundation installation phases of the project.

Trellis and Landscape Planter

The project proposes a new 9-foot tall and 15-foot wide wooden trellis structure over a 2 ½-foot tall concrete planter box that will have a decorative trim cap and stucco finish to match the building. Proposed structure maintains the required 5-foot side yard setback and is located in the side yard near towards the rear of the house. The project complies with the 17' maximum height limit for accessory structures in the Hillside District.

Wood Gate

The project proposes a new 5-foot tall wood gate adjacent to the new trellis and planter box structure. The proposed gate is in keeping with MMC XI-10-54.11 (D) (Fences in the Hillside District) by utilizing wood post and wrought iron material that proposes an openwork type fence design.

Landscaping

The project proposes to remove approximately 1,785 square of existing hardscape to bring the site into conformance with the impervious coverage 8,000 square foot limitation. The impervious surfaces areas to be removed include a portion of the existing driveway and sections of hardscape that flank the front entryway. Staff can approve additional landscape administratively. **Staff recommends as a condition** that the applicant shall submit a landscape and irrigation plan to demonstrate conformance with City Council Resolution 6066 for Hillside Landscaping Water Conservation and Fire Hazard Mitigation.

Development Standards

Table 1
PUD Development Standards

	<i>PUD Standard</i>	<i>Existing</i>
<u>Setbacks</u> (Minimum)		
Front	20'	32'
Side	5'	12 ½' and 28'
Rear	10'	37'
<u>Building Height</u> (Maximum)	2 Story with max. of 30' at eave line	29'
<u>Parking</u>	3-car garage	4-car
<u>Landscaping</u> (Minimum)	1 mature olive tree/lot	1

Table 2
Hillside Development Standards

	Hillside Development Standard	Proposed
Size of Dwelling	6,000 sq. ft. maximum	5, 834 sq. ft.
Impervious Surface Coverage	10% of total lot area or 8,000 SQ. FT.	8,000 sq. ft.
Accessory Structure Height	17'	11 ½'
<u>Fence</u>		
▪ Height	▪ 54-inches or taller with PC Approval	5'
▪ Material	▪ Natural or other material with PC Approval	Wood post/ wrought iron
▪ Visual Transparency	▪ 75% visual transparency	Yes

ADOPTED PLANS AND ORDINANCES CONSISTENCY

General Plan

The table below outlines the project's consistency with applicable General Plan Guiding Principles and Implementing Policies:

Table 3
General Plan Consistency

Policy	Consistency Finding
<p><i>Implementing Policy 2.a-I-18</i></p> <p><i>To ensure that development in the foothills is in keeping with the natural character of the hillside, and that views are protected, require city review and approval of all proposed development or major alterations to existing development in the hillside. As part of the review, ensure that:</i></p> <ul style="list-style-type: none"> ▪ <i>Landscaping is of a type indigenous to the area;</i> ▪ <i>Building designs, materials and colors blend with the environment;</i> ▪ <i>Grading is minimized and contoured to preserve the natural terrain quality.</i> 	<p>Consistent. The proposed project is consistent the policy, in which the project received site and architectural review for conformance with the Hillside Ordinance. The project as proposed is keeping with the existing architectural design of the home by utilizing materials and styles that match the existing home. The proposed modification maintains the natural character of the hillside by not expanding beyond the existing footprint of the building and maintaining the existing grade. As conditioned, the materials, design of the accessory structures and landscaping will be in keeping with the natural setting and view of the hillside.</p>

Zoning Ordinance

The project is aesthetic and harmonious with the surrounding development and will not impact views considering the building height remains unchanged. The bulk and massing of the home also remains the same because the basement will not enlarge the footprint of the home or add additional height. The proposed grading is keeping with the natural topography of site, which slopes down, in the northwest direction. Grading activities are limited to the rear deck area only. The proposed building modifications utilize colors, material, and styles that complement the existing home. The project complies with the PUD development standards and Hillside Zoning Ordinance as demonstrated in Table 2 above and is consistent with the Milpitas General Plan.

ENVIRONMENTAL REVIEW

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). Staff determined that the project is categorically exempt per Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines. The proposed project entails site and building modifications to existing single-family residence.

PUBLIC COMMENT/OUTREACH

Staff publicly noticed the application in accordance with City and State law. As of the time of writing this report, there have been no inquiries from the public. The applicant has obtained architectural design review approval from the Summitpointe Home Owner Association.

CONCLUSION

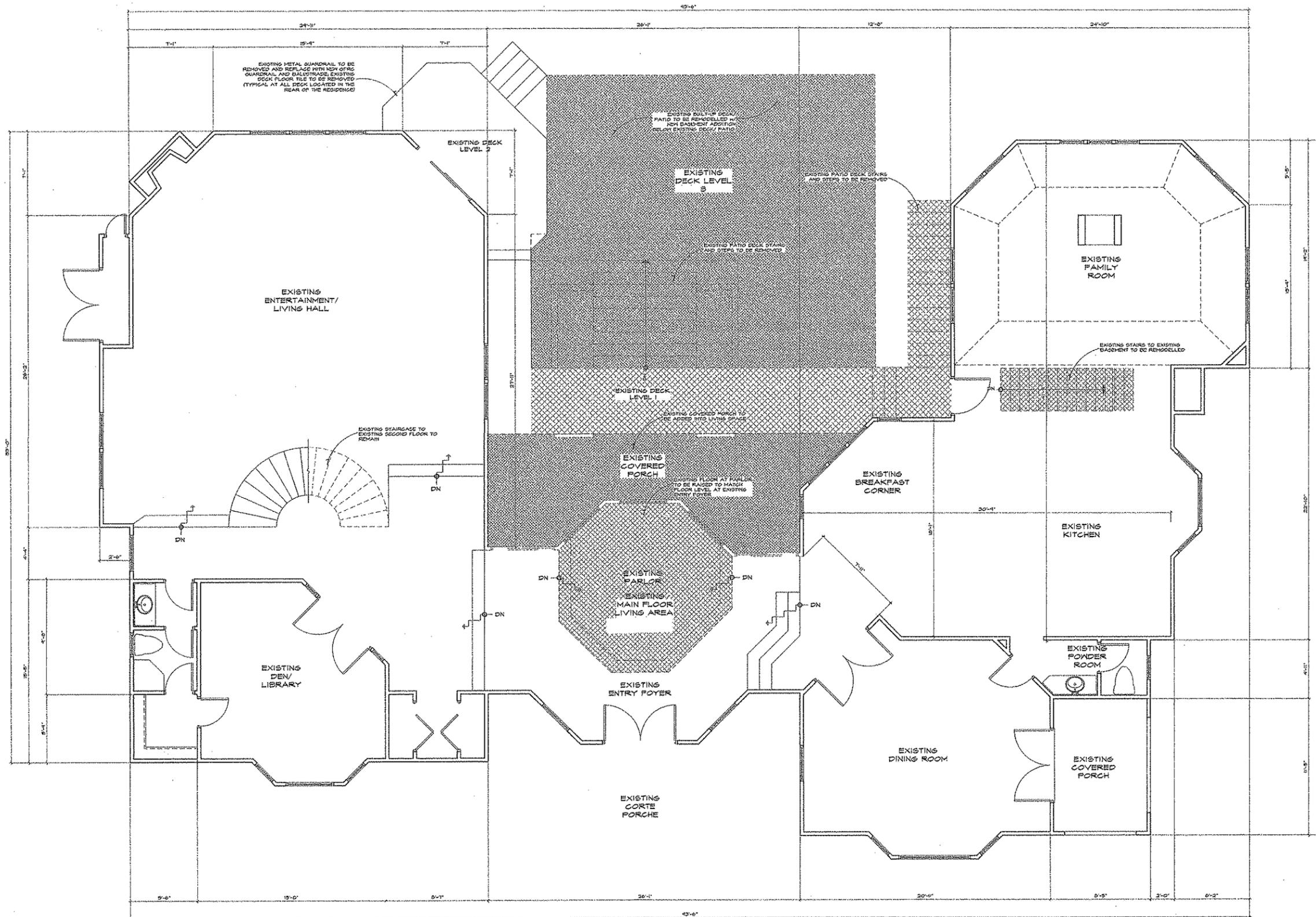
In conclusion, the project will be aesthetic and harmonious with the surrounding development and will not impact views. The bulk and massing of the home remains unchanged from the original condition and maintains the same footprint and building form of the existing home. The proposed grading will not be significant and limited to the rear deck area only. The proposed building modifications utilize colors, material, and styles that complement the existing home. The project complies with the PUD development standards and Hillside Zoning Ordinance and is consistent with the Milpitas General Plan.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission adopt Resolution No. 08-042 approving Site Development Permit Amendment No. SA08-0004, Hui Residence, subject to the attached Conditions of Approval.

Attachments:

- A. Resolution/Conditions of Approval
- Plans
- Photos
- Project letter
- HOA Letter



NOTES and LEGEND:

INDICATES EXISTING WOOD STIG HALLS AND STRUCTURES TO REMAIN

INDICATES EXISTING HALLS AND STRUCTURES TO BE DEMOLISHED OR REPLACED (AS NOTED ON THE PLANS)

AS-BUILD/ DEMOLITION PLAN AT FIRST FLOOR
 SCALE 1/4" = 1'-0"

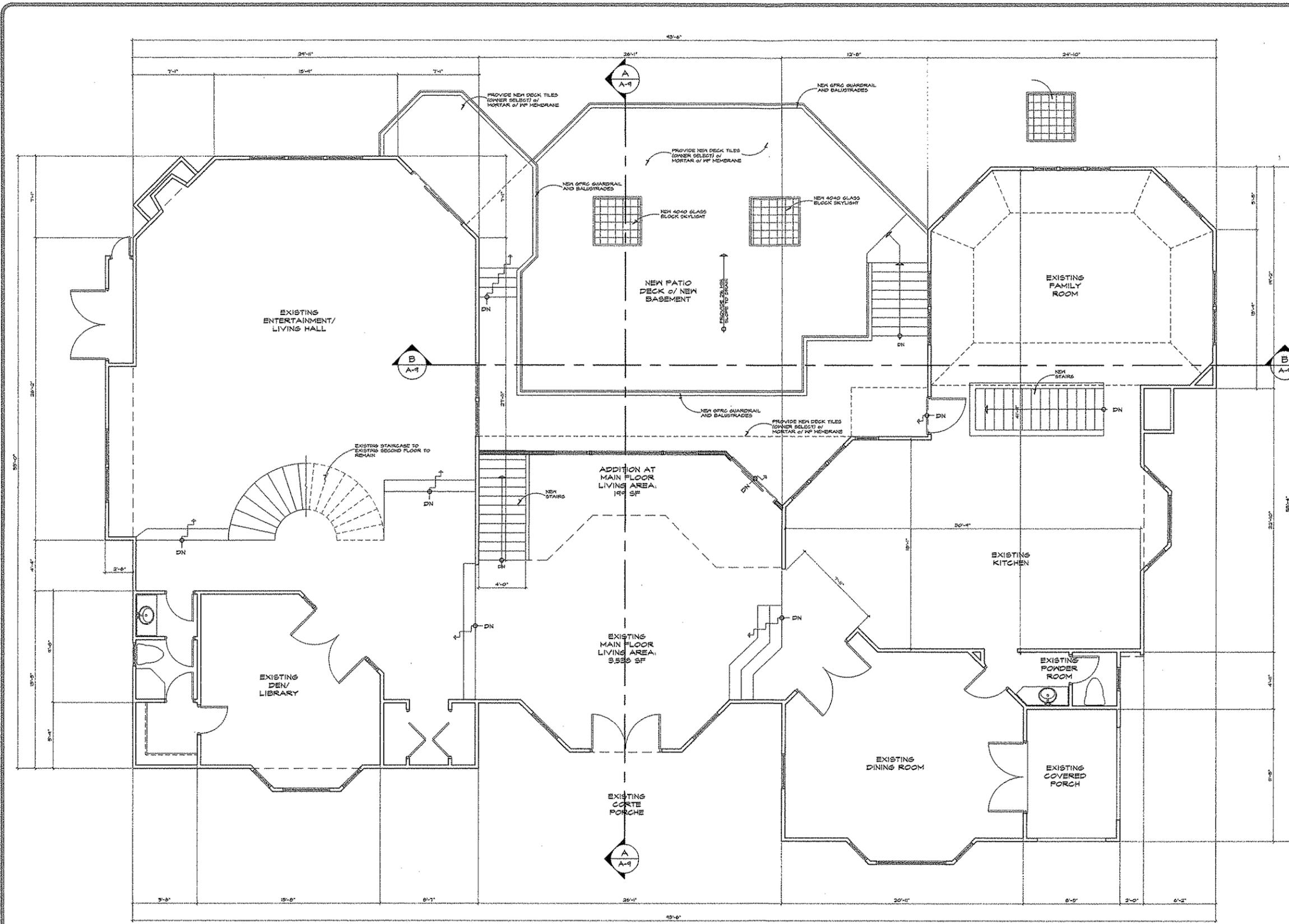
N.D.T.L.C.E.
 These drawings represent ideas, design, arrangement, plan and specifications which are proprietary to Atelier Designs. All builders, contractors and professionals commissioned by the Client/ Home owner or authorized agent of the owner are responsible for verification of all conditions, dimensions and details indicated in these drawings. No part of these plans, specifications, and or details can be reproduced in any manner without the written consent of Atelier Designs.

ATELIER DESIGNS

Drafting and Design Service Firm
 482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
 Phone nos. (408) 266-8382 (408) 806-8188

RESIDENTIAL ADDITION AND REMODEL FOR:
**MR. and MRS. TOMMY
 and WINGY HUI**
 1626 PEBBLE BEACH COURT
 MILPITAS, CA 95035

DRAWN BY: TX HUI
 DATE: 1/2/2008
 PROJECT: FT Kun
 SCALE: AS NOTED



NEW FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

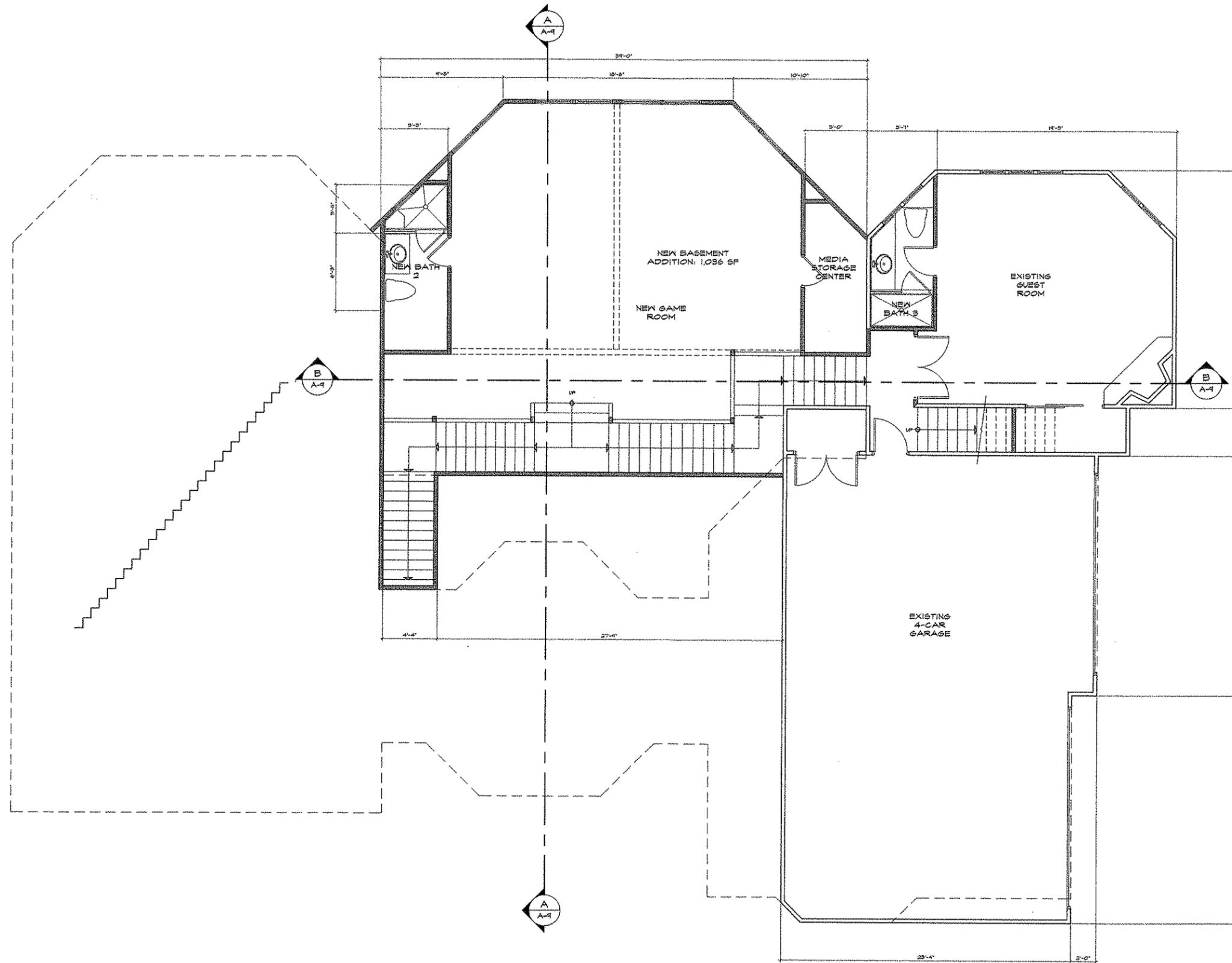
- NOTES and LEGEND:**
- INDICATES NEW 2x4 HOOD STUDS AT 24" O.C. WALLS (TYPICAL UOJ)
 - INDICATES EXISTING HOOD STUD WALLS AND STRUCTURES TO REMAIN
 - INDICATES EXISTING WALLS AND STRUCTURES TO BE DEMOLISHED, REMOVED OR REPLACED (AS NOTED ON THE PLANS)
- ELECTRICAL/MECHANICAL SYMBOLS:**
- EXTERIOR SECURITY LIGHT WITH MOTION SENSOR SWITCH
 - 150 AFCI DUPLEX OUTLET W/ ARC FAULT INTERRUPTER CIRCUIT
 - 110V DUPLEX OUTLET
 - 110V DUPLEX OUTLET W/ HALF-HOT
 - 110V DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER CIRCUIT
 - 110V DUPLEX FLOOR OUTLET
 - 220V OUTLET
 - SMOKE DETECTOR
 - SURFACE MOUNT CEILING FIXTURE
 - WALL MOUNT LIGHT FIXTURE
 - RECESSED LIGHT FIXTURE
 - RECESSED LOW VOLT LIGHT FIXTURE
 - RECESSED 'DIRECTIONAL' LIGHT FIXTURE
 - CHANDELIER LIGHT FIXTURE
 - RECESSED FLUORESCENT LIGHT FIXTURE
 - CEILING FAN
 - SURFACE MOUNT FLUORESCENT LIGHT FIXTURE
 - EXHAUST FAN W/ DAMPER AND FAN
 - PHONE JACK
 - TELEVISION JACK
 - TOGGLE LIGHT SWITCH
 - THREE-WAY SWITCH
 - FOUR-WAY SWITCH
 - PUSH BUTTON SWITCH (GHE, GARAGE DOOR, ETC.)
 - THERMOSTAT
 - HALL MOUNT AIR REGISTER
 - TOE KICK MOUNT AIR REGISTER
 - FLOOR MOUNT REGISTERS
 - CEILING MOUNT AIR REGISTER
 - CEILING MOUNT AIR RETURN REGISTER
 - HOSE BIB
 - GAS COCK
 - FIRE PLACE GAS TURN KEY
 - MAIN POWER PANEL (100V-110V WITH 200 AMP MIN)
 - MAIN GAS METER VALVE

ATELIER DESIGNS
Drafting and Design Service Firm
482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
Phone nos. (408) 266-8382 (408) 806-8188

RESIDENTIAL ADDITION and REMODEL FOR:
MR. and MRS. TOMMY and WINCY HUI
1628 PEBBLE BEACH COURT
MILPITAS, CA 95035

DATE: 1/2/2008
DRAWN BY: PT Kun
SCALE: AS NOTED

A-U



NEW BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTES and LEGEND:

- INDICATES NEW 2x4 WOOD STUDS AT 16" O.C. WALLS (TYPICAL WOOD)
- INDICATES EXISTING WOOD STUD WALLS AND STRUCTURES TO REMAIN
- INDICATES EXISTING WALLS AND STRUCTURES TO BE DEMOLISHED, REMOVED OR REPLACED (AS NOTED ON THE PLANS)

ELECTRICAL/MECHANICAL SYMBOLS:

- EXTERIOR SECURITY LIGHT WITH MOTION SENSOR SWITCH
- 10 AFCI DUPLEX OUTLET W/ ARC FAULT INTERRUPTER CIRCUIT
- 10V DUPLEX OUTLET
- 10V DUPLEX OUTLET W/ HALF-HOT
- 10V DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER CIRCUIT
- 10V DUPLEX FLOOR OUTLET
- 220V OUTLET
- SMOKE DETECTOR
- SURFACE MOUNT CEILING FIXTURE
- WALL MOUNT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED LOW VOLT LIGHT FIXTURE
- RECESSED DIRECTIONAL LIGHT FIXTURE
- CHANDELLER LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- CEILING FAN
- SURFACE MOUNT FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN W/ DAMPER AND FAN
- PHONE JACK
- TELEVISION JACK
- TOGGLE LIGHT SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- PUSH BUTTON SWITCH (CHIME, GARAGE DOOR, ETC.)
- THERMOSTAT
- WALL MOUNT AIR REGISTER
- TOE KICK MOUNT AIR REGISTER
- FLOOR MOUNT REGISTERS
- CEILING MOUNT AIR REGISTER
- CEILING MOUNT AIR RETURN REGISTER
- HOSE BIB
- GAS COCK
- FIRE PLACE GAS TURN KEY
- MAIN POWER PANEL (100-150V WITH 200 AMP NBU)
- MAIN GAS METER VALVE

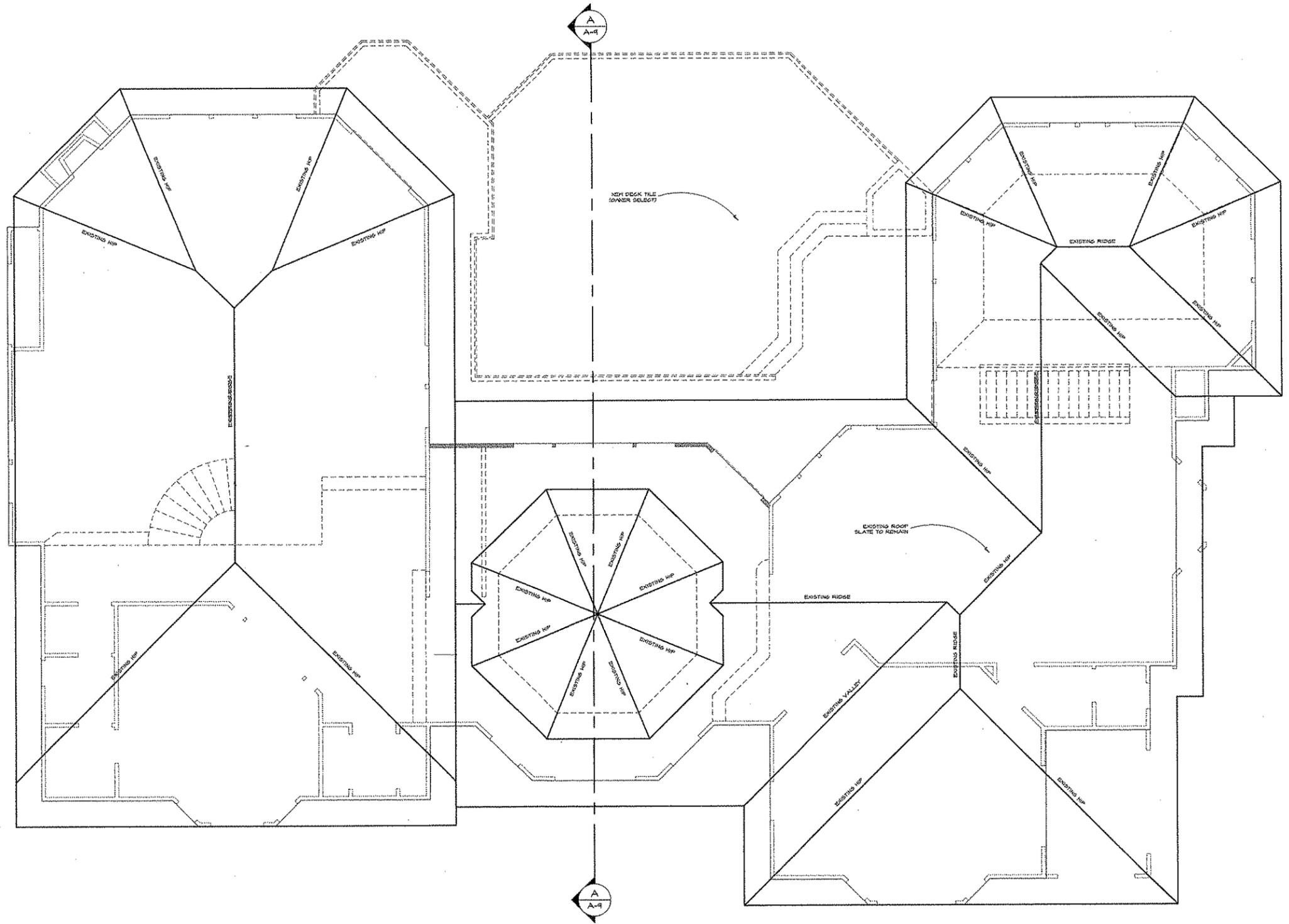
NO.	REVISIONS

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RESIDENTIAL ADDITION and REMODEL FOR:
MR. and MRS. TOMMY and WINCY HUI
1628 PEBBLE BEACH COURT
MILPITAS, CA 95035

DATE: 7/2/2008
DRAWN BY: PT Kun
SCALE: AS NOTED



ROOF PLAN
SCALE 1/4" = 1'-0"

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 482 W. Hamilton Avenue, PMB #137, Campbell, CA 95008
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RESIDENTIAL ADDITION AND REMODEL FOR:
**MR. and MRS. TOMMY
 and WINCY HUI**
 1628 PEBBLE BEACH COURT
 MILPITAS, CA 95035

JOB NO. TH HUI
 DATE 7/2/2008
 DRAWN BY PT Kun
 SCALE AS NOTED

A-B

NO SCALE
 These drawings represent ideas, design, arrangements, plans and specifications which are proprietary to ATELIER DESIGNS. All buildings, structures and professional commissions by the Client / Homeowner or authorized agent of the owner are responsible for verification of all conditions, dimensions and details indicated in these drawings. No part of these plans, specifications, or details can be reproduced in any manner without the written consent of ATELIER DESIGNS.

MAIN/ FIRST FLOOR AREA CALCULATION (IMPERVIOUS)

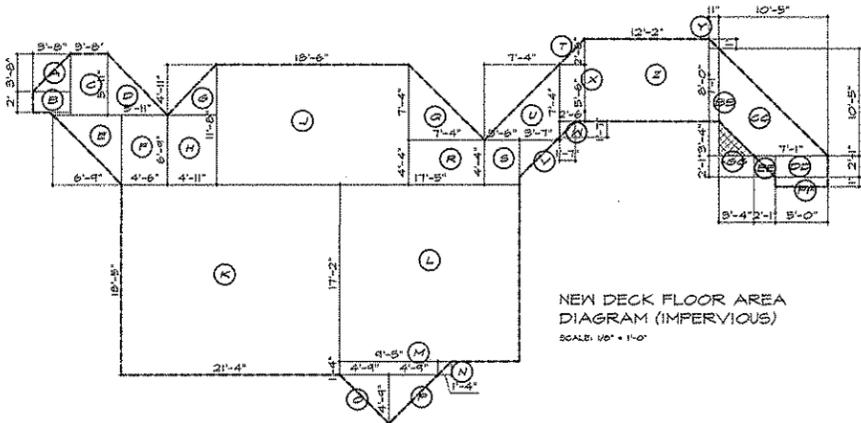
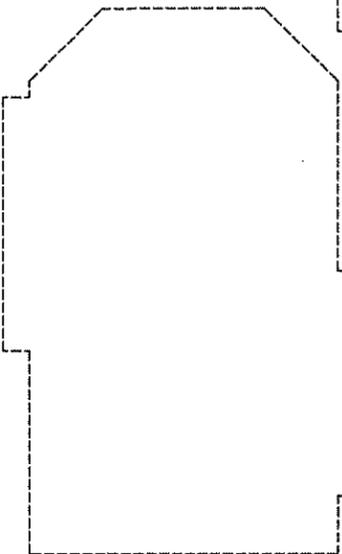
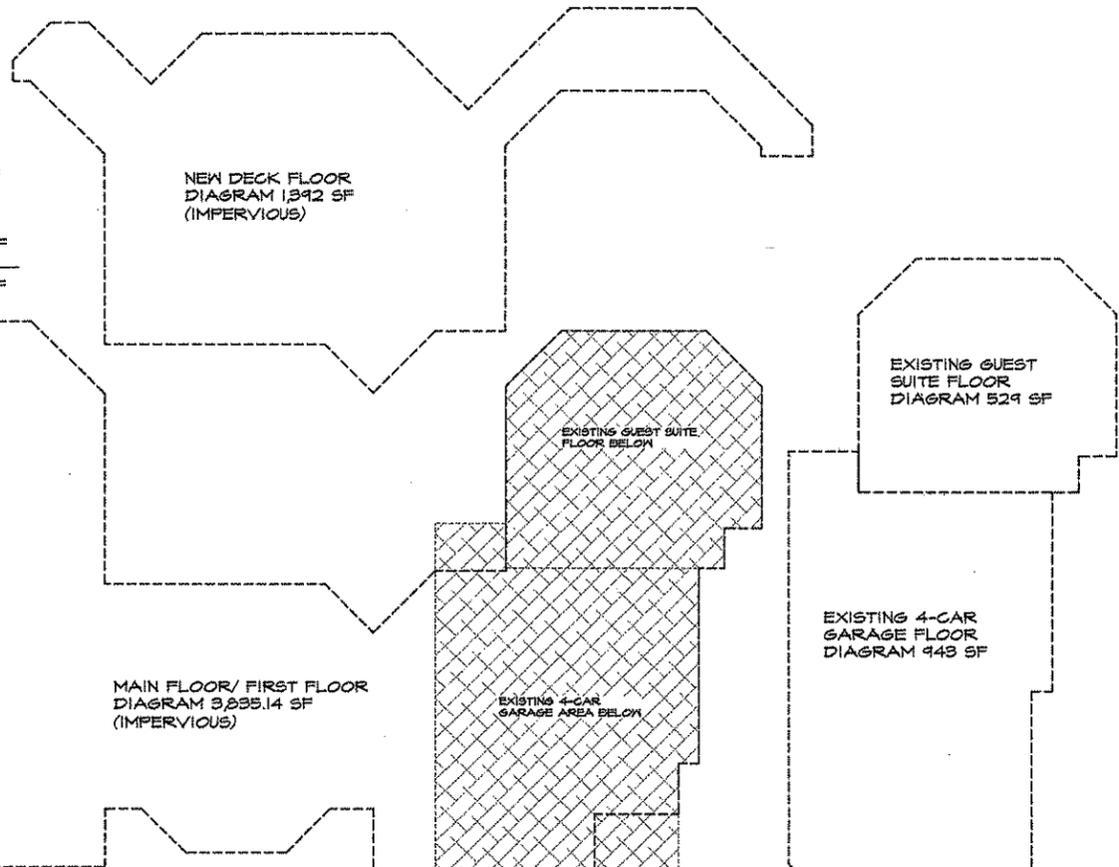
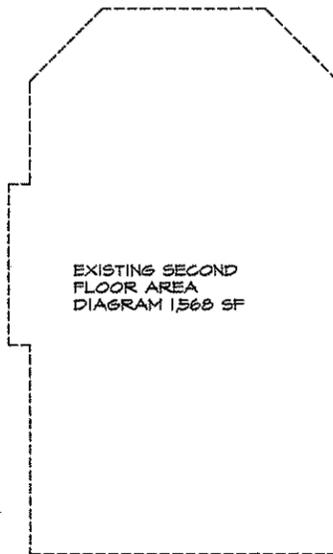
A	22'-0" x 11'-0" = 242.00 SF
B	2'-0" x 24'-0" = 48.00 SF
C	10'-0" x 24'-0" = 240.00 SF
D	14'-0" x 4'-0" = 56.00 SF
E	21'-0" x 21'-4" = 447.24 SF
F	4'-0" x 4'-0" = 16.00 SF
G	6'-0" x 6'-0" = 36.00 SF
H	2'-0" x 2'-0" = 4.00 SF
I	8'-4" x 17'-4" = 146.24 SF
J	7'-1" x 11'-4" = 80.92 SF
K	21'-0" x 10'-4" = 218.40 SF
L	2'-0" x 12'-0" = 24.00 SF
M	6'-4" x 6'-0" = 38.40 SF
N	10'-7" x 2'-0" = 21.40 SF
O	10'-4" x 5'-0" = 52.00 SF
P	10'-4" x 5'-0" = 52.00 SF
Q	8'-2" x 10'-4" = 85.28 SF
R	2'-0" x 5'-0" = 10.00 SF
TOTAL BUILDING AREA = 3,255.14 SF	

NEW DECK AREA CALCULATION (IMPERVIOUS)

A	5'-0" x 5'-0" = 25.00 SF
B	2'-0" x 5'-0" = 10.00 SF
C	5'-0" x 5'-0" = 25.00 SF
D	5'-0" x 5'-0" = 25.00 SF
E	6'-4" x 6'-4" = 40.96 SF
F	4'-6" x 6'-4" = 29.52 SF
G	4'-0" x 4'-0" = 16.00 SF
H	4'-0" x 6'-4" = 25.60 SF
I	10'-6" x 11'-0" = 116.60 SF
J	27'-4" x 10'-0" = 273.80 SF
K	17'-0" x 17'-2" = 291.60 SF
L	4'-5" x 11'-4" = 51.20 SF
M	11'-4" x 11'-4" = 129.96 SF
N	4'-0" x 4'-0" = 16.00 SF
O	4'-0" x 4'-0" = 16.00 SF
P	7'-4" x 7'-4" = 54.76 SF
Q	5'-0" x 5'-0" = 25.00 SF
R	7'-4" x 4'-4" = 32.72 SF
S	5'-0" x 4'-4" = 22.00 SF
T	2'-0" x 2'-0" = 4.00 SF
U	7'-4" x 7'-4" = 54.76 SF
V	5'-7" x 2'-0" = 11.40 SF
W	1'-7" x 1'-7" = 2.89 SF
X	2'-0" x 5'-0" = 10.00 SF
Y	0'-11" x 0'-11" = 1.21 SF
Z	12'-2" x 5'-0" = 61.00 SF
AA	0'-11" x 7'-1" = 8.11 SF
BB	10'-0" x 10'-0" = 100.00 SF
CC	7'-1" x 2'-0" = 14.20 SF
DD	2'-0" x 2'-0" = 4.00 SF
EE	5'-0" x 0'-11" = 0.55 SF
FF	5'-4" x 5'-4" = 29.16 SF
GG	5'-4" x 5'-4" = 29.16 SF
TOTAL NEW DECK AREA = 1,395.11 SF	

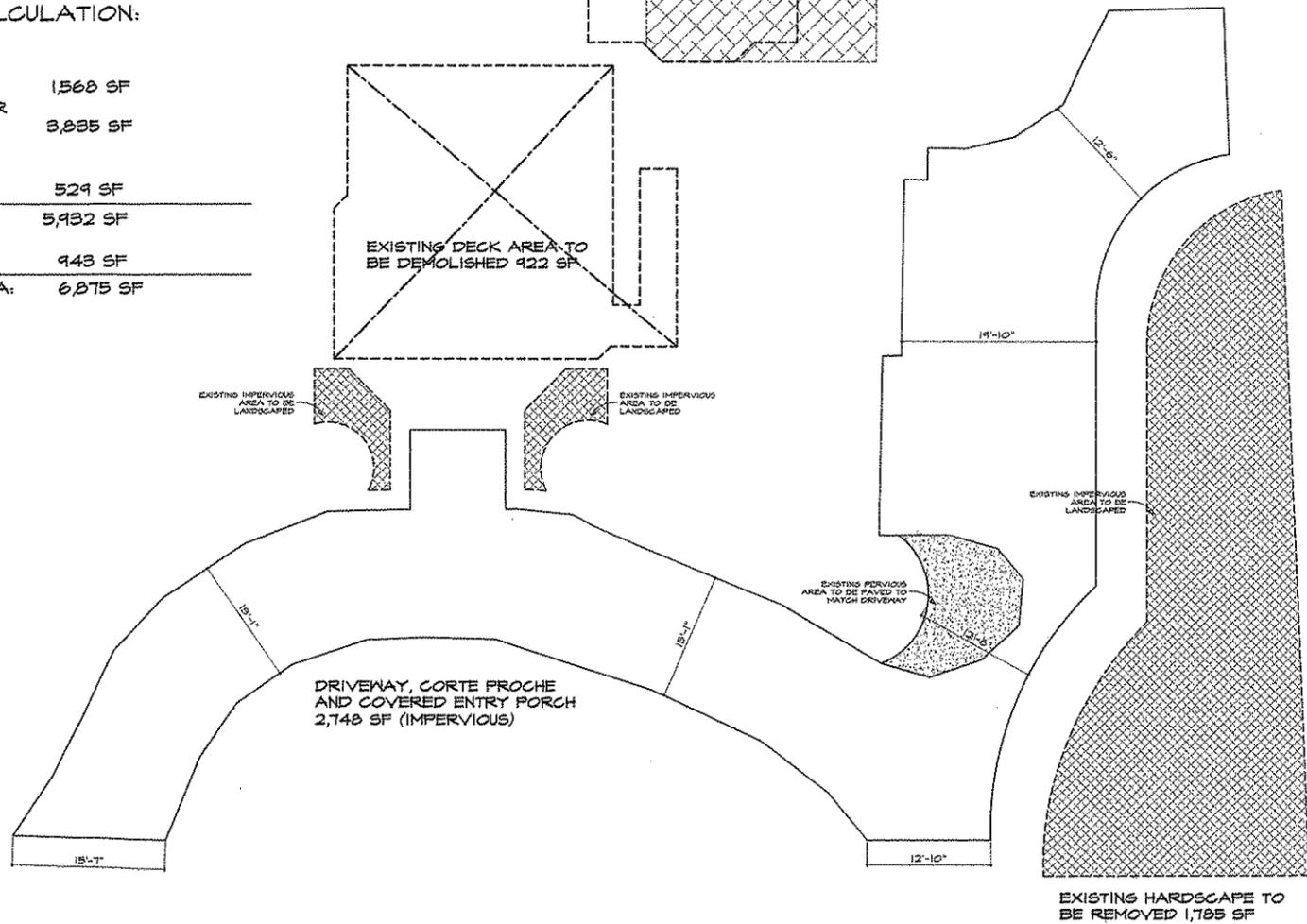
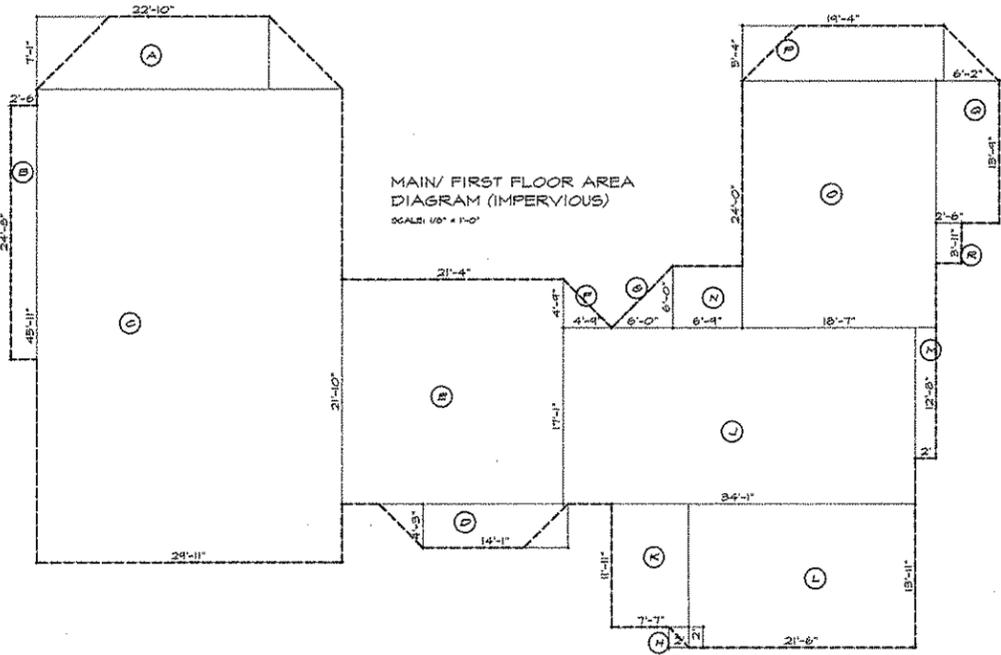
IMPERVIOUS AREA CALCULATION: (SCALE: 1/8" = 1'-0")

NEW DECK FLOOR DIAGRAM:	1,395.11 SF
MAIN FLOOR/ FIRST FLOOR DIAGRAM:	3,835 SF
DRIVEWAY, CORTE PORCHE AND COVERED ENTRY PORCH:	4,517 SF
LESS AREA TO BE LANDSCAPED AT EXISTING DRIVEWAY, CORTE PORCHE AND COVERED ENTRY PORCH:	-1,785 SF
TOTAL NEW IMPERVIOUS AREA:	7,962.11 SF



BUILDING AREA CALCULATION: (SCALE: 1/8" = 1'-0")

EXISTING SECOND FLOOR AREA DIAGRAM:	1,568 SF
MAIN FLOOR/ FIRST FLOOR DIAGRAM (IMPERVIOUS):	3,835 SF
EXISTING GUEST SUITE FLOOR DIAGRAM:	529 SF
TOTAL NEW LIVING AREA:	5,932 SF
EXISTING 4-CAR GARAGE FLOOR DIAGRAM:	943 SF
TOTAL NEW BUILDING AREA:	6,875 SF



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RESIDENTIAL ADDITION AND REMODEL FOR:
MR. and MRS. TOMMY and WINCY HUI
 1628 PEBBLE BEACH COURT
 MILPITAS, CA 95035

DATE: 08.15.2007
 DRAWN BY: FTY KUN
 CHECKED BY: AS NOTED

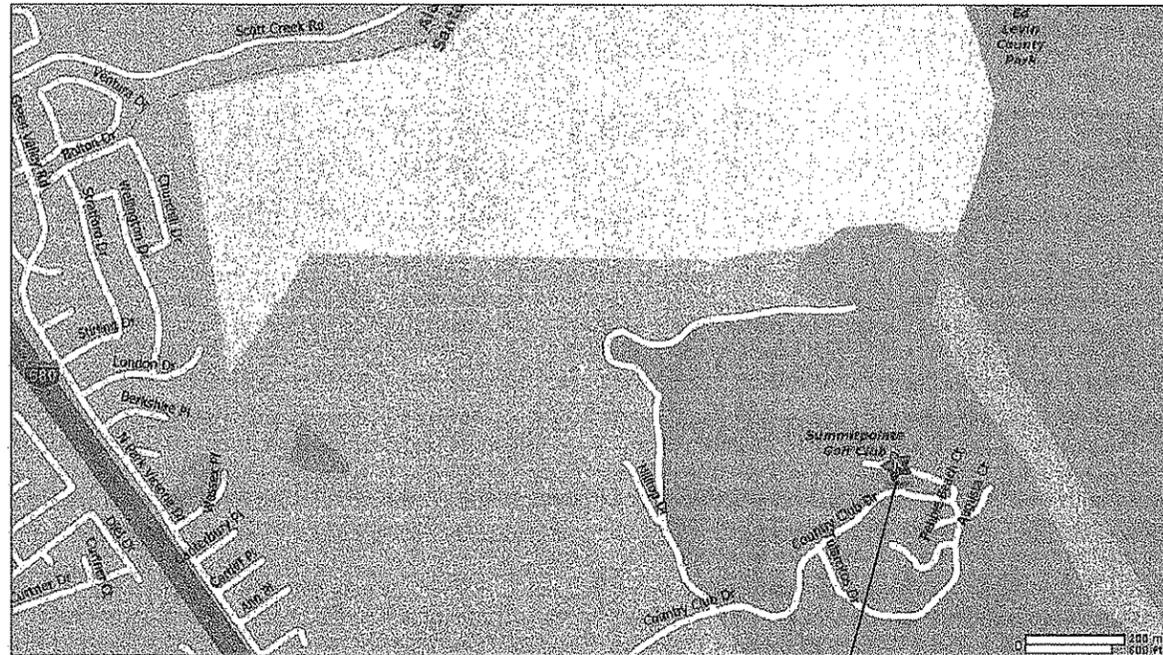
A-10

ABBREVIATIONS			
DESCRIPTION	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE (CLASS AS NOTED)	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	MCN	MONUMENT
BC	BACK OF CURB	(N)	NEW
BFL	BACK FLOW WATER PREVENTOR VALVE	OG	ORIGINAL GROUND
BOW	BOTTOM OF WALL	PB	PULL BOX
BW	BACK OF WALK	PGV	PG&E VAULT
C&G	CURB AND GUTTER	P/L	PROPERTY LINE
CF	GARAGE FINISH FLOOR (BACK)	PP	POWER POLE
C/L	CENTERLINE	PPP	PLASTIC PERFORATED PIPE
CLSW	CENTERLINE SWALE	PSE	PUBLIC SERVICE EASEMENT
CO	CLEANOUT	PVC	POLYVINYL CHLORIDE
CP	CONTROL POINT	R/W	RIGHT OF WAY
CR	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET	SD	STORM DRAIN
DIL	DETAIL	SDMH	STORM DRAIN MANHOLE
ELCT	ELECTRIC	STD	STANDARD
EP	EDGE OF PAVEMENT ELEVATION	SS	SANITARY SEWER
EUC	ELICAL YUPTUS TREE	SSMH	SANITARY SEWER MANHOLE
(E) EX	EXISTING	SW	SIDEWALK
FF	FINISH FLOOR	TC	TOP OF CURB
FG	FINISH GRADE	TF	TOP OF FOUNDATION
FH	FIRE HYDRANT	TOS	TOP OF SLAB
FL	FLOWLINE	TOW	TOP OF WALL
FNC	FENCE	TP	TOP OF PAVEMENT
FOC	FACE OF CURB	(TYP)	TYPICAL
GB	GRADE BREAK	USS	UNDERGROUND-SANITARY SEWER
GFF	GARAGE FINISH FLOOR (FRONT)	UE	UTILITY EASEMENT
GUY	GUY WIRE	UT	UNDERGROUND TELEPHONE
HP	HIGH POINT	UW	UNDERGROUND WATER
IP	IRON PIPE	VCP	VITRIFIED CLAY PIPE
INV	INVERT	WL	WHITE LINE STRIPE
JP	JOINT POLE	WPK	WALKWAY
JB	JUNCTION BOX (UTILITY)	WM	WATER METER
		WV	WATER VALVE

GRADING AND DRAINAGE PLANS

SINGLE FAMILY HOUSE ADDITION AND REMODELING

1628 PEBBLE BEACH CT., MILPITAS, CA 95035



LOCATION MAP
N.T.S.

PROJECT SITE

SITE CONSTRUCTION MANAGEMENT NOTES:

- Construction site shall be enclosed by 6' opaque fence at all times during construction.
- No construction material, equipment, portable toilets, trash containers, or debris shall be placed in the public right-of-way.
- A trash container shall be maintained on site at all times and debris on site which could otherwise blow away, shall be regularly collected and placed in container.
- All construction debris (wood scraps and other debris, which cannot blow away) shall be piled within the property lines of the project in a neat and safe manner.
- The project shall have a signage viewable from the public street that indicates the hours of construction as: Mon- Fri from 7:30 am to 6 PM, Saturdays from 9am to 5pm.

WORK IN PUBLIC RIGHT-OF-WAY:

- Obtain an encroachment permit from Public Works prior to the start of any driveway approach demolition or construction of the street. Contact Public Works Engineer for information regarding obtaining an encroachment permit.

UNDERGROUND UTILITIES:

- All electric lines, communication lines and appurtenances, including all public utility, CATV and telegraph systems, shall be located and installed underground.

SOILS ENGINEER NOTES:

- Prior to requesting a foundation inspection by the City, the Geotechnical Engineer or Civil Engineer who prepared the soil investigation shall provide a field report (in writing) which shall state the following:
 - The building pad was prepared and compacted in accordance with the soil report and specifications.
 - The foundation and/or pier excavation, depth and backfill materials, and drainage (if applicable) substantially conform to the soil report and approved plans.
- Prior to final inspection for any building or structure, the Geotechnical Engineer or Civil Engineer who prepared the soil investigation shall issue a final report stating the completed pad, foundation, finish grading, and associated site work substantially conform to the approved plans, specifications, and investigation.

SHEET INDEX:

- C-1 COVER SHEET/ NOTES/ DETAILS
- C-2 GRADING AND DRAINAGE PLAN
- C-3 CROSS SECTIONS, DETAILS

DRAINAGE NOTES:

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets, and drainage systems.
- Connect roof down spouts to 4" solid pvc @ minimum 1% slope and 6" ground cover. Connect pipe to pop-up emitters per detail. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

SURVEYOR NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
- THE SURVEY WAS BASED ON A GRANT DEED BY COMMONWEALTH LAND TITLE COMPANY OR No: 41116293-283-SSK, DATED JANUARY 5, 2004.
- THE GROSS AREA OF LAND OF RECORD IS 19,996 SQ. FT. ±
- ALL EXISTING BUILDINGS ARE WOOD.
- THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.

DISCLAIMER:

SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:

THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:

THE BEARING BETWEEN MONUMENTS ON PEBBLE BEACH COURT WAS TAKEN AS N 80°51'37" E, TRACT MAP NO. 6452, FILED ON JULY 28, 1981, IN BOOK 488 AT PAGE 10, SANTA CLARA COUNTY RECORDS.

BENCHMARK:

FOUND CITY MONUMENT IN PEBBLE BEACH CT. WITH ASSUMED ELEVATION 700.00

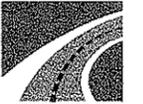
LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
-F-	-F-	FILL AREA LIMIT
-C-	-C-	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUB	SUB	SUBDRAIN PIPE (PERFORATED)
OH e.T.V	OH e.T.V	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
○	●	SANITARY SEWER MANHOLE
⊙	⊙	STORM DRAIN MANHOLE
⊛	⊛	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
X	X	6' WOODEN FENCE
102.23	102.23	SPOT ELEVATION
○	○	TREE PROTECTION FENCE
○	○	5' TALL CHAIN LINK
→	→	DIRECTION OF FLOW IN PIPE
■	■	AREA DRAIN/ INLET
→	→	OVERLAND RELEASE PATH
~	~	GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
○	○	1% MIN. FROM PROPERTY LINE TO SWALE
○	○	(E) TREE TO BE REMOVE
↓	↓	DOWN-SPOUT
○	○	POP-UP EMITTER

GENERAL PROJECT NOTES:

- The Civil Engineer, SMP ENGINEERS, assumes no responsibility beyond the adequacy of their design contained herein.
- Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall apply continuously and not limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance on work of this project, except for liability arising from the sole negligence of the owner or the engineer.
- In the case of conflicts, the requirements of the earthwork specifications prepared for this project by the Soil Engineer shall govern over the requirements of this plan and these notes.
- A reasonable effort has been made to locate and delineate all known underground utilities. The contractor is cautioned that only excavation will reveal the types, extent, sizes, and depth of such underground utilities. SMP ENGINEERS can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities as shown on the plans is approximate only and the contractor shall contact the respective utility companies to obtain information regarding exact depth of burial and horizontal location of utility lines prior to performing grading or underground construction. The contractor shall make the necessary probes to identify areas of possible conflict with proposed construction. The contractor shall contact Underground Service Alert (USA), at (800) 227-2600 at least 48 hours before any excavation work.
- All work for storm and sanitary installations shall begin at the downstream connection point. This will allow for any necessary adjustments to be made prior to the installation of the entire line. If the contractor fails to begin at the downstream connection point and work upstream, he shall proceed at his own risk and be responsible for any adjustments necessary.
- All distances and pipe lengths are horizontal and pipe lengths are measured from center line of structure to center line of structure unless otherwise noted on plans.
- Approval of these plans by SMP ENGINEERS is for grading and drainage design only and in no way implies approval of the structural design of the building, foundation, soil compaction, soils stability or other components.
- Refer to Architectural Plans for building details.
- The Contractor shall comply with the City's best management practices for construction, including the action items noted in the Santa Clara Valley Nine Point Source Pollution Control program document entitled "Blue Print for a Clean Bay".

SMP



ENGINEERS
CIVIL ENGINEERS

1534 CAROL LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:

MR. and MRS. TOMMY
and WINCY HUI

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CIVIL ENGINEERS

COVER SHEET
RESIDENTIAL ADDITION and REMODEL for:
1628 PEBBLE BEACH CT.
MILPITAS, CA 95035
GRADING AND DRAINAGE PLANS

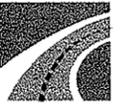
Revisions:



NOTICE TO CONTRACTORS
CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

Date: JUNE 3, 2008
Scale: NTS
Prepared by: V.G.
Checked by: S.R.
Job #: 28039

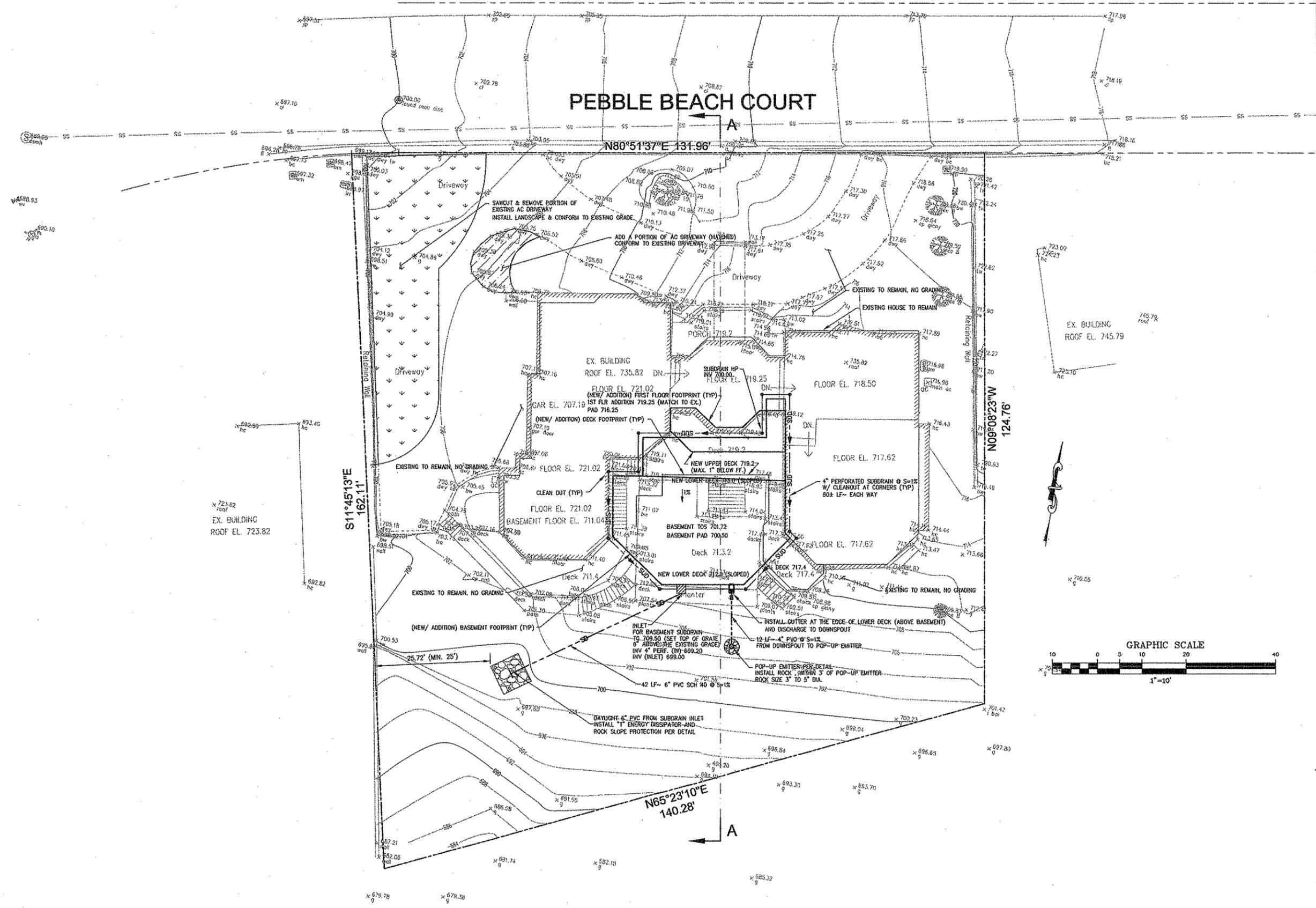
Sheet: 1 OF 3
C-1

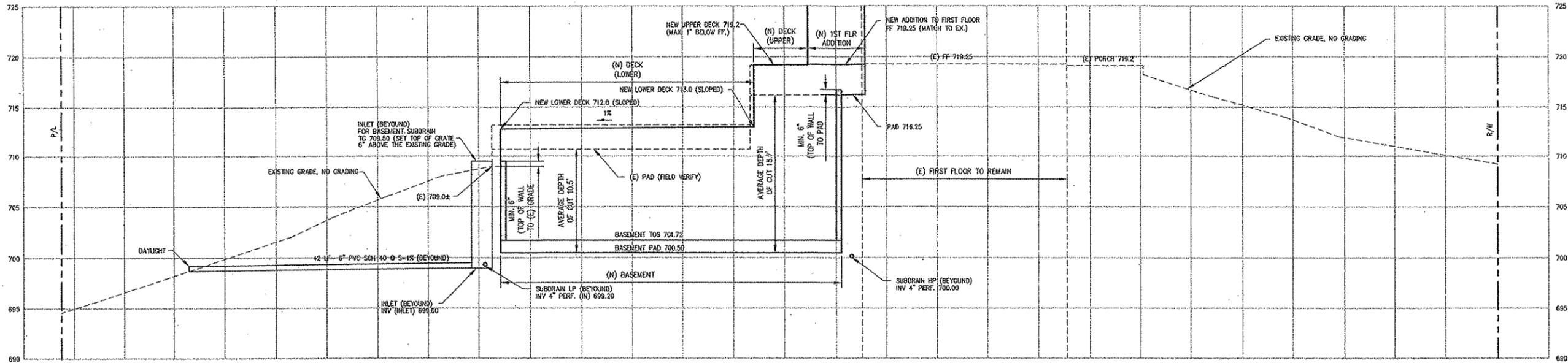


Revisions:



Date: JUNE 3, 2008
Scale: 1"=10'
Prepared by: V.G.
Checked by: S.R.
Job #: 28039





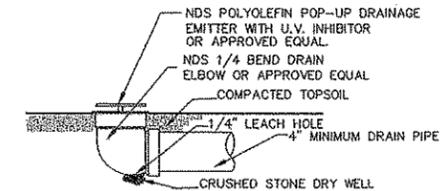
SECTION A-A
SCALE H/V: 1"=5'

EARTHWORK TABLE

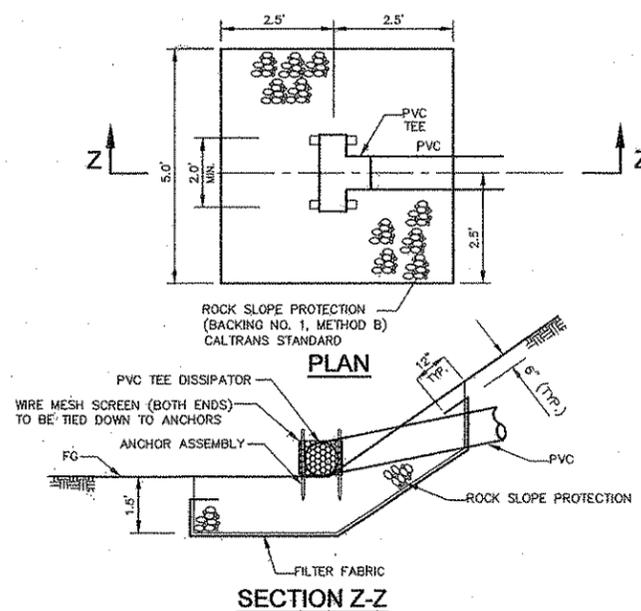
LOCATION	AREA OF GRADING	AVERAGE FINISH GRADE	AVERAGE (E) GRADE	AVERAGE FILL DEPTH (FT.)	FILL QUANTITY (CY) (* FOR CUT)	FILL CUT (CY) (CY)
BASEMENT PAD, BELOW EXISTING LOWER DECK	835	700.50	711.00	-10.50	-325	0 325
BASEMENT PAD, BELOW EXISTING UPPER DECK	337	700.50	716.20	-15.70	-198	0 198
TOTAL BASEMENT						0 521

NOTE:

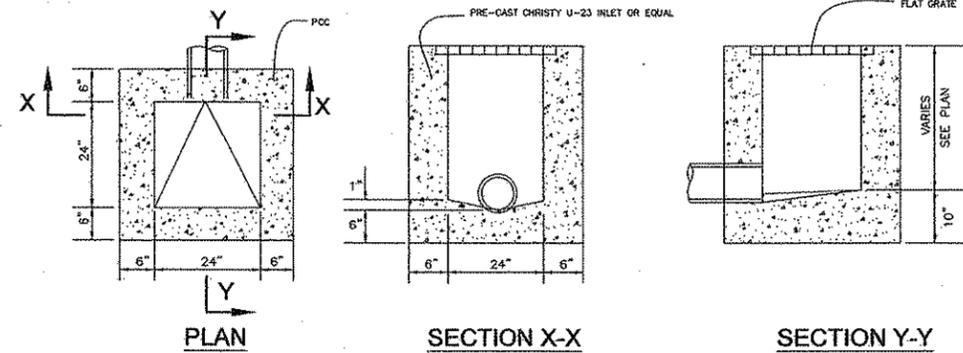
1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.



POP-UP DRAINAGE EMITTER
ELEVATION VIEW- NTS



ROCK SLOPE PROTECTION W/ TEE ENERGY DISSIPATOR
NTS



STORM DRAIN INLET
NTS

SECTION Y-Y



ENGINEERS
CIVIL ENGINEERS

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FAX: (650) 941-8755
E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:

MR. and MRS. TOMMY
and WINCY HUI

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CROSS SECTIONS, DETAILS
RESIDENTIAL ADDITION and REMODEL for:
1628 PEBBLE BEACH CT.
MILPITAS, CA 95035

GRADING AND DRAINAGE PLANS

Revisions:



Date: JUNE 3, 2008
Scale: AS NOTED
Prepared by: V.G.
Checked by: S.R.
Job #: 28039

Sheet:

3 OF 3
C-3

Photo of existing lower deck.



View of deck from northwest corner of parcel



View of driveway and garage elevation



View of front elevation from Pebble Beach Court.



View of residence from Country Club Drive within the Summitpointe Residential Development





Print - Close Window

From: "Tommy Hui" <tom@whitways.com>
To: "francis kun" <ftkun101@sbcglobal.net>
Subject: FW: Summitpointe Architectural Committee - Request for Home Owners Support
Date: Tue, 17 Jul 2007 14:29:20 -0700

FYI

Best Regards,
Tommy Hui
Whitways
Tel. 510 979-0001
Fax 510 979-0002
www.whitways.com
tom@whitways.com

From: BY Quek [mailto:by_quek@gtwc.com]
Sent: Friday, July 13, 2007 10:37 PM
To: 'Tommy Hui'
Cc: 'Lynne Beard'; BY Quek; Kailash Joshi; Roger Schaaf
Subject: RE: Summitpointe Architectural Committee - Request for Home Owners Support

Dear Tommy,

Thank you for submitting your remodeling plans for your home at 1628 Pebble Beach Ct , (Lot 59). The AC has met and discussed your proposed remodeling plans; we do not see any issues in approving them. However, please ensure that you have all the necessary permits from the City of Milpitas before you start this project. Having said that, please consider yours plans approved by the AC. Please advise your start date and expected completion date. Please do invite us over to home when your remodeling is complete, as we would be very interested to see how beautiful your remodeled home will turned out to be. Thank you for your patience and good luck on your project.

Sincerely,
BY Quek for the AC

From: Tommy Hui (tom@whitways.com)
To: 'francis kun'
Date: Tuesday, July 17, 2007 2:29:20 PM
Subject: FW: Summitpointe Architectural Committee - Request for Home Owners Support

FYI

Best Regards,
Tommy Hui
Whitways
Tel. 510 979-0001
Fax 510 979-0002
www.whitways.com
tom@whitways.com

From: BY Quek [mailto:by_quek@gtwc.com]
Sent: Friday, July 13, 2007 10:37 PM
To: 'Tommy Hui'
Cc: 'Lynne Beard'; BY Quek; Kailash Joshi; Roger Schaaf
Subject: RE: Summitpointe Architectural Committee - Request for Home Owners Support

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Sincerely,
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