

List of Attachments for Public Hearing Item No. 1

– Amalfi II - Siena

Attachments:

- 1-A Resolution
- 1-B Planning Commission Staff Report 11-18-15
- 1-C Planning Commission Meeting Minutes 11-18-15
- 1-D Planning Commission Adopted Resolution No. 15-036
- 1-E Amalfi II – Siena Project Plans

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MILPITAS APPROVING MAJOR VESTING TENTATIVE MAP NO. MT15-0004, CONDITIONAL USE PERMIT NO. UP15-0013, AND SITE DEVELOPMENT PERMIT NO. SD15-0005 FOR THE CONSTRUCTION OF 73 TOWNHOME UNITS AND ASSOCIATED SITE IMPROVEMENTS ON 2.92 ACRES LOCATED AT 600 AMALFI LOOP (AMALFI II – SIENA)

WHEREAS, on June 15, 2015, an application was submitted by Jim Sullivan of SCS Development Company, a California corporation, to construct 73 residential units and associated site improvements on 2.92 acres (the "Project"). The Project is located at 600 Amalfi Loop (APN 086-032-051). The Project is located within the Multiple Family Residential/Transit Oriented Development (R3/TOD) Zoning District and designated as Multi-Family Residential High Density by the General Plan. The application was submitted pursuant to Milpitas Municipal Code Section XI-10-57; and

WHEREAS, on June 3, 2008, the City Council of the City of Milpitas approved the Transit Area Specific Plan to guide development in the Transit Area of the City near the future Milpitas BART Station; and

WHEREAS, Milpitas City Staff conducted a full analysis of the project to ensure compliance with the City's General Plan, Transit Area Specific Plan, Zoning Code, Engineering Design Requirements and all other applicable laws, regulations and standards, as all further explained in detail in the City staff's report to the Planning Commission; and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the City Council determine this project is covered under the program of activities identified in the Transit Area Specific Plan EIR, SCH#2006032091, certified by the City Council on June 3, 2008, based on CEQA Guideline 15168(c)(2) and the CEQA finding included in this Resolution; and

WHEREAS, on November 18, 2015, the Planning Commission held a duly-noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties, and recommended approval of Major Vesting Tentative Map No. MT15-0004, Conditional Use Permit No. UP15-0013, and Site Development Permit No. SD15-0005; and

WHEREAS, on December 15, 2015, the City Council held a duly-noticed public hearing to consider the Planning Commission's recommendation and evidence regarding the Project.

NOW THEREFORE, the City Council of the City of Milpitas hereby finds, determines and resolves as follows:

1. The City Council has considered the full record before it, which may include but is not limited to such things as the City staff report, testimony by staff and the public, and other materials and evidence submitted or provided to it. Furthermore, the recitals set forth above are found to be true and correct and are incorporated herein by reference.
2. The City Council has reviewed, considered and exercised its independent judgment on the environmental assessment of the Project in accordance with the California Environmental Quality Act of 1970 (CEQA), as amended, and State and local guidelines implementing CEQA. This Project is included within the area evaluated as part of the Transit Area Specific Plan Environmental Impact Report (EIR), SCH#2006032091, which was certified by the City Council June 3, 2008. The Project is covered under the scope of activities approved within that EIR. A finding is made below that this Project is within the program of the EIR and no further environmental review is required.

CEQA Finding Pursuant to CEQA Guideline 15168(c)(2) The proposed Project is covered under the scope of activities approved under the Transit Area Specific Plan (EIR), SCH#2006032091, which was certified by the Milpitas City Council on June 3, 2008. The EIR included a program of activities including construction of up to 7,109 residential units within the Transit Area Specific Plan (TASP) area. The proposed 73 residential units fall within this scope of development activity since the TASP area has not reached its full build out. The TASP area has been approved with approximately one-quarter of the amount

of development assumed in the EIR development threshold. Further, the Project applicant has submitted an air quality assessment, greenhouse gas emissions analysis, a Phase I and II Environmental Site Assessment, a noise and vibration assessment and a traffic operations analysis to further show consistency with the TASP. Copies of these documents are on file with the Planning Division and fully incorporated herein by reference. These aforementioned studies do not indicate any Project impacts other than those already analyzed in the EIR. Project design features required of projects covered under the EIR are included as Conditions of Approval. Based on the foregoing, the City Council finds that the proposed Project will not have additional environmental impacts beyond those identified in the EIR, no additional environmental review is required, and no new or additional mitigation measures are required and the City Council has reviewed both the prior EIR and the additional analysis submitted by the Project applicant in making this finding.

3. **Tentative Map Findings.** In accordance with Municipal Code Section XI-1-4.03, the City Council further finds that:

a. The tentative map conforms to the Milpitas Subdivision Ordinance.

The proposed tentative map was prepared by a registered engineer and meets all of the requirements in the Milpitas Subdivision Ordinance. The tentative map includes all the necessary information set forth in Section XI-1-4.02, such as tract number, boundaries clearly marked, lot dimensions and numbers, drainage features, easements, streets, existing trees, and all required general notes.

b. The tentative subdivision map conforms to the Milpitas General Plan.

The Project site has a General Plan land use designation of Multi-Family High Density. The intent of this designation is to provide high-density housing within the Piper/Montague Subdistrict at a minimum density range of 21 units per acre, and a maximum density of 40 units per acre.

The Project is consistent with this finding because the proposed Project meets the intent of the designation by providing a residential project within the district with 25 dwelling units per acre. Furthermore, the Project is consistent with the following General Plan Guiding Principle and Implementing Policies:

• **2.a 1-31** *Develop the Transit area, as shown on the Transit Area Plan, as attractive, high density, urban neighborhoods with a mix of land uses around the light rail stations and the future BART station. Create pedestrian connections so that residents, visitors, and workers will walk, bike, and take transit. Design streets and public spaces to create a lively and attractive street character, and a distinctive identity for each sub-district.*

The proposed Project is consistent with this policy because it includes attractive three-story buildings with 73 residential units in proximity to the future Milpitas BART Station. The Project also includes significant streetscape improvements enabling and encouraging pedestrian and bicycle movement throughout the Piper/Montague Subdistrict with connections to the BART and Light Rail transportation hubs. The Project is also designed to provide an active interface with public spaces by facing townhome units toward the public park.

• **2.a 1-32** *Require development in the Transit area to conform to the adopted design guidelines/requirements contained in the Transit Area Plan.*

The proposed Project is consistent with this policy because it has been designed per the adopted design guidelines/requirements contained in the Transit Area Plan. The project meets all guidelines and requirements of the Transit Area Plan including building setbacks and height, floor area ratio and density, parking, open space and landscaping. It also meets the requirements for access and circulation.

4. **Site Development Permit Findings.** In accordance with Municipal Code Section XI-10-57-03(F), the City Council further finds that:

- a. *The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development.*

The Project is consistent with this finding because the site is designed as nine separate three-story buildings, consistent with the Palazzo project within the same original Citation project approved in February 2009. The design of the buildings, including the architectural style, mass, scale and height of the structures of the two projects are similar. The buildings complement other approved and pending projects in the areas, which all contribute to a vibrant urban transit district consistent with the vision of the Transit Area Specific Plan.

- b. *The project is consistent with the Milpitas Zoning Ordinance.*

The Project site is zoned R-3 (Multiple Family High Density) with a Transit Oriented Development (TOD) Overlay. The proposed residential uses are permitted in the zoning district. The Project conforms to the zoning district and meets the intent for this type of project envisioned in this area.

The Project also conforms to the TOD Overlay by providing density of 25 units per acre, which is within the 21-40 units/acre range envisioned by the TOD Overlay when combined with the R-3 Zoning District. The three-story height of the buildings (41 feet) is also within the standards of the TOD Overlay, where a height up to 75 feet is allowed.

The project conforms to the development standards required in the R-3 and TOD Overlay Districts. The table below demonstrates how the Project is consistent with these development standards.

Table 1:
Summary of Development Standards

R-3-TOD	Standard	Proposed	Complies?
<u>Setbacks (Minimum)</u>			
Front	8'-15'	9' average	Yes
Street Side	8'-15'	11' to 40'	Yes
<u>Density (Units/Acre)</u>	21-40 du/ac	25 du/ac	Yes
<u>Building Height</u>	75'	41'±	Yes

Table 2:
Summary of Parking Standards

Use	Parking Ratio	Amount Required
Three Bedroom Units	73 units x 1.6	116 spaces
Guest Parking	20% of Total	23 spaces
Total Required		139
Total Provided		164

- c. *The project is consistent with the Milpitas General Plan in that the project, as proposed and conditioned, conforms to the street layout, street section, density and land use envisioned by the Plan.*

- d. *The project is consistent with the Transit Area Specific Plan in that the project, as proposed and conditioned, conforms to the street layout, street section, density and land use envisioned by the Piper-Montague sub-district of the Plan.*

5. **Conditional Use Permit Findings.** In accordance with Municipal Code Section XI-10-57.04(F), the City Council further finds that:

The proposed use of tandem parking spaces within private garages, at the proposed location, will not be detrimental or injurious to property or improvements in the vicinity nor to the public health, safety and general welfare in that the applicable standards for development of tandem parking spaces will be followed, and the use of tandem parking allows the development of this project type in accordance with General Plan and Specific Plan density ranges.

6. Based on the foregoing, the City Council of the City of Milpitas hereby approves Major Vesting Tentative Map No. MT15-0004, Site Development Permit No. SD15-0005 and Conditional Use Permit No. UP15-0013, subject to the above Findings, and Conditions of Approval attached hereto as **Exhibit 1** and incorporated herein.
7. This Resolution shall become effective immediately.
8. Pursuant to California Government Code Section 66020, any protest filed in court relating to the imposition of fees, dedication, reservations, or other exactions to be imposed on the development project shall be filed within ninety (90) days after the date of the adoption of this Resolution. This provision serves as notice from the local agency to the Permittee that the ninety (90) day period in which the Permittee may file a protest has begun under California Government Code Section 66020(d)(1).

PASSED AND ADOPTED this _____ day of _____, 2015, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

APPROVED:

Mary Lavelle, City Clerk

Jose S. Esteves, Mayor

APPROVED AS TO FORM:

Christopher J. Diaz, City Attorney

EXHIBIT 1

CONDITIONS OF APPROVAL

**Major Vesting Tentative Tract Map No. MT15-0004, Site Development Permit
No. SD15-0005, Conditional Use Permit No. UP15-0013
Amalfi II – Siena Project, 600 Amalfi Loop (APN: 86-32-051)**

General Conditions

1. General Compliance. The Permittee and owner, including all successors in interest (collectively "Permittee") shall comply with each and every condition set forth in this Permit. Major Vesting Tentative Map No. MT15-0004, Conditional Use Permit No. UP15-0013, and Site Development Permit No. SD15-0005 (collectively "Permit") shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed. The Permittee shall develop the site in accordance with the approved Attachments and as modified by these Conditions of Approval.
2. Effective Date. Unless there is a timely appeal filed in accordance with the Milpitas Zoning Code, the date of approval of this Permit is the date on which the City Council approved this Permit.
3. Acceptance of Permit. Should Permittee fail to file a timely appeal within twelve (12) calendar days of the date of approval of this Permit, inaction by Permittee shall be deemed to constitute each of the following:
 - a. Acceptance of this Permit by Permittee; and
 - b. Agreement by the Permittee to be bound by, comply with, and to do all things required of or by Permittee pursuant to all of the terms, obligations, and conditions of this Permit.
4. Permit Expiration. Pursuant to Section XI-10-64-06 of the Milpitas Zoning Code, this Permit shall become null and void if the activity permitted by this Permit is not commenced within two (2) years from the date of approval, or for a project submitted with a tentative map, within the time limits of the approved tentative map. Pursuant to Section XI-10-64.06(B) of the Milpitas Zoning Code, an activity permitted by this Permit shall be deemed to have commenced when the Project:
 - a. Completes a foundation associated with the Project; or
 - b. Dedicates any land or easement as required from the zoning action; or
 - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
5. Time Extension. Pursuant to Section XI-10-64.07 of the Milpitas Zoning Code, unless otherwise provided by State law, Permittee shall have the right to request a one-time extension of the Permit if the request is made in writing to the Planning Division prior to the expiration date of the approval. **(P)**
6. Project Job Account. If Permittee's project job account is at any time delinquent or below the required deposit amount, City will not continue to review or process the application until Permittee's project job account is paid in full and the required deposit has been made. Additionally, prior to the issuance of any building permit or occupancy permit, as applicable, Permittee shall pay in full the Project account balance and establish a remaining balance of at least twenty-five percent (25%) of the required initial deposit.
7. Cost and Approval. Permittee shall fully complete and satisfy each and every condition set forth in this Resolution and any other condition applicable to the Project to the sole satisfaction of the City. Additionally, Permittee shall be solely responsible and liable for the cost to satisfy each and every condition.
8. Conditions. Each and every condition set forth in this Exhibit shall apply to the Project and continue to apply to the Project so long as the Permittee is operating the Project under the permits and approvals in this Resolution.

9. Compliance with Laws. The construction, use, and all related activity authorized under this Permit shall comply with all applicable local, state and federal laws, rules, regulations, guidelines, requirements and policies.(CA/P)
10. Indemnification. To the fullest extent permitted by law, Permittee shall indemnify, defend with counsel of the City's choosing, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to (i) City's approval of the project, including, but not limited to, the approval of the discretionary permits, maps under the Subdivision Map Act, and/or the City's related determinations or actions under the California Environmental Quality Act, and (ii) Permittee's construction, operation, use or related activity under this Permit. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Permittee, City and/or the parties initiating or bringing such proceeding. Permittee shall indemnify the City for all of City's costs, attorneys' fees and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. Permittee shall pay to the City upon demand or, as applicable, to counsel of City's choosing, any amount owed pursuant to the indemnification requirements prescribed in this condition. The above indemnification is intended to be as broad as permitted by applicable law. To the extent the above indemnification is limited by Government Code Section 66474.9, any limitations shall only apply to Vesting Tentative Map No. MT15-0004, and the balance of the Permit shall be unaffected by Government Code Section 66474.9.
11. Permittee shall provide certificate of insurance and name City as an additional insured in its insurance policies.
12. Revocation, Suspension, Modification. This Permit may be suspended, revoked or modified in accordance with Section XI-10-63.06 of the Milpitas Zoning Code.
13. Severability. If any term, provision, or condition of this Permit is held to be illegal or unenforceable by the Court, such term, provision or condition shall be severed and shall be inoperative, and the remainder of this Permit shall remain operative, binding and fully enforceable.
14. Compliance with Fire Department and California Fire Code. The project shall comply with the requirements of the Milpitas Fire Department and the California Fire Code, as adopted by the City. Changes to the site plan and/or buildings requires review and approval by the Fire Department.(F)
15. Permittee shall develop the approved Project in conformance with the approved plans approved by the City Council on December 15, 2015, in accordance with these Conditions of Approval. Any deviation from the approved site plan, elevations, materials, colors, landscape plan or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission or City Council, as applicable, in accordance with the Milpitas Zoning Code. (P)

Site Development Permit Conditions

16. Landscape. All approved landscaping shall be permanently maintained and replaced with substantially similar plant material as necessary to provide a permanent, attractive and effective appearance.(P)
17. Landscape. No gasoline fueled leaf blowers, string trimmers or hedge trimmers are permitted to be used for maintenance of landscaping. Gasoline lawn mowers are discouraged for use for maintenance of any natural turf areas. (P)
18. Landscape. Prior to issuance of any building permit, Permittee shall demonstrate complete consistency with the Transit Area Specific Plan with respect to landscaping features and streetscape furniture elements, including lighting, benches, trash receptacles and bike racks. (P)

19. Landscape. Prior to issuance of any building permit, a detailed landscape plan shall be submitted and approved by the Planning Director or designee that includes the following:
 - a. Locations and screening of all transformers, fire service connections and utility devices including backflow preventers.
 - b. Location and type of trees, shrubs and ground cover, including sizes and quantities. The legend shall also show tree canopy diameter at planting, at five years and at 10 years.
 - c. Plan details for all fence and wall structures. These shall be compatible in style and material with the proposed buildings.
 - d. Details of all exterior Project lighting with details of fixture types and design. A photometric plan shall also be included. Illumination of the site shall not exceed IESNA standards for the type of use proposed.(P)
20. Bicycle Racks. A minimum of seven (7) short-term bicycle parking spaces consistent with the TASP Streetscape Elements shall be installed within the Project.(P)
21. Ground Equipment and Device Screening. Prior to issuance of any building permit, Permittee shall demonstrate that all backflow preventers, meter boxes, pedestals, and similar equipment and improvements are screened appropriately to the satisfaction of the Planning Division. Backflow preventers are to be painted black.(P)
22. Architecture. Prior to issuance of any building permit, Permittee shall demonstrate that the design of the residential units are distinct and include a change of material and color, which should include materials, such as wood, stone and decorative tile, and architectural details appropriate to the style .(P)
23. Garages. Prior to issuance of any building permit, Permittee shall demonstrate that the required minimum interior dimensions have been achieved; such minimum area shall be used for the parking of automobiles only. The required bicycle parking area, HVAC and water-heating equipment, solid waste containers, and accessory storage shall be accommodated outside of the required minimum garage area.(P)
24. Trees. In conformance with the Milpitas Municipal Code, all trees removed from the site that measure 37 inches or greater in circumference (12 inches in diameter) at 48 inches above the ground surface will be replaced at a 3:1 ratio within the Project site. The species and size of the replacement trees shall be determined by City staff.(P)
25. Street Lights. Street lighting shall be provided along all street frontages consistent with current Transit Area Specific Plan standards subject to the review and approval of the Planning Division. Pedestrian scale lights shall be installed along all public and private street frontages. The Permittee shall submit a photometric plan to determine appropriate light levels with submittal of on-site improvement plans.

REQUIRED PROJECT DESIGN FEATURES

Biological Resources (TASP Policy 5.26)

26. Nesting Birds. To mitigate impacts on non-listed special-status nesting raptors and other nesting birds, a qualified biologist will survey the site for nesting raptors and other nesting birds within 14 days prior to any ground disturbing activity or vegetation removal. Results of the surveys will be forwarded to the U.S. Fish and Wildlife Services (USFWS) and CDFG (as appropriate) and, on a case-by-case basis, avoidance procedures adopted. These can include construction buffer areas (several hundred feet in the case of raptors) or seasonal avoidance. However, if construction activities occur only during the non-breeding season between August 31 and February 1, no surveys will be required. (P)

Noise (TASP Policy 5.10)

27. Noise. Prior to issuance of any building permit, Permittee shall ensure that the Project will meet the required 45 dBA maximum interior noise standard. All noise insulation treatments identified during review of the final site plans shall be incorporated into the proposed Project to the extent required by California Building Code.(B/P)
28. Noise. Prior to issuance of any building permit, Permittee shall demonstrate that all residential units will require mechanical ventilation to allow the windows to remain closed at the residents' option as the interior noise standards would not be met with open windows. Typically, such a system must meet the following airflow provisions:

- i. If interior noise levels are met by requiring that windows remain unable to open or closed, the design for the structure must also specify a ventilation system to provide a habitable interior environment. The ventilation system must not compromise the dwelling unit noise reduction.

Air Quality (TASP Policy 5.16)

29. Dust Control Emissions – During the construction of the Project, Permittee shall comply with all of the following:
- i. All exposed surfaces (e.g. parking areas, staging areas, soil piles, graded areas and unpaved roads) shall be watered two times per day.
- ii. All haul trucks transporting soil, sand or other loose material off the site shall be covered.
- iii. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day or more often if determined necessary by City Engineer or designee. The use of dry power sweeping is prohibited.
- iv. All vehicle speeds on unpaved roads shall be limited to 15 MPH.
- v. All roadways, driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- vi. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five (5) minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- vii. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- viii. Post a publicly visible sign with the telephone number and person to contact at the City regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.(P)
30. ROG Emissions. Prior to issuance of any building permit, Permittee shall develop, submit and obtain approval from the City of a plan to reduce ROG emissions by 17 percent or greater during the architectural coating phase of the construction. Acceptable measures to achieve this goal include, but are not limited to, using paint that contains 125 grams per liter of VOC or less, the use of pre-fabricated building materials, or a combination of both. The plan shall be implemented as approved by the City.(P)

Cultural Resources (TASP Policies 5.34 and 5.35)

31. Any future ground disturbing activities, including grading, in the Transit Area shall be monitored by a qualified archaeologist to ensure that the accidental discovery of significant archaeological materials and/or human remains is handled according to CEQA Guidelines §15064.5 regarding discovery of archeological sites and burial sites, and Guidelines §15126.4(b) identifying mitigation measures for impacts on historic and cultural resources (Reference

CEQA §§21083.2, 2.1084.1.). In the event that buried cultural remains are encountered, construction will be temporarily halted until a mitigation plan can be developed. In the event that human remains are encountered, the developer shall halt work in the immediate area and contact the Santa Clara County coroner and the City of Milpitas. The coroner will then contact the Native American Heritage Commission (NAHC), which will in turn contact the appropriate Most Likely Descendent (MLD). The MLD will then have the opportunity to make a recommendation for the respectful treatment of the Native American remains and related burial goods.(P)

32. All grading plans for development projects involving ground displacement shall include a requirement for monitoring by a qualified paleontologist to review underground materials recovered. In the event fossils are encountered, construction shall be temporarily halted. The City's Planning Division shall be notified immediately, a qualified paleontologist shall evaluate the fossils, and steps needed to photo-document or to recover the fossils shall be taken. If fossils are found during construction activities, grading in the vicinity shall be temporarily suspended while the fossils are evaluated for scientific significance and fossil recovery, if warranted.(P)

Major Vesting Tentative Tract Map Conditions

33. Flood Study – Prior to final map approval, Permittee shall submit a Flood Study for the project demonstrating, to the satisfaction of the City Engineer, that the proposed development has NO adverse impact to the surrounding flood plain within the SFHA (Special Flood Hazard Area) and to flood carrying capacity of the area. The study should include cumulative effects of existing and proposed development (Integral, Lyon District 1, Lyon District, Montague Residential Project, DR Horton at McCandless, Montague/Piper TASP subdistrict, and the BART Project) demonstrating the combined effects will not increase the water surface elevation of the Base Flood (BFE) more than one-tenth of a foot at any point. Additionally, for the AO Flood Zone, the flood study is required in order to establish the BFE and development requirements. The flood study shall be consistent with the requirements in accordance with Title 44 of the Code of Federal Regulations by establishing a hydraulic model and HEC-RAS. (E)

34. Drainage Study – Prior to final map approval, Permittee shall submit a final grading plan and hydrologic/hydraulic study prepared by a registered Civil Engineer. The drainage study shall analyze the existing and ultimate conditions and facilities. The study shall be reviewed and approved by the City Engineer and Permittee shall satisfy the conclusions and recommendations of the approved drainage study. (E)

35. Construction Storm Water Quality – Permittee shall comply with the requirements of the National Pollution Elimination Discharge System (NPDES) permit as administered by the California State Water Resources Control Board (State Board) and the San Francisco Bay Regional Water Quality Control Board (Regional Board). Prior to the issuance of any building, demolition, or grading permit, Permittee shall submit an Erosion and Sediment Control Plan (Erosion Control Plan) as a part of the improvement plan submittal. The erosion control plan shall show all construction best management practices (BMPs) and shall comply with the requirements of the NPDES, the Municipal Regional Permit Order R2-2009-0074 (MRP), and the City's stormwater and urban runoff pollution control standards and guidelines (City's Clean Water Program). Permittee shall ensure that all contractors and subcontractors install and regularly maintain all construction BMPs as required by the approved erosion control plan, the Milpitas Municipal Code (MMC), and the City's Clean Water Program. (E)

36. Construction General Permit Compliance – Permittee shall comply with the requirements of the Construction General Permit as administered by the State and Regional Boards. Permittee shall obtain a Construction Activities Storm Water General Permit (State Permit) from the State Board. Prior to any construction activities and prior to the issuance of any building, demolition, or grading permit, Permittee shall submit:

- a. a complete Storm Water Pollution Prevention Plan (SWPPP) with the project Waste Discharge Identification Number (WDID) displayed on the cover,
- b. a copy of the approved Notice of Intent (NOI) from the State Board, and
- c. an erosion control plan and a site monitoring plan meeting the satisfaction of the City Engineer.

Permittee shall ensure that all contractors and sub-contractors install and regularly maintain all storm water quality control measures as required by the approved SWPPP, the approved erosion control plan, the MMC, and the City's Clean Water Program.

Prior to final occupancy, Permittee shall submit an approved Notice of Termination (NOT). For phased occupancy, Permittee shall submit a Change of Information (COI) or an NOT approved by the State Board that removes each phase of occupancy from the boundaries of the State Permit prior to the issuance of occupancy for that phase. Contact the State and Regional Boards for questions regarding your specific project. For general information, contact the City of Milpitas Engineering Division at (408) 586-3325. (E)

37. Post-Construction Storm Water Quality – Permittee shall comply with the requirements of the MRP for post-construction storm water treatment (provision C.3 regarding new development and redevelopment requirements for regulated projects) and the National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharge Associated with Construction and Land Disturbance Activities Order No. 2009-0009 NPDES No. CAS000002 or as required by the Regional Board at the time Permittee submits the NOI for the project for pre-construction storm water treatment requirements. Permittee shall also comply with the City's Clean Water Program. Permittee shall submit a final, certified storm water quality control plan (SWCP), a SWCP sheet, and a post-construction BMP operations and maintenance plan (O&M) in accordance with the City's Clean Water Program and meeting the satisfaction of the City Engineer. (E)
38. Final Storm Water Quality Control Plan (SWCP)– Prior to final map approval, Permittee shall submit a final SWCP that incorporates post-construction BMPs for the treatment of storm water runoff from all parcels. The Storm Water Control Plan shall incorporate source control, site design and stormwater treatment requirements consistent with MRP requirements with BMPs such as the use of bio-treatment areas into the landscape design elements and the use of permeable BMPs compliant with the current California Stormwater Quality Association (CASQA) BMP handbooks. The site plan shall be consistent with the final Storm Water Control plan to the satisfaction of the City Engineer. The SWCP shall be prepared by a licensed Civil Engineer qualified and trained in the Storm water treatment process and shall certify that measures specified in the report meet the MRP requirements.
- a. The final SWCP shall comply with all "Model Conditions of Approval for Stormwater Quality" as shown in the Stormwater Section of the Engineering Plans and Map Procedures and Guidelines, dated July 15, 2010, and are hereby incorporated as conditions of project approval.
 - b. Prior to issuance of a certificate of occupancy, Permittee shall submit an Operation and Maintenance (O&M) Plan, acceptable to the City Engineer, describing the operation and maintenance procedures needed to insure that storm water treatment measures continue to work as intended and do not create a nuisance (including vector control). The plan shall include all BMP details, a location map, a maintenance schedule, and inspection and reporting templates. The treatment measures shall be maintained for the life of the project. The storm water control operation and maintenance plan shall include the Permittee's signed statement accepting responsibility for maintenance until the responsibility is legally transferred.
 - c. Prior to final occupancy, Permittee shall execute and record an O&M Agreement with the City for the operation, maintenance, and annual inspection of the C.3 treatment facilities. Permittee shall submit documentation of inspection and maintenance to the City's Utility Section annually for reporting to the Regional Board.
 - d. Permittee shall include language in the approved covenants, conditions and restrictions (CC&Rs) providing the City with an annual inspection report in conformance with the approved O&M plan and agreement. If the City does not receive the report, the City will conduct the field inspection and report for the site and the Permittee and its successor shall be responsible to pay all associated costs.
 - e. All permit applications shall be consistent with the Permittee's final Storm Water Control Plan and approved special conditions, and shall include drawings and specifications necessary to implement all measures described in the approved Plan. Onsite improvement plans shall show the details and methods of construction for site design features, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants. Site design shall limit directly connected impervious areas. Any changes to the final Storm Water Control Plan shall require Site & Architectural ("S" Zone) Amendment application review.

- f. The Project does not meet the requirements for Special Project credits and will therefore have to use only bioretention to treat stormwater. (E)
39. Utility Capacity – The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)
40. Utility Studies – Prior to final map approval, Permittee shall obtain approval from the City Engineer of the water, sewer and storm drainage studies for this development. These studies shall identify the project's effect on the City's present Master Plans and the impact of this project on the trunk lines. If the results of the study indicate that this project contributes to the over-capacity of any trunk line, the Permittee shall be required to mitigate the overflow or shortage by construction of a parallel line or pay a mitigation charge, if acceptable, to the satisfaction of the City Engineer. (E)
41. Water Study – The multi-story buildings proposed require water supply pressures above that which the City can normally supply. Additional evaluations by the Permittee are required to assure proper water supply (potable or fire services). Permittee shall submit an engineering report detailing how adequate water supply pressures will be maintained. (E)
42. Solid Waste – The Permittee is proposing single-family style solid waste services. The following requirements must be met to be eligible for single-family style service: provide minimum clearances as shown in Standard Drawing No. 450, provide a map identifying dedicated set-out locations for all units, demonstrate minimum truck turning access is provided, and identify a service route that does not require the collection vehicles to back up. The Home Owners Association (HOA) shall be responsible for procuring and paying for the solid waste service. If these requirements cannot be met, the project must be redesigned to accommodate a multi-family style service as described elsewhere. (E)
43. Multi-family-style service – In the event Permittee cannot satisfy the requirements of condition 42 above, and the project must therefore be redesigned to accommodate a multi-family-style solid waste service, then this condition 43 shall apply. The trash enclosure shall be sized to accommodate the solid waste handling equipment. The proposed enclosure shall be designed per the Development Guidelines for Solid Waste Services and enclosure drains must discharge to sanitary sewer line. Storm drain inlets must be located at least 25 feet away from enclosures to prevent accidental spills from entering storm drains. Enclosures are not permitted within public utility easements. The enclosure will be subject to the City's review/approval prior to construction of the enclosure. (E)
44. Solid Waste Handling Plan – Prior to final map approval or any building permit issuance, Permittee shall obtain City Engineer's approval of the final Solid Waste Handling Plan. Permittee shall be responsible for solid waste management and provide sufficient facilities for on-site storage and collection of solid waste and recyclables. Permittee shall provide a Solid Waste Handling Plan showing how materials will be transferred from the waste generation areas to the trash enclosure/external collection point. Permittee shall demonstrate how recycling shall have a separately maintained process from garbage handling. The Solid Waste Handling Plan shall also address other requirements, such as calculating waste generation volumes, compliance with AB1826 (2014) regarding organic waste, and property management responsibility for bin management and litter control. Permittee shall procure sufficient service frequency. All solid waste collection facilities shall comply with City guidelines. The Permittee shall comply with access dimensions such as turning radius. The collection vehicle is not allowed to block sidewalks, parking garages, and driveway access. The collection vehicle is not allowed to back up on streets, drive aisles, or alleys. The Conditions, Covenants, and Restrictions (CC&R) shall clearly indicate the HOA responsibilities including but not limited to: cart storage areas, monitoring cart set-outs, parking issues, collecting trash and recyclables from the residences, responding and resolving complaints involving litter, dumping, and scavenging, improper carts storage, and mediation between property owners regarding carts. (E)
45. Solid Waste Management – Per Chapter 200, Title V, Solid Waste Management, V-200-3.10, *General Requirement*, Permittee and its successors shall not keep or accumulate, or permit to be kept or accumulated, any solid waste of any

kind and is responsible for proper keeping, accumulating and delivery of solid waste. In addition, according to V-200-3.20 *Owner Responsible for Solid Waste, Recyclables, and Yard Trimmings Collection Services*, Permittee shall subscribe to and pay for solid waste services rendered. Prior to issuance of any building permit issuance, Permittee shall incorporate the following solid waste service requirements to the satisfaction of the City Engineer:

- a. Proposed solid waste enclosure shall be designed per the Development Guidelines for Solid Waste Services to house all necessary equipment. The access to the location and size of the enclosure shall be designed to the City Engineer's satisfaction and shown on the plans prior to building permit issuance. The enclosure drains must discharge to the sanitary sewer line. Storm drain inlets must be located at least 25 feet away from enclosures to prevent accidental spills from entering storm drains. Enclosures are not permitted within public utility easements.
- b. The Permittee shall be responsible for solid waste management, including transfer of material to the compactors. Prior to final map approval, Permittee shall submit to the City (for review and approval) a written Solid Waste Handling Plan, including detailed step-by-step instructions to manage solid waste from generation to disposal. The Plan shall state how the residential waste will be conveyed to the collection area for disposal. Show the path of travel for refuse. Demonstrate how recycling shall have a separately-maintained process from garbage handling.
- c. Prior to certificate of occupancy issuance, the Permittee shall provide evidence to the City that a sufficient level of trash and recycling service has been secured using a Service Agreement with Republic Services (formerly BFI). After the Permittee has full occupancy, the Permittee shall contact the Republic Services commercial representative to review the adequacy of the solid waste level of services. If services are determined to be inadequate, the Permittee shall increase the service to the level determined by the evaluation.(E)

46. Community Facilities District (CFD) Annexation– Prior to final map approval, the Permittee shall submit an executed consent to annex the subject property into CFD 2008-1 and shall agree to pay the special taxes levied by CFD 2008-1 for the purpose of maintaining the public services. Permittee shall comply with all rules, regulations, policies, and practices established by State Law and by the City with respect to the CFD including, without limitation, the requirements for notice and disclosure to future owners and residents. This condition of approval is nonseverable from the Permit and any invalidation or limitation of this condition invalidates the Permit. (E)

47. Final Map – Prior to issuance of any building permit, the final map shall be recorded. The final map submittal shall meet the following requirements:

- A. Provide a current title report with your final map submittal, not more than 90 days old.
- B. All final maps shall designate all common lots and easements as lettered lots or lettered easements.
- C. All final maps shall be tied to the North America Datum of 1983 (NAD 83), California Coordinate of 1983, zone 3.
- D. Permittee shall dedicate all necessary easements for public utilities, emergency vehicle access, solid waste collection and public access on the final map for acceptance by the City in compliance with the City's Engineering Guidelines and the approved Tentative Map.
- E. All FEMA flood information on the improvements plans shall be prepared shown using Vertical Datum of 1988 (NAVD 88) and Vertical Datum of 1929 (NGVD 29). The specific city benchmark used for the project shall be indicated on the cover sheet of each improvement plan set. All grading sheets shall show a table indicating the BFE per the final flood study in NAVD 88, and any conversion to NGVD 29 elevations.(E)

48. Home Owners Association (HOA) – Prior to final map approval, Permittee shall establish an HOA. Membership of the HOA shall include all owners of the residential units. The HOA shall be responsible for the maintenance of the landscaping, walls, buildings, private street lights, common area and private streets and shall have assessment power. The HOA shall manage the onsite water, recycled water, irrigation, storm, water quality treatment, and sewer systems and implement the Solid Waste Handling Plan. This information shall be clearly included in the (CC&Rs) and recorded documents. Prior to final map approval, the CC&Rs shall be approved by the City Engineer. (E)

49. Improvement Plans – Prior to final map approval, Permittee shall obtain design approval and bond for all improvements that City deems necessary. The Permittee shall execute a secured public improvement agreement. The agreement shall be secured for an amount of 100% of the engineer's estimate of the construction cost for faithful performance and 100% of the engineer's estimate of the construction cost for labor and materials. The public

facilities, such as water meters, RP backflow preventers, sewer cleanouts, et cetera, shall be placed so access is maintained and kept clear of traffic. All improvements shall be in accordance with the City of Milpitas Transit Area Specific Plan Requirements. All improvements shall be constructed to the City Engineer's satisfaction and shall be accepted by the City prior to issuance of any certificate of occupancy for the project. Required off-site improvement shall include but not limited to the construction of a traffic signal on S. Milpitas Boulevard and Garden Street. This traffic signal shall be interconnected to the adjacent UPRR railroad crossing signal on S. Milpitas Blvd as required by UPRR and CPUC for railroad preemption operation.(E)

50. Utility Fees – The following are current estimates of certain required utility fees to be paid at the time of building permit issuance:

- A. Storm water connection fee of \$48,971.32 **(2.92ac x \$16,771/ac) Payable in full as a lump sum prior to issuance of the first building permit.**
- B. Water connection fee of **\$1,164 per unit payable prior to building permit issuance.**
- C. Sewer connection fee of **\$1,406 per unit payable prior to building permit issuance.**
- D. Water Service Agreement(s) for water meter(s) and detector check(s).
- E. Sewer Needs Questionnaire and/or Industrial Waste Questionnaire.

As shown on the vesting tentative map:

Building 1	6 units	sewer: \$8,436	water: \$6,984
Building 2	8 units	sewer: \$11,248	water: \$9,312
Building 3	8 units	sewer: \$11,248	water: \$9,312
Building 4	8 units	sewer: \$11,248	water: \$9,312
Building 5	8 units	sewer: \$11,248	water: \$9,312
Building 6	8 units	sewer: \$11,248	water: \$9,312
Building 7	10 units	sewer: \$14,060	water: \$11,640
Building 8	10 units	sewer: \$14,060	water: \$11,640
Building 9	7 units	sewer: \$9,842	water: \$8,148

The fee amounts to be paid shall be the amount shown in the most current City Council ordinance or resolution at the time payment is made for building permit issuance. (E)

- 51. Transit Area Specific Plan (TASP) Fees Prior to any building permit issuance, Permittee shall pay the applicable Transit Area Specific Plan Development Impact fee as determined by the City Council at the time of project approval
- 52. Building Permit Automation Fee – Prior to any building permit issuance, Permittee shall a 2.5% building permit automation fee as approved by City Council Resolution. No. 7590.
- 53. Construction Schedule – Prior to start of any construction, Permittee shall submit a construction schedule and monitoring plan for City Engineer review and approval. The construction schedule and monitoring plan shall include, but not be limited to, construction staging area, parking area for the construction workers, personnel parking, temporary construction fencing and construction information signage, and establish a neighborhood hotline to record and respond to neighborhood construction related concerns. Permittee shall coordinate their construction activities with other construction activities in the vicinity of this project. Permittee's contractor is also required to submit updated monthly construction schedules to the City Engineer for the purpose of monitoring construction activities and work progress. (E)
- 54. Utility Protection – All existing public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrubs are permitted within City utility easements, where the easement is located within landscape areas. (E)
- 55. Permittee is notified that references to State regulations, City ordinances, and any other documents or requirements shall mean the rules in effect at the time of building permit issuance. (E)

56. Landscaping Ordinance 238 – In accordance with the provisions of Chapter 5, Title VIII of the Milpitas Municipal Code, for new or rehabilitated landscaping areas equaling 500 square feet or greater, the Permittee shall:

- A. Provide separate water meters for domestic water service & irrigation service.
- B. Provide separate domestic meters for each unit.
- C. Comply with all the requirements of Chapter 5, Title VIII of the Milpitas Municipal Code.
- D. Submit two sets of landscape and irrigation improvement plans to the Building Division with the building permit plan check package. Prior to any building permit issuance, approval from the Land Development Section of the Engineering Division is required prior to any building permit issuance, and submittal of the Certificate of Substantial Completion is required prior to final occupancy inspection.
- E. New landscape shall comply with the requirements of Chapter 5, Title VIII of the Milpitas Municipal Code that are in effect at the time of building permit issuance.

Contact the Land Development Section of the Engineering Division at (408) 586-3325 for information on the submittal requirements and approval process. (E)

57. Water Supply and Force Majeure – The City currently has adequate water supply and sewerage treatment plan capacity allocation for this land development project. The City reserves the right to suspend the issuance of building permits to implement this land use development, if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. Although a vesting tentative map has been approved within the Site Development Permit which provides vested rights as defined in Government Code Section 66498.1, no vested right to the issuance of a building permit is acquired by the approval of this land development in the event of the City's inability to deliver water and sewer treatment is affected by force majeure pursuant to the criteria set forth above. This condition of approval applies in case of an emergency declaration of water supply assurance in the case of a major catastrophic event that restricts City's assurance to provide water supply, or allocated treatment plant capacity. Pursuant to Government Code Section 66452.6, in the event the issuance of building permits is suspended due to lack of water supplies, the period of time set forth as the term for the vesting tentative map in Government Code Section 66452.6(a)(1) shall be tolled for up to five years until said suspension is terminated.

58. Recycled Water for Irrigation – In accordance with MMC Chapter 6, Title VIII (Ord. No. 240), the landscape irrigation system shall be designed to meet the City's recycled water guidelines and connect to recycled water system. In order to comply with the recycled water guidelines, the Permittee shall:

- A. Design the landscape irrigation for recycled water use. Use of recycled water applies to all existing, rehabilitated, and new landscaping. All landscape shall be compatible with recycled water use.
- B. Design the irrigation system in conformance to the South Bay Water Recycling (SBWR) Guidelines and COM Supplemental Guidelines. Prior to any building permit issuance, the City will submit the plans to SBWR and the State Water Resources Control Board Division of Drinking Water (DDW) for approval; this approval requires additional processing time. Permittee is responsible for all costs for designing and installing site improvements, connecting to the recycled water main, and processing of City, SBWR, and DDW approvals. Contact the Land Development Section of the Engineering Division at (408) 586-3325 to obtain copies of design guidelines and standards.
- C. Protect outdoor eating areas from overspray or wind drift of irrigation water to minimize public contact with recycled water. Recycled water shall not be used for washing eating areas, walkways, pavements, and any other uncontrolled access areas.
- D. Landscape planting shall be deferred until the on-site recycled water system is approved, constructed and tested. The recycled water irrigation systems shall be split into several parallel systems to match the construction phasing in order to allow recycled water use at the final occupancy for each phase. (E)

59. Landscaping Maintenance – HOA shall own and be responsible for maintenance of all landscaping and irrigation. The recycled water irrigation system shall be under the control of the HOA. (E)

60. Tree Removal Permit – In accordance with MMC Chapter 2, Title X (Ord. 201), Permittee may be required to obtain a permit for removal of any existing tree(s). Contact the Public Works Department at (408) 586-2600, to obtain the requirements and forms. (E)
61. Underground Service Alert (USA) – Permittee shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hours prior to construction for location of utilities. (E)
62. Mailboxes – Permittee shall obtain information from the US Postal Services regarding required mailboxes. Structures to protect mailboxes may be required as a result of the Building, Engineering and Planning Divisions review. (P)
63. Developer shall comply with all obligations as defined in the approved and recorded “COST SHARING AND REIMBURSEMENT AGREEMENT-Milpitas Transit Area Specific Plan-Piper/Montague Subdistrict-Milpitas, California,” Document 20427520, O.R., recorded 9/10/2009 in the County of Santa Clara Recorder’s Office, State of California. The shared infrastructure improvements shall be subject to the City Engineer approval. (E)
64. Prior to building permit issuance, developer will be required to contribute toward the upsizing of the sewer line on Curtis Avenue, known as sewer project 11E in the City of Milpitas Sewer Master Plan. (E)
65. All utility stubs not utilized shall be capped at the main. (E)
66. Clarify use of 10” waterlines extensions on Drive Aisle C &D. (E)
67. The City Council has declared a water supply emergency and enacted a Water Shortage Contingency Plan. The project is required to use recycled water for construction purposes such as dust control and compaction. Landscape planting shall be deferred for any areas designated to use potable water, such as internal podium areas as described below. Water features such as pools and fountains, may not be filled until the drought is over. (E)
68. Permittee is proposing to serve the project from an adjacent on-site domestic water system. This is allowed only if the both projects are members of the same Home Owners Association (HOA). The on-site water system shall be privately owned and maintained by the HOA. If this project is not part of the adjacent HOA, then relocate the on-site water system points of connection to connect to the public water system. (E)
69. All connections to the public water system shall be metered and protected with backflow devices in accordance with City standards. Separate on-site water systems owned and maintained by the property owners shall serve the project downstream of the master meters. The project is recommended to have two points of connection for each service to provide redundancy. Master meters shall be located in City right-of-way or public service utility easements. Water services shall have a straight alignment between the public distribution system pipe and the water meter (no bends). A combined domestic and fire protection water pipeline is allowed. (E)
70. Locate fire hydrants on the public water system to the maximum extent possible. All hydrants shall be located on a dedicated service lateral. (E)
71. The Permittee shall design public and private utilities in accordance with State and City requirements. If the minimum clearances described in the State Water Works Standards cannot be met, the Permittee shall prepare and submit a waiver request to the City. If acceptable, the City will submit the waiver request to the Division of Drinking Water. (E)
72. The Permittee is proposing to connect to the adjacent on-site sewer system. This is allowed only if both projects are members of the same Home Owners Association (HOA). If this project is not part of the adjacent HOA, then relocate the point of connection to the public sewer system. The on-site sewer system shall be privately owned and maintained by the HOA. The sewer system shall be designed for sufficient capacity and ease of maintenance to minimize sewer blockages and spills. (E)

73. The Permittee shall dedicate on the final map necessary public service utility easements, street easements, public access easement (over private streets and walkways) and easements for water, recycled water, storm sewer, and sanitary sewer purposes. (E)
74. Coordinate plans showing landscape, utility, and hardscape to insure no conflicts exist. (E)
75. Building foundations adjacent to public utilities shall be designed to be self-supporting such that the building weight is not required to be supported during shoring and excavation of adjacent utilities. (E)
76. Permittee shall provide phasing plans demonstrating management of construction traffic, non-construction traffic, landscape installation, and solid waste management. (E)
77. Submit a Joint Use Agreement for any facilities or services shared with another project. (E)
78. The City shall restore surface conditions to City standards (standard pavement, sidewalk, non-paved surfaces, etc) upon completion of infrastructure repair and/or replacement in City easements. The CC&R shall include the requirement that the HOA is required to restore HOA-owned infrastructure upon completion of City's repair/replacement. (E)
79. Permittee and its contractors shall make every effort to salvage materials for reuse and recycling and shall comply with all applicable City ordinances on construction and demolition debris. (E)
80. All public improvements and public infrastructure shall be constructed and completed prior to the issuance of the first building permit. Improvements include, but are not limited to, curb, gutter, sidewalk, medians, third party utilities, street lights, street trees, utilities, pavement, and related water-quality facilities. To implement this condition, Permittee shall perform a GPS survey of all water valves, manholes, underground bends, and record such data on record drawings. (E)

Conditional Use Permit Conditions

81. Tandem Parking Spaces: Permittee shall insure that all future residents are aware that space in garages must be maintained to as to allow the parking of two (2) vehicles at all times. This may be accomplished by including this provision within the CC&R's.

- (P) = Planning
- (B) = Building
- (E) = Engineering
- (F) = Fire Prevention
- (CA) = City Attorney
- (MM) = Mitigation Measure

NOTICE OF RIGHT TO PROTEST

The Conditions of Project Approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), began on date of adoption of this resolution. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

Pursuant to Condition No. 51 contained herein, the estimated Transit Area Specific Plan Fee is \$2,393,013 based on the current fee of \$32,781 per unit (73 units). This Fee shall be subject to annual adjustments as provided for in Section 9 of City Council Resolution No. 8344.

AGREEMENT

Permittee/Property Owner

The undersigned agrees to each and every condition of approval and acknowledges the NOTICE OF RIGHT TO PROTEST and hereby agrees to use the project property on the terms and conditions set forth in this resolution.

Dated: _____

Signature

Printed Name of Permittee/Property Owner: _____



MILPITAS PLANNING COMMISSION STAFF REPORT

November 18, 2015

-
- APPLICATION:** **AMALFI II (SIENA TOWNHOMES) – Site Development Permit No. SD-15-0005, Conditional Use Permit No. UP-15-0013, and Major Tentative Map No. TM-15-0004** – A request for a Site Development Permit, a Conditional Use Permit, and a Major Vesting Tentative Map for condominium purposes, for the construction of 73 townhomes and associated site improvements, replacing the previously-approved “wrap” condominium building.
- RECOMMENDATION:** **Staff recommends that the Planning Commission adopt Resolution No. 15-036 recommending approval of Site Development Permit No. SD-15-0005, Conditional Use Permit No. UP-15-0013, and Major Tentative Map No. TM-15-0004 to the City Council, subject to the attached Conditions of Approval.**
- LOCATION:**
Address/APN: 600 Amalfi Loop (APN 086-32-051)
Area of City: Transit Area Specific Plan (TASP)
- PEOPLE:**
Project Applicant: Jim Sullivan, SCS Development Company
Consultant(s): Miki Tsubota, CBG Engineers
Property Owner: SCS Development Company, a California Corporation
Project Planner: Richard E. Patenaude, AICP, Contract Planner
- LAND USE:**
General Plan Designation: Multi-Family Residential High-Density (MFH)
Zoning District: Multi-Family Residential High-Density (R-3)
Overlay District: Transit Oriented Development (TOD) and Site and Architectural Overlay (S)
Specific Plan: Transit Area Specific Plan (TASP)
Site Area: 2.92 acres
- ENVIRONMENTAL:** Categorically exempt from further environmental review pursuant to Section 15168(c)(2) of the California Environmental Quality Act (CEQA). This project is consistent with the program addressed by the Transit Area Specific Plan EIR.

EXECUTIVE SUMMARY

The proposed project includes entitlement requests for the construction of 73 new townhome units. Parking would be provided onsite with the inclusion of two covered, attached parking spaces per unit, as well as 18 additional guest parking spaces onsite. The project also includes a variety of site improvements including new private streets within the development; streetscape and landscape improvements along Merry Loop and Amalfi Loop; and stormwater treatment, utility, grading and other associated site improvements. The project would require approval of a Site Development Permit, a Conditional Use Permit, and a Major Tentative Map.

Map 1 **Project Location**



Map 2
Transit Area Specific Plan
Piper-Montague Subdistrict



Map 3
Site Plan



MONTAGUE VILLAGE
PIPER/MONTAGUE SUBDISTRICT
MILPITAS, CALIFORNIA

 NOT TO SCALE
NOVEMBER, 2015

BACKGROUND

History

On June 3, 2008, the City Council adopted the Transit Area Specific Plan. The Plan encompasses 437 acres and envisions the development of 7,109 dwelling units, 287,075 square feet of retail space, 993,843 square feet of office and industrial park space, and 350 hotel rooms. The plan includes development standards, goals and policies guiding development within the plan area. Because of the physical characteristics of the area, including major streets, railroads and creeks, the plan also established sub-districts with specific goals and policies to accommodate those unique characteristics.

The proposed project is within the Piper-Montague Sub-District of the Transit Area Specific Plan. The sub-district is located near the future BART station and the Great Mall, although separated from the remainder of the Specific Plan area by Montague Expressway and rail tracks. For the sub-district, the TASP envisioned high-density residential neighborhoods near transit and shopping. In addition, the plan proposed two smaller urban parks for the sub-district, a public street to connect Piper Drive and Milpitas Boulevard and a street to link the new public road and Montague Expressway.

On February 17, 2009, the City Council approved the original project, including this site, for the purposes of developing 639 dwelling units in three "wrap" condominium buildings. On November 1, 2011, the City Council amended the project to include a fifth story on two buildings and to replace one of the buildings with townhomes, for a total of 732 units.

Currently, one of the five story "wrap" buildings (Amalfi I – 378 units) is nearing completion, and the ninety-four townhome units (Palazzo) are almost sold out (Parcels 1 and 2 of the original project). The applicant wishes to take their remaining undeveloped parcel, which was previously approved for a 260-unit, five-story apartment building, and re-subdivide it to allow for a 73-unit townhome project. With this change, the total project would then contain 545 units. Based on the previously-approved density average agreement, this project would meet the minimum required density for this site.

The Application

The following is a summary of the applicant's request:

- *Site Development Permit:* To evaluate the site layout and architecture for the project.
- *Major Tentative Map:* To establish 73 residential condominium spaces and common area.
- *Conditional Use Permit:* To allow the use of tandem parking in private garages.

PROJECT DESCRIPTION

Overview

The proposed project includes entitlement requests for the construction of 73 new townhome units. Parking would be provided onsite with the inclusion of two covered, attached parking spaces per unit, as well as 18 additional guest parking spaces onsite. The project also includes a variety of site improvements including new private streets within the development; streetscape

and landscape improvements along Merry Loop and Amalfi Loop; and stormwater treatment, utility, grading and other associated site improvements.

Location and Context

The site contains 2.92 acres and is located northeasterly of the intersection of Montague Expressway and Piper Drive. The project site is zoned High Density Residential (R3). The project site has Site and Architectural (-S) and Transit Oriented Development (-TOD) Overlays focusing on design and treatment of projects near transit nodes. Surrounding the subject property are developed parcels. A PG&E electrical substation and Milpitas Boulevard are easterly of the project site. Developed industrially-zoned properties are northerly of the site. Industrial buildings on high-density residentially-zoned properties, as well as a soon-to-be-completed public park, are located southerly of the site. Piper Drive, the future BART line and the Great Mall are located westerly of the site.

PROJECT ANALYSIS

General Plan and Zoning Conformance

General Plan Conformance

The table below outlines the project's consistency with applicable General Plan Guiding Principles and Implementing Policies:

Table 4
General Plan Consistency

Policy	Consistency Finding
<i>2.a.1'25: Require development in the Transit Area to conform to the adopted design guidelines and requirements contained in the Transit Area Plan.</i>	Consistent. The project as proposed and conditioned conforms to the street layout, street sections, density and land use.

Zoning Conformance

The site is 2.92 acres zoned High Density Residential-Transit Oriented Development (R3-TOD) (21 min/40 max units per acre). The project is consistent with the City's Zoning Map as set forth in the attached Resolution #15-036. Other development standards, including density, are described in the Transit Area Specific Plan section below.

Subdivision Ordinance

The project is consistent with the provisions in Title XI, Chapter 1, Section 4, Tentative Maps of the City's Municipal Code regarding the form, content and dedications of the tract map as set forth in the attached Resolution #15-036. Tentative Tract Maps require a recommendation from the Planning Commission in the form of a resolution to the City Council for their ultimate approval.

Transit Area Specific Plan

The proposed project's land use, street layout and street sections are consistent with the Transit Area Specific Plan's Piper-Montague sub-district as set forth in the attached Resolution #15-036. The change of the approved 260-unit apartments to the 73 townhomes does not negatively alter the design of the project.

Development Standards

The table below demonstrates how the project is consistent with the development standards of the Multi-Family Residential High-Density (MFH) zoning district.

Table 1:
Summary of Development Standards

R-3-TOD	Standard	Proposed	Complies?
<u>Setbacks (Minimum)</u>			
Front	8'-15'	9' average	Yes
Street Side	8'-15'	11' to 40' (varies)	Yes
<u>Density (Units/Acre)</u>	21-40 du/ac	25 du/ac	Yes
<u>Building Height (Maximum)</u>	75'	41'±	Yes

Site & Architectural Design

The property lies within a Site and Architectural Overlay as a part of its land use designation, and development therein is governed by Section 57.03, Site Development and Minor Site Development Permits, of the City's Zoning Ordinance. The Site Development Permit considers the site layout, compliance with various development standards and the architectural design of the buildings.

Site Layout

The project site is accessible from Piper Drive, an existing north-south street, as well as Merry Loop via Garden Street and South Milpitas Boulevard. A new private road (Amalfi Loop) begins at the cul-de-sac of Piper Drive and provides access to both the northerly and easterly edges of the proposed project.

Street Setbacks

The Transit Area Specific Plan (TASP) includes specific design criteria for existing and new streets within the development, which include the width of the street, width of sidewalks, parking lane dimensions, street trees, landscaping and minimum setbacks to the buildings from the back of the sidewalk or curb. The townhome setbacks as proposed substantially conform to the street section dimensions and are consistent with those of the Palazzo townhomes, the previous phase of this project.

Other Street Setbacks

When a street section is not provided, the Transit Area Specific Plan indicates an 8-15 foot setback from the back of the sidewalk building elevations along a street. The project includes a private street or drive along the northern, southern and eastern boundary. The project as proposed substantially conforms to the minimum setback.

Height

The maximum building height in the zone is 60 feet. The project proposes an approximately 40-foot height for the townhome buildings, which conforms to the height limit.

Block Dimension

The Transit Area Specific Plan indicates a 500-foot maximum distance between publicly accessible paths of travel for a block. The absolute widest building within this proposed development would be 164 feet long, which is far less than the previously approved building, which was approximately 450 feet long.

Architecture and Massing

The townhome component includes Italian and Spanish styles, which will complement the style of the adjacent projects currently under construction. The elevations include a stucco finish. Each style includes features and elements that are consistent with Italian or Spanish architecture. A condition of approval requires the use of materials and architectural details to differentiate the individual units.

Floor plans

The floor plans include a bonus room on the first floor, located at the primary entrance of each residence. It is not the intent of the builder to create additional bedrooms (which would require additional parking). While the functionality of the rooms as bedrooms is limited, the builder shall include within the CC&R's the prohibition of converting these bonus rooms into bedrooms.

Density

On all sites throughout the Transit Area, TASP Policy 3.8 provides that densities can be averaged over an individual project that covers multiple parcels, so long as their average density falls between the designated minimum and maximum.

The underlying zoning for all three parcels allowed for 639 dwelling units. The amended tentative map provided for the eventual development up to 732 dwelling units for the project site. Looking at the application on its own, the project would provide 73 townhomes on 2.92 acres, which is 25 dwelling units per acre. As a whole, this project, together with Amalfi I (378 units) and Palazzo (94 units), will total 545 units, which equates to just over 34 dwelling units per acre. The project remains within the density parameters.

Design Guidelines

The design guidelines include both general design guidelines and specific standards to guide future development within the Transit Area. These design guidelines cover site planning, building design and landscaping and lighting. The project substantially conforms to the guidelines.

Landscaping & Open Space Design

Landscaping and lighting

The project provides a combination of soft and hardscape in both public and private areas. See sheets L-1 and L-2 of the plans for the illustrative landscape plan.

Private areas

Private areas include paseos, the private interior streets, and a variety of landscape and bio-detention features. Each unit is provided with a private patio at the front entry of approximately 110 square feet.

Lighting

The applicant is required to submit a lighting plan, including a photometric study, with the building permit application.

Parking

Table 3 demonstrates the project's compliance with the parking standards for the zoning district.

Table 3
Project Compliance with Parking

	Number of Units	Minimum Parking Required	Spaces Required
Townhomes			
3BR	73	1.6 per unit	116
Guest		20% of required	23
<i>Total required</i>			<i>139</i>
<i>Total provided</i>			<i>164</i>

The two parking spaces within the private garages provide the maximum-allowable residential parking for each townhome. Tandem parking represents fifty percent of the required residential parking, which meets the maximum allowed. Tandem parking can be considered through the approval of the Conditional Use Permit. All of the required guest parking spaces are provided along Amalfi Loop.

Bicycle Parking

For residential uses within the Transit Area Specific Plan area, bicycle parking is required to be provided at a rate of one space for every housing units – exempting units that have a private garage. Since the project proposes private garages, no separate bicycle parking is required for

residents. For guests, the TASP requires short-term bicycle parking spaces equivalent to 5% of the automobile spaces required. The project would thus be required to accommodate seven short-term bicycle spaces for guests. The project complies with the requirement by providing 5 spaces in each of two locations (for a total of 10 spaces) along Amalfi Loop.

Tract Map

The project proposes a new tentative map for Parcel 3 of the original Citation project to accommodate the change in housing type from 260 airspace condominiums to 73 townhouse units. The map provides for nine parcels, each accommodating a row of townhouse units, and four lots accommodating the internal driveways.

Off-site Improvements

The overall development concept of the Transit Area Specific Plan included two small parks within the Piper-Montague Subdistrict. Consolidation of the two parks into a single three-acre park, located in the middle of the subdistrict and supported by this project, was approved by the City Council in conjunction with a master tentative map for the Milpitas Station project located in the southeast portion of the subdistrict on October 21, 2008. The Montague Village Park is under construction.

Other improvements provided by the original tract map for the Citation project include the Amalfi Loop improvements and related landscaping.

FINDINGS FOR APPROVAL

A finding is a statement of fact relating to the information that the Planning Commission has considered in making a decision. Findings shall identify the rationale behind the decision to take a certain action.

Site Development Permit (Section XI-10-57-03-1(F)) / Major Tentative Map (Section XI-1-20.01)

- 1. The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development.*

The project is consistent with this finding because the project is consistent in density and architectural design with the master project (Citation) approved by the City Council on February 17, 2009, and later modified on October 12, 2011.

2. *The project is consistent with the Milpitas Zoning Ordinance.*

The Project site is zoned R-3 (Multiple Family High Density) with a Transit Oriented Development (TOD) Overlay. The proposed residential uses are permitted in the zoning district. The Project conforms to the zoning district and meets the intent for this type of project envisioned in this area. The site includes 2.92 acres of High-Density Residential-Transit Oriented Development (R3-TOD) (21 min/40 max units/acre). The project is part of a master development plan (Citation) approved by the City Council on February 17, 2009.

The Project also conforms to the TOD Overlay by providing density of 25 units per acre, which is within the 21-40 units/acre range envisioned by the TOD Overlay when combined with the R-3 Zoning District. The three-story height of the buildings is also within the standards of the TOD Overlay, where up to seven stories in height is allowed.

3. *The project is consistent with the Milpitas General Plan.*

The project site has a General Plan land use designation of Multi-Family High Density. The intent of this designation is to provide high-density housing within the Piper/Montague Subdistrict at a minimum density range of 21 units per acre, and a maximum density of 40 units per acre.

The Project is consistent with the Milpitas General Plan because the proposed Project meets the intent of the designation by providing a residential project within the district with 25 dwelling units per acre. Furthermore, the project is consistent with the following General Plan Guiding Principle and Implementing Policies:

- *2.a 1-31 Develop the Transit area, as shown on the Transit Area Plan, as attractive, high density, urban neighborhoods with a mix of land uses around the light rail stations and the future BART station. Create pedestrian connections so that residents, visitors, and workers will walk, bike, and take transit. Design streets and public spaces to create a lively and attractive street character, and a distinctive identity for each sub-district.*

The proposed Project is consistent with this policy because it includes attractive three-story buildings with 73 residential units in proximity to the future Milpitas BART Station. The Project also includes significant streetscape improvements enabling and encouraging pedestrian and bicycle movement throughout the Piper/Montague Subdistrict with connections to the BART and Light Rail transportation hubs. The project is also designed to provide an active interface with public spaces by facing townhome units toward the public park.

- *2.a 1-32 Require development in the Transit area to conform to the adopted design guidelines/requirements contained in the Transit Area Plan.*

The proposed Project is consistent with this policy because it has been designed per the adopted design guidelines/requirements contained in the Transit Area Plan. The project meets all guidelines and requirements of the Transit Area Plan including building setbacks and height,

floor area ratio and density, parking, open space and landscaping. It also meets the requirements for access and circulation.

4. *The project is consistent with the Transit Area Specific Plan.*

The project is consistent with this finding because the proposed project's land use and street layout are consistent with the Plan's Piper-Montague subdistrict. A legal instrument has been recorded to ensure that minimum and maximum densities established by the Plan are met as they are averaged over the multiple parcels within the original Citation project.

Conditional Use Permit (Section XI-10-57-04(F))

1. *The proposed use, at the proposed location, will not be detrimental or injurious to property or improvements in the vicinity nor to the public health, safety and general welfare.*

The project is consistent with this finding because the tandem parking does not impact the general public outside of the project, and allows the project type to be of an appropriate density within the TASP subdistrict.

2. *The project is consistent with the Milpitas Zoning Ordinance.*

The use of tandem parking is permitted by the Zoning Ordinance, subject to a Conditional Use Permit in order to analyze potential impacts to the public.

3. *The project is consistent with the Milpitas General Plan.*

The use of tandem parking, in this instance, allows the development of this project to meet General Plan Land Use criteria.

4. *The project is consistent with the Transit Area Specific Plan.*

The project is consistent with this finding because the use of tandem parking, in this instance, allows its development to be consistent with the Plan's Piper-Montague subdistrict. Thus, the deviation meets the design intent identified within the Transit Area Specific Plan and does not detract from the overall architectural, landscaping and site planning integrity of the proposed development. The deviation allows for an appropriate density in a transit area, and for a design that allows the parking to be out-of-view of the surrounding streets, public benefits not otherwise obtainable for the housing type through the strict application of the zoning standard.

ENVIRONMENTAL REVIEW

The Planning Division conducted an initial environmental assessment of the project in accordance with the California Environmental Quality Act (CEQA). The project is exempt from further environmental review pursuant to Section 15168(c)(2) of the CEQA Guidelines because

staff determined that the project is consistent with the certified EIR for the Transit Area Specific Plan adopted on June 3, 2008 by the City Council.

Because of the project's proximity to BART and to freight railroad tracks, the project was required to submit an acoustical and vibration study. The impacts from noise and vibration are mitigated by integrating appropriate structural design solutions into the project.

PUBLIC COMMENT/OUTREACH

Staff provided public notice the application in accordance with City and State public noticing requirements. At the time of writing this report, there have been no inquiries from the public. A notice was published in the Milpitas Post on November 5, 2015. Notices were sent to 563 owners and occupants within 1,000 feet of the project site. A public notice was also provided on the project site, on the City's Website, www.ci.milpitas.ca.gov, and posted at City Hall.

CITY COUNCIL REVIEW

This project requires review by the City Council and is tentatively scheduled on its December 15, 2015 agenda.

CONCLUSION

The proposed project is substantially consistent with the Transit Area Specific Plan in terms of land use and density, and conforms to the previously-approved street layout. The product type complements the other proposed developments within the Piper-Montague subdistrict. Using the approved density-averaging agreement, the project is consistent with the minimum density requirements for the zoning districts.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission:

1. Open and Close the Public Hearing
2. Adopt Resolution No. 15-036 recommending approval of Site Development Permit No. SD-15-0005, Conditional Use Permit No. UP-15-0013, and Major Tentative Map No. TM-15-0004 to the City Council, subject to the attached Conditions of Approval

ATTACHMENTS

- A: Resolution 15-036/COAs
- B: Project Plans

MEETING MINUTES

MILPITAS PLANNING COMMISSION
Special Meeting
Milpitas City Hall, Council Chambers
455 E. Calaveras Blvd., Milpitas, CA

Wednesday, November 18, 2015

- I. PLEDGE OF ALLEGIANCE** **Chair Mandal** called the meeting to order at 7:00 P.M. and led the Pledge of Allegiance.
- II. ROLL CALL/ SEATING OF ALTERNATE** **Commissioners**
Present: Chair Sudhir Mandal, Vice Chair Rajeev Madnawat
 Commissioners Gurdev Sandhu, Larry Ciardella, Hon Lien, Ray
 Maglalang, Zeya Mohsin
Absent: Morris
Staff: Bill Ekern, Katy Wisinski, Richard Patenaude, Sarah Fleming
- III. PUBLIC FORUM** **Chair Mandal** invited members of the audience to address the Commission and there were no speakers.
- IV. APPROVAL OF MEETING MINUTES** **Chair Mandal** called for approval of the October 28, 2015 meeting minutes of the Planning Commission.
Motion to approve Planning Commission meeting minutes.
 Motion/Second: Commissioner Sandhu/Commissioner Mohsin
 AYES: 4
 NOES: 0
 ABSTAIN: 3 Mandal, Madnawat, Ciardella
- V. ANNOUNCEMENTS** No announcements.
- VI. CONFLICT OF INTEREST** **Attorney Katy Wisinski** asked if any member of the Commission had any personal or financial conflict of interest related to any of the items on the agenda.
 There were no reported conflicts.

VII. APPROVAL OF AGENDA

Chair Mandal asked if staff or Commissioners had changes to the agenda and there were none.

Motion to approve the November 18, 2015 agenda as submitted.

Motion/Second: Vice Chair Madnawat/Commissioner Ciardella

AYES: 7

NOES: 0

VIII. CONSENT CALENDAR

NO ITEMS

IX. PUBLIC HEARING

IX-1 AMALFI II – 600 Amalfi Loop – Site Development Permit No. SD-15-0005, Conditional Use Permit No. UP-15-0013, and Major Tentative Map No. TM-15-0004:

A request for a Site Development Permit, a Conditional Use Permit for tandem parking, and a Major Vesting Tentative Map for condominium purposes, for the construction of 73 townhomes, along with common area and associated site improvements, replacing the previously-approved “wrap” condominium building, on a 2.92-acre parcel within the Piper-Montague Subdistrict of the Transit Area Specific Plan and the R3-TOD/S Zoning District.

Project Planner Richard Patenaude provided a brief background and showed a PowerPoint presentation reviewing the project.

Chair Mandal asked what the railroad line going around the project is utilized for and if it is still active, and Mr. Ekern said it is an active freight line that services the industrial area to the north.

Commissioner Maglalang asked about the open spaces in the development and if Montague Station Park would serve both Amalfi I and II and Mr. Patenaude said the park is not specific to this project and will serve the entire neighborhood, there is open space in the Amalfi apartments and a clubhouse and recreational facilities as private space.

Commissioner Maglalang asked if the proposed open spaces are consistent with what was approved by City Council for this project and Mr. Patenaude said the park space is sufficient and consistent with the TASP, adding that fewer units are now being proposed.

Chair Mandal asked if there is a connection between this project and creeks or other parks and Mr. Patenaude said there will be street improvements, including sidewalks, around the street frontages. Mr. Ekern said there is not much along Montague Expressway and no creek along South Milpitas.

Jim Sullivan of SCS Development Citation Homes showed a presentation and discussed the project. He said the residents are going to have walkable access to Montague Expressway and eventually a pedestrian overpass from the Edge project to the BART parking structure and parking lot.

Commissioner Mohsin asked if guest parking will be provided and Mr. Sullivan said

there will be guest parking, and they are exceeding the parking requirement of 1.6 spaces per unit and providing 2 spaces, adding that every unit has a 2 car garage.

Vice Chair Madnawat asked if the units will be Spanish or Italian style and Mr. Sullivan said they will be a combination of both.

Vice Chair Madnawat asked if it is possible to transfer the public art requirement to a park and Mr. Ekern said it will be up to the Arts Commission to decide the appropriate location.

Chair Mandal opened the public hearing and there were no speakers.

Motion to close the public hearing.

Motion/Second: Vice Chair Madnawat/Commissioner Sandhu

AYES: 7

NOES: 0

Motion to Adopt Resolution No. 15-036 recommending approval of Site Development Permit No. SD-15-0005, Conditional Use Permit No. UP-15-0013, and Major Tentative Map No. TM-15-0004 to the City Council, subject to the attached Conditions of Approval.

Motion/Second: Vice Chair Madnawat/Commissioner Sandhu

AYES: 7

NOES: 0

X. NEW BUSINESS

X-1 1992 TAROB COURT - Potential Rezoning Discussion: Discussion regarding the split-zoning of 1992 Tarob Court, and the degree of potential PC support for rezoning of this site from MP-TOD to High-Density Residential (R3 or above). Possible zoning change has the potential to affect three other parcels along Lundy Street, all within TASP boundaries.

Project Planner Sarah Fleming said this discussion was prompted by a question staff received from a developer in the TASP area regarding a split zone site and a proposal to rezone the site from light industrial to residential. The developer is interested in developing both sites as residential properties.

Ms. Fleming discussed the split zone and adjacent parcels to see if a zoning change is something the commission would consider and what that would mean for three remaining industrial parcels on Lundy, adding that good planning practice would likely rezone all four parcels to keep them consistent and avoid conflicting uses.

Vice Chair Madnawat asked for the history of how the parcel was zoned half industrial and half residential. Mr. Ekern said developers uncovered old subdivision maps that at one point in time showed two parcels which were possibly merged at the time the building was built.

Chair Mandal is uncomfortable having residences in an industrial area.

Commissioner Mohsin said that as the community grows and the need for small park industrial areas decreases she would not be opposed to the rezoning, as many of the buildings are vacant.

Commissioner Maglalang would prefer to have high density mixed used at this location.

Vice Chair Madnawat said the owner cannot fully utilize the lot, and due to the circumstances he would be amenable to rezoning to R3 or MDX2.

Robert Martin with Arlin Properties said he is a broker and consultant for landowners and developers and is representing True Life Homes and Tarob Court Properties LLC, the owner of 1992 Tarob Court.

Mr. Martin said they are in the planning process to build a Townhome development of 66 units at 1980 Tarob Court and noticed the split zone issue when exploring the possibility of unifying the parcels. He said it is important for the quality of life of the residents at 1980 Tarob Court, already zoned R3 and being developed as residential, that 1992 Tarob Court be rezoned.

Commissioner Ciardella believes it would make sense to rezone to residential.

Vice Chair Madnawat asked about the legal precedent for a lot that has two zones and Attorney Wisinski said split zoning is not illegal and seen frequently, although unusual and difficult to accommodate from a planning perspective.

XI. ADJOURNMENT The meeting was adjourned at 8:35 PM.

Motion to adjourn to the next meeting.

Motion/Second: Vice Chair Madnawat/Commissioner Sandhu

AYES: 7

NOES: 0

*Meeting Minutes submitted by
Planning Secretary Elia Escobar*

RESOLUTION NO. 15-036**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS RECOMMENDING TO THE CITY COUNCIL APPROVAL OF MAJOR VESTING TENTATIVE MAP NO. MT15-0004, CONDITIONAL USE PERMIT NO. UP15-0013, AND SITE DEVELOPMENT PERMIT NO. SD15-0005 FOR THE CONSTRUCTION OF 73 TOWNHOME UNITS AND ASSOCIATED SITE IMPROVEMENTS ON 2.92 ACRES LOCATED AT 600 AMALFI LOOP (AMALFI II – SIENA)**

WHEREAS, on June 15, 2015, an application was submitted by Jim Sullivan of SCS Development Company, a California corporation, 404 Saratoga Avenue, Suite 100, Santa Clara, CA 95050, to construct 73 residential units and associated site improvements on 2.92 acres located at 600 Amalfi Loop (the "Project"). The property is located within the Multiple Family Residential/Transit Oriented Development (R3/TOD) Zoning District (APN: 086-32-051); and

WHEREAS, on June 3, 2008, the City Council of the City of Milpitas approved the Transit Area Specific Plan to guide development in the Transit Area of the City near the future Milpitas BART Station; and

WHEREAS, Milpitas City Staff conducted a full analysis of the project to ensure compliance with the City's General Plan, Transit Area Specific Plan, Zoning Code, Engineering Design Requirements and all other applicable laws, regulations and standards, as all further explained in detail in the City staff's report to the Planning Commission; and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Planning Commission determine this project is covered under the program of activities identified in the Transit Area Specific Plan EIR, SCH#2006032091, certified by the City Council on June 3, 2008 based on the CEQA finding included in this Resolution; and

WHEREAS, on November 18, 2015, the Planning Commission held a duly noticed public hearing on the subject application, and considered evidence presented by City staff; the applicant, and other interested parties.

NOW THEREFORE, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The Planning Commission has duly considered the full record before it, which may include but is not limited to such things as the City staff report, testimony by staff and the public, and other materials and evidence submitted or provided to the Planning Commission. Furthermore, the recitals set forth above are found to be true and correct and are incorporated herein by reference.

Section 2: The Planning Division conducted an environmental assessment of the Project in accordance with the California Environmental Quality Act of 1970 (CEQA), as amended, and state and local guidelines implementing CEQA. This Project is included within the area

evaluated as part of the Transit Area Specific Plan Environmental Impact Report (EIR), SCH#2006032091, which was certified by the City Council June 3, 2008. The Project is covered under the scope of activities approved with that EIR. A finding is made below that this Project is within the program of the EIR and no further environmental review is required.

CEQA Finding

The proposed Project is covered under the scope of activities approved under the Transit Area Specific Plan (EIR), SCH#2006032091, which was certified by the Milpitas City Council on June 3, 2008. The EIR included a program of activities including construction of up to 7,109 residential units within the Transit Area Specific Plan (TASP) area. The proposed 73 residential units fall within this scope of development activity since the TASP area has not reached its full build out. The TASP area has been approved with approximately one-quarter of the amount of development assumed in the EIR development threshold. Further, the Project applicant has submitted an air quality assessment, greenhouse gas emissions analysis, a Phase I and II Environmental Site Assessment, a noise and vibration assessment and a traffic operations analysis to further show consistency with the TASP. Copies of these documents are on file with the Planning Division and fully incorporated herein by reference. These aforementioned studies do not indicate any Project impacts other than those already analyzed in the EIR. Project design features required of projects covered under the EIR are included as Conditions of Approval. Based on the foregoing, the Planning Commission recommends the City Council finds that the proposed Project will not have additional environmental impacts beyond those identified in the EIR, no additional environmental review is required, and no new or additional mitigation measures are required.

Section 3: Major Tentative Map (Section XI-1-20.01) - The Planning Commission makes the following findings based on the evidence in the administrative record in support of Major Vesting Tentative Map No. MT15-0004:

1. The tentative subdivision map is consistent with the Milpitas General Plan.

The project site has a General Plan land use designation of Multi-Family High Density. The intent of this designation is to provide high-density housing within the Piper/Montague Subdistrict at a minimum density range of 21 units per acre, and a maximum density of 40 units per acre.

The Project is consistent with this finding because the proposed Project meets the intent of the designation by providing a residential project within the district with 25 dwelling units per acre. Furthermore, the project is consistent with the following General Plan Guiding Principle and Implementing Policies:

- *2.a 1-31 Develop the Transit area, as shown on the Transit Area Plan, as attractive, high density, urban neighborhoods with a mix of land uses around the light rail stations and the future BART station. Create pedestrian connections so that residents, visitors, and workers will walk, bike, and take transit. Design streets and public spaces to create a lively and attractive street character, and a distinctive identity for each sub-district.*

The proposed Project is consistent with this policy because it includes attractive three-story buildings with 73 residential units in proximity to the future Milpitas BART Station. The Project also includes significant streetscape improvements enabling and encouraging pedestrian and bicycle movement throughout the Piper/Montague Subdistrict with connections to the BART and Light Rail transportation hubs. The project is also designed to provide an active interface with public spaces by facing townhome units toward the public park.

- *2.a I-32 Require development in the Transit area to conform to the adopted design guidelines/requirements contained in the Transit Area Plan.*

The proposed Project is consistent with this policy because it has been designed per the adopted design guidelines/requirements contained in the Transit Area Plan. The project meets all guidelines and requirements of the Transit Area Plan including building setbacks and height, floor area ratio and density, parking, open space and landscaping. It also meets the requirements for access and circulation.

Section 4: Site Development Permit (Section XI-10-57-03(F)(1)) - The Planning Commission makes the following findings based on the evidence in the public record in support of Site Development Permit No. SD15-0005:

1. *The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development.*

The Project is consistent with this finding because the site is designed as nine separate three-story buildings, consistent with other projects within the Subdistrict. The design of the buildings, including the mass, scale and height of the structures, is typical of transit-oriented development and includes additional landscaping along the streets. The buildings complement other approved and pending projects in the areas, which all contribute to a vibrant urban transit district consistent with the vision of the Transit Area Specific Plan.

2. *The project is consistent with the Milpitas Zoning Ordinance.*

The Project site is zoned R-3 (Multiple Family High Density) with a Transit Oriented Development (TOD) Overlay. The proposed residential uses are permitted in the zoning district. The Project conforms to the zoning district and meets the intent for this type of project envisioned in this area.

The Project also conforms to the TOD Overlay by providing density of 25 units per acre, which is within the 21-40 units/acre range envisioned by the TOD Overlay when combined with the R-3 Zoning District. The three-story height of the buildings is also within the standards of the TOD Overlay, where a height up to 75 feet is allowed.

The project conforms to the development standards required in the R-3 and TOD Overlay Districts. The table below demonstrates how the Project is consistent with these development standards.

Table 1:
Summary of Development Standards

R-3-TOD	Standard	Proposed	Complies?
Setbacks (Minimum)			
Front	8'-15'	9' average	Yes
Street Side	8'-15'	11' to 40' (varies)	Yes
Density (Units/Acre)	21-40 du/ac	25 du/ac	Yes
Building Height (Maximum)	75'	41'±	Yes

The Project requires a total of 139 parking spaces based on the table below:

Table 2:
Summary of Parking Standards

Use	Parking Ratio	Amount Required
Three Bedroom Units	73 units x 1.6 spaces/unit	116 spaces
Guest Parking	20% of Total	23 spaces
Total Required		139
Total Provided		164

3. *The project is consistent with the Milpitas General Plan in that the project, as proposed and conditioned, conforms to the street layout, street section, density and land use envisioned by the Plan.*

4. *The project is consistent with the Transit Area Specific Plan in that the project, as proposed and conditioned, conforms to the street layout, street section, density and land use envisioned by the Piper-Montague subdistrict of the Plan.*

Section 5: With respect to the Conditional Use Permit, the proposed use, at the proposed location, will not be detrimental or injurious to property or improvements in the vicinity nor to the public health, safety and general welfare in that the applicable standards for development of tandem parking spaces will be followed, and the use of tandem parking allows the development of this project type in accordance with General Plan and Specific Plan density ranges.

Section 6: The Planning Commission of the City of Milpitas hereby adopts Resolution No. 15-036 recommending to the City Council approval of Major Vesting Tentative Map No. MT15-0004, Site Development Permit No. SD15-0005 and Conditional Use Permit No. UP15-

0013, based on the above Findings and subject to the Conditions of Approval attached hereto as Exhibit 1 and incorporated herein.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Milpitas on 11/18/15.

Sudhir Mandal
Chair

TO WIT:

I HEREBY CERTIFY that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on 11/18/15 and carried by the following roll call vote:

COMMISSIONER	AYES	NOES	ABSENT	ABSTAIN
Sudhir Mandal, Chair	✓			
Rajeev Madnawat	✓			
Lawrence Ciardella	✓			
Gurdev Sandhu	✓			
Hon Lien	✓			
Ray Maglalang	✓			
Demetress Morris			✓	
Zeya Mohsin (alternate)	✓			

EXHIBIT 1

CONDITIONS OF APPROVAL

Major Vesting Tentative Tract Map No. MT15-0004, Site Development Permit
No. SD15-0005, Conditional Use Permit No. UP15-0013
Amalfi II – Siena Project, 600 Amalfi Loop (APN: 86-32-051)

General Conditions

1. General Compliance. The Permittee and owner, including all successors in interest (collectively "Permittee") shall comply with each and every condition set forth in this Permit. Major Vesting Tentative Map No. MT15-0004, Conditional Use Permit No. UP15-0013, and Site Development Permit No. SD15-0005 (collectively "Permit") shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed. The Permittee shall develop the site in accordance with the approved Attachments and as modified by these Conditions of Approval.
2. Effective Date. Unless there is a timely appeal filed in accordance with the Milpitas Zoning Code, the date of approval of this Permit is the date on which the City Council approved this Permit.
3. Acceptance of Permit. Should Permittee fail to file a timely appeal within twelve (12) calendar days of the date of approval of this Permit, inaction by Permittee shall be deemed to constitute each of the following:
 - a. Acceptance of this Permit by Permittee; and
 - b. Agreement by the Permittee to be bound by, comply with, and to do all things required of or by Permittee pursuant to all of the terms, obligations, and conditions of this Permit.
4. Permit Expiration. Pursuant to Section XI-10-64-06 of the Milpitas Zoning Code, this Permit shall become null and void if the activity permitted by this Permit is not commenced within two (2) years from the date of approval, or for a project submitted with a tentative map, within the time limits of the approved tentative map. Pursuant to Section XI-10-64.06(B) of the Milpitas Zoning Code, an activity permitted by this Permit shall be deemed to have commenced when the Project:
 - a. Completes a foundation associated with the Project; or
 - b. Dedicates any land or easement as required from the zoning action; or
 - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
5. Time Extension. Pursuant to Section XI-10-64.07 of the Milpitas Zoning Code, unless otherwise provided by State law, Permittee shall have the right to request a one-time

extension of the Permit if the request is made in writing to the Planning Division prior to the expiration date of the approval. **(P)**

6. Project Job Account. If Permittee's project job account is at any time delinquent or below the required deposit amount, City will not continue to review or process the application until Permittee's project job account is paid in full and the required deposit has been made. Additionally, prior to the issuance of any building permit or occupancy permit, as applicable, Permittee shall pay in full the Project account balance and establish a remaining balance of at least twenty-five percent (25%) of the required initial deposit.
7. Notice. Pursuant to California Government Code Section 66020, any protest filed in court relating to the imposition of fees, dedication, reservations, or other exactions to be imposed on the development project shall be filed within ninety (90) days after the date of the adoption of this Resolution. This provision serves as notice from the local agency to the Permittee that the ninety (90) day period in which the Permittee may file a protest has begun under California Government Code Section 66020(d)(1).
8. Cost and Approval. Permittee shall fully complete and satisfy each and every condition set forth in this Resolution and any other condition applicable to the Project to the sole satisfaction of the City. Additionally, Permittee shall be solely responsible and liable for the cost to satisfy each and every condition.
9. Conditions. Each and every condition set forth in this Exhibit shall apply to the Project and continue to apply to the Project so long as the Permittee is operating the Project under the permits and approvals in this Resolution.
10. Compliance with Laws. The construction, use, and all related activity authorized under this Permit shall comply with all applicable local, state and federal laws, rules, regulations, guidelines, requirements and policies. **(CA/P)**
11. Indemnification. To the fullest extent permitted by law, Permittee shall indemnify, defend with counsel of the City's choosing, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to (i) City's approval of the project, including, but not limited to, the approval of the discretionary permits, maps under the Subdivision Map Act, and/or the City's related determinations or actions under the California Environmental Quality Act, and (ii) Permittee's construction, operation, use or related activity under this Permit. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by Permittee, City and/or the parties initiating or bringing such proceeding. Permittee shall indemnify the City for all of City's costs, attorneys' fees and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. Permittee shall pay to the City upon demand or, as applicable, to counsel of City's choosing, any amount owed pursuant to the

indemnification requirements prescribed in this condition. The above indemnification is intended to be as broad as permitted by applicable law. To the extent the above indemnification is limited by Government Code Section 66474.9, any limitations shall only apply to Vesting Tentative Map No. MT15-0004, and the balance of the Permit shall be unaffected by Government Code Section 66474.9.

12. Permittee shall provide certificate of insurance and name City as an additional insured in its insurance policies.
13. Revocation, Suspension, Modification. This Permit may be suspended, revoked or modified in accordance with Section XI-10-63.06 of the Milpitas Zoning Code.
14. Severability. If any term, provision, or condition of this Permit is held to be illegal or unenforceable by the Court, such term, provision or condition shall be severed and shall be inoperative, and the remainder of this Permit shall remain operative, binding and fully enforceable.
15. Compliance with Fire Department and California Fire Code. The project shall comply with the requirements of the Milpitas Fire Department and the California Fire Code, as adopted by the City. Changes to the site plan and/or buildings requires review and approval by the Fire Department. **(F)**
16. Permittee shall develop the approved Project in conformance with the approved plans approved by the City Council on (_____), in accordance with these Conditions of Approval.

Any deviation from the approved site plan, elevations, materials, colors, landscape plan or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Planning Commission or City Council, as applicable, in accordance with the Milpitas Zoning Code. **(P)**

Site Development Permit Conditions

17. Landscape. All approved landscaping shall be permanently maintained and replaced with substantially similar plant material as necessary to provide a permanent, attractive and effective appearance. **(P)**
18. Landscape. No gasoline fueled leaf blowers, string trimmers or hedge trimmers are permitted to be used for maintenance of landscaping. Gasoline lawn mowers are discouraged for use for maintenance of any natural turf areas. **(P)**

19. Landscape. Prior to issuance of any building permit, Permittee shall demonstrate complete consistency with the Transit Area Specific Plan with respect to landscaping features and streetscape furniture elements, including lighting, benches, trash receptacles and bike racks. **(P)**
20. Landscape. Prior to issuance of any building permit, a detailed landscape plan shall be submitted and approved by the Planning Director or designee that includes the following:
 - a. Locations and screening of all transformers, fire service connections and utility devices including backflow preventers.
 - b. Location and type of trees, shrubs and ground cover, including sizes and quantities. The legend shall also show tree canopy diameter at planting, at five years and at 10 years.
 - c. Plan details for all fence and wall structures. These shall be compatible in style and material with the proposed buildings.
 - d. Details of all exterior Project lighting with details of fixture types and design. A photometric plan shall also be included. Illumination of the site shall not exceed IESNA standards for the type of use proposed. **(P)**
21. Bicycle Racks. A minimum of seven (7) short-term bicycle parking spaces consistent with the TASP Streetscape Elements shall be installed within the Project. **(P)**
21. Ground Equipment and Device Screening. Prior to issuance of any building permit, Permittee shall demonstrate that all backflow preventers, meter boxes, pedestals, and similar equipment and improvements are screened appropriately to the satisfaction of the Planning Division. Backflow preventers are to be painted black. **(P)**
22. Architecture. Prior to issuance of any building permit, Permittee shall demonstrate that the design of the residential units are distinct and include a change of material and color, which should include materials, such as wood, stone and decorative tile, and architectural details appropriate to the style. **(P)**
23. Garages. Prior to issuance of any building permit, Permittee shall demonstrate that the required minimum interior dimensions have been achieved; such minimum area shall be used for the parking of automobiles only. The required bicycle parking area, HVAC and water-heating equipment, solid waste containers, and accessory storage shall be accommodated outside of the required minimum garage area. **(P)**
24. Trees. In conformance with the Milpitas Municipal Code, all trees removed from the site that measure 37 inches or greater in circumference (12 inches in diameter) at 48 inches above the ground surface will be replaced at a 3:1 ratio within the Project site. The species and size of the replacement trees shall be determined by City staff. **(P)**

25. Street Lights. Street lighting shall be provided along all street frontages consistent with current Transit Area Specific Plan standards subject to the review and approval of the Planning Division. Pedestrian scale lights shall be installed along all public and private street frontages. The Permittee shall submit a photometric plan to determine appropriate light levels with submittal of on-site improvement plans.

REQUIRED PROJECT DESIGN FEATURES

Biological Resources (TASP Policy 5.26)

26. Nesting Birds. To mitigate impacts on non-listed special-status nesting raptors and other nesting birds, a qualified biologist will survey the site for nesting raptors and other nesting birds within 14 days prior to any ground disturbing activity or vegetation removal. Results of the surveys will be forwarded to the U.S. Fish and Wildlife Services (USFWS) and CDFG (as appropriate) and, on a case-by-case basis, avoidance procedures adopted. These can include construction buffer areas (several hundred feet in the case of raptors) or seasonal avoidance. However, if construction activities occur only during the non-breeding season between August 31 and February 1, no surveys will be required. **(P)**

Noise (TASP Policy 5.10)

27. Noise. Prior to issuance of any building permit, Permittee shall ensure that the Project will meet the required 45 dBA maximum interior noise standard. All noise insulation treatments identified during review of the final site plans shall be incorporated into the proposed Project to the extent required by California Building Code. **(B/P)**
28. Noise. Prior to issuance of any building permit, Permittee shall demonstrate that all residential units will require mechanical ventilation to allow the windows to remain closed at the residents' option as the interior noise standards would not be met with open windows. Typically, such a system must meet the following airflow provisions:
- i. If interior noise levels are met by requiring that windows remain unable to open or closed, the design for the structure must also specify a ventilation system to provide a habitable interior environment. The ventilation system must not compromise the dwelling unit noise reduction.

Air Quality (TASP Policy 5.16)

29. Dust Control Emissions – During the construction of the Project, Permittee shall comply with all of the following:
- i. All exposed surfaces (e.g. parking areas, staging areas, soil piles, graded areas and unpaved roads) shall be watered two times per day.
 - ii. All haul trucks transporting soil, sand or other loose material off the site shall be covered.

- iii. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day or more often if determined necessary by City Engineer or designee. The use of dry power sweeping is prohibited.
 - iv. All vehicle speeds on unpaved roads shall be limited to 15 MPH.
 - v. All roadways, driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - vi. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five (5) minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - vii. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
 - viii. Post a publicly visible sign with the telephone number and person to contact at the City regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. **(P)**
30. ROG Emissions. Prior to issuance of any building permit, Permittee shall develop, submit and obtain approval from the City of a plan to reduce ROG emissions by 17 percent or greater during the architectural coating phase of the construction. Acceptable measures to achieve this goal include, but are not limited to, using paint that contains 125 grams per liter of VOC or less, the use of pre-fabricated building materials, or a combination of both. The plan shall be implemented as approved by the City. **(P)**

Cultural Resources (TASP Policies 5.34 and 5.35)

31. Any future ground disturbing activities, including grading, in the Transit Area shall be monitored by a qualified archaeologist to ensure that the accidental discovery of significant archaeological materials and/or human remains is handled according to CEQA Guidelines §15064.5 regarding discovery of archeological sites and burial sites, and Guidelines §15126.4(b) identifying mitigation measures for impacts on historic and cultural resources (Reference CEQA §§21083.2, 2.1084.1.). In the event that buried cultural remains are encountered, construction will be temporarily halted until a mitigation plan can be developed. In the event that human remains are encountered, the developer shall halt work in the immediate area and contact the Santa Clara County coroner and the City of Milpitas. The coroner will then contact the Native American Heritage Commission (NAHC), which will in turn contact the appropriate Most Likely Descendent (MLD). The MLD will then have the opportunity to make a recommendation for the respectful treatment of the Native American remains and related burial goods. **(P)**

32. All grading plans for development projects involving ground displacement shall include a requirement for monitoring by a qualified paleontologist to review underground materials recovered. In the event fossils are encountered, construction shall be temporarily halted. The City's Planning Division shall be notified immediately, a qualified paleontologist shall evaluate the fossils, and steps needed to photo-document or to recover the fossils shall be taken. If fossils are found during construction activities, grading in the vicinity shall be temporarily suspended while the fossils are evaluated for scientific significance and fossil recovery, if warranted. (P)

Major Vesting Tentative Tract Map Conditions

33. Flood Study – Prior to final map approval, Permittee shall submit a Flood Study for the project demonstrating, to the satisfaction of the City Engineer, that the proposed development has NO adverse impact to the surrounding flood plain within the SFHA (Special Flood Hazard Area) and to flood carrying capacity of the area. The study should include cumulative effects of existing and proposed development (Integral, Lyon District 1, Lyon District, Montague Residential Project, DR Horton at McCandless, Montague/Piper TASP subdistrict, and the BART Project) demonstrating the combined effects will not increase the water surface elevation of the Base Flood (BFE) more than one/tenth of a foot at any point. Additionally, for the AO Flood Zone, the flood study is required in order to establish the BFE and development requirements. The flood study shall be consistent with the requirements in accordance with Title 44 of the Code of Federal Regulations by establishing a hydraulic model and HEC-RAS. (E)
34. Drainage Study – Prior to final map approval, Permittee shall submit a final grading plan and hydrologic/hydraulic study prepared by a registered Civil Engineer. The drainage study shall analyze the existing and ultimate conditions and facilities. The study shall be reviewed and approved by the City Engineer and Permittee shall satisfy the conclusions and recommendations of the approved drainage study. (E)
35. Construction Storm Water Quality – Permittee shall comply with the requirements of the National Pollution Elimination Discharge System (NPDES) permit as administered by the California State Water Resources Control Board (State Board) and the San Francisco Bay Regional Water Quality Control Board (Regional Board). Prior to the issuance of any building, demolition, or grading permit, Permittee shall submit an Erosion and Sediment Control Plan (Erosion Control Plan) as a part of the improvement plan submittal. The erosion control plan shall show all construction best management practices (BMPs) and shall comply with the requirements of the NPDES, the Municipal Regional Permit Order R2-2009-0074 (MRP), and the City's stormwater and urban runoff pollution control standards and guidelines (City's Clean Water Program). Permittee shall ensure that all contractors and subcontractors install and regularly maintain all construction BMPs as required by the approved erosion control plan, the Milpitas Municipal Code (MMC), and the City's Clean Water Program. (E)
36. Construction General Permit Compliance – Permittee shall comply with the requirements of the Construction General Permit as administered by the State and Regional Boards. Permittee

shall obtain a Construction Activities Storm Water General Permit (State Permit) from the State Board. Prior to any construction activities and prior to the issuance of any building, demolition, or grading permit, Permittee shall submit:

- a. a complete Storm Water Pollution Prevention Plan (SWPPP) with the project Waste Discharge Identification Number (WDID) displayed on the cover,
- b. a copy of the approved Notice of Intent (NOI) from the State Board, and
- c. an erosion control plan and a site monitoring plan meeting the satisfaction of the City Engineer.

Permittee shall ensure that all contractors and sub-contractors install and regularly maintain all storm water quality control measures as required by the approved SWPPP, the approved erosion control plan, the MMC, and the City's Clean Water Program.

Prior to final occupancy, Permittee shall submit an approved Notice of Termination (NOT). For phased occupancy, Permittee shall submit a Change of Information (COI) or an NOT approved by the State Board that removes each phase of occupancy from the boundaries of the State Permit prior to the issuance of occupancy for that phase. Contact the State and Regional Boards for questions regarding your specific project. For general information, contact the City of Milpitas Engineering Division at (408) 586-3325. (E)

37. Post-Construction Storm Water Quality – Permittee shall comply with the requirements of the MRP for post-construction storm water treatment (provision C.3 regarding new development and redevelopment requirements for regulated projects) and the National Pollutant Discharge Elimination System (NPDES) General Permit for Storm Water Discharge Associated with Construction and Land Disturbance Activities Order No. 2009-0009 NPDES No. CAS000002 or as required by the Regional Board at the time Permittee submits the NOI for the project for pre-construction storm water treatment requirements. Permittee shall also comply with the City's Clean Water Program. Permittee shall submit a final, certified storm water quality control plan (SWCP), a SWCP sheet, and a post-construction BMP operations and maintenance plan (O&M) in accordance with the City's Clean Water Program and meeting the satisfaction of the City Engineer. (E)
38. Final Storm Water Quality Control Plan (SWCP) – Prior to final map approval, Permittee shall submit a final SWCP that incorporates post-construction BMPs for the treatment of storm water runoff from all parcels. The Storm Water Control Plan shall incorporate source control, site design and stormwater treatment requirements consistent with MRP requirements with BMPs such as the use of bio-treatment areas into the landscape design elements and the use of permeable BMPs compliant with the current California Stormwater Quality Association (CASQA) BMP handbooks. The site plan shall be consistent with the final Storm Water Control plan to the satisfaction of the City Engineer. The SWCP shall be prepared by a licensed Civil Engineer qualified and trained in the Storm water treatment process and shall certify that measures specified in the report meet the MRP requirements.
 - a. The final SWCP shall comply with all "Model Conditions of Approval for Stormwater Quality" as shown in the Stormwater Section of the Engineering Plans and Map

Procedures and Guidelines, dated July 15, 2010, and are hereby incorporated as conditions of project approval.

- b. Prior to issuance of a certificate of occupancy, Permittee shall submit an Operation and Maintenance (O&M) Plan, acceptable to the City Engineer, describing the operation and maintenance procedures needed to insure that storm water treatment measures continue to work as intended and do not create a nuisance (including vector control). The plan shall include all BMP details, a location map, a maintenance schedule, and inspection and reporting templates. The treatment measures shall be maintained for the life of the project. The storm water control operation and maintenance plan shall include the Permittee's signed statement accepting responsibility for maintenance until the responsibility is legally transferred.
 - c. Prior to final occupancy, Permittee shall execute and record an O&M Agreement with the City for the operation, maintenance, and annual inspection of the C.3 treatment facilities. Permittee shall submit documentation of inspection and maintenance to the City's Utility Section annually for reporting to the Regional Board.
 - d. Permittee shall include language in the approved covenants, conditions and restrictions (CC&Rs) providing the City with an annual inspection report in conformance with the approved O&M plan and agreement. If the City does not receive the report, the City will conduct the field inspection and report for the site and the Permittee and its successor shall be responsible to pay all associated costs.
 - e. All permit applications shall be consistent with the Permittee's final Storm Water Control Plan and approved special conditions, and shall include drawings and specifications necessary to implement all measures described in the approved Plan. Onsite improvement plans shall show the details and methods of construction for site design features, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants. Site design shall limit directly connected impervious areas. Any changes to the final Storm Water Control Plan shall require Site & Architectural ("S" Zone) Amendment application review.
 - f. The Project does not meet the requirements for Special Project credits and will therefore have to use only bioretention to treat stormwater. (E)
39. Utility Capacity – The issuance of building permits to implement this land use development will be suspended if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. No vested right to the issuance of a Building Permit is acquired by the approval of this land development. The foregoing provisions are a material (demand/supply) condition to this approval. (E)
40. Utility Studies – Prior to final map approval, Permittee shall obtain approval from the City Engineer of the water, sewer and storm drainage studies for this development. These studies shall identify the project's effect on the City's present Master Plans and the impact of this

project on the trunk lines. If the results of the study indicate that this project contributes to the over-capacity of any trunk line, the Permittee shall be required to mitigate the overflow or shortage by construction of a parallel line or pay a mitigation charge, if acceptable, to the satisfaction of the City Engineer. (E)

41. Water Study – The multi-story buildings proposed require water supply pressures above that which the City can normally supply. Additional evaluations by the Permittee are required to assure proper water supply (potable or fire services). Permittee shall submit an engineering report detailing how adequate water supply pressures will be maintained. (E)
42. Solid Waste – The Permittee is proposing single-family style solid waste services. The following requirements must be met to be eligible for single-family style service: provide minimum clearances as shown in Standard Drawing No. 450, provide a map identifying dedicated set-out locations for all units, demonstrate minimum truck turning access is provided, and identify a service route that does not require the collection vehicles to back up. The Home Owners Association (HOA) shall be responsible for procuring and paying for the solid waste service. If these requirements cannot be met, the project must be redesigned to accommodate a multi-family style service as described elsewhere. (E)
43. Multi-family-style service – In the event Permittee cannot satisfy the requirements of condition 42 above, and the project must therefore be redesigned to accommodate a multi-family-style solid waste service, then this condition 43 shall apply. The trash enclosure shall be sized to accommodate the solid waste handling equipment. The proposed enclosure shall be designed per the Development Guidelines for Solid Waste Services and enclosure drains must discharge to sanitary sewer line. Storm drain inlets must be located at least 25 feet away from enclosures to prevent accidental spills from entering storm drains. Enclosures are not permitted within public utility easements. The enclosure will be subject to the City's review/approval prior to construction of the enclosure. (E)
44. Solid Waste Handling Plan – Prior to final map approval or any building permit issuance, Permittee shall obtain City Engineer's approval of the final Solid Waste Handling Plan. Permittee shall be responsible for solid waste management and provide sufficient facilities for on-site storage and collection of solid waste and recyclables. Permittee shall provide a Solid Waste Handling Plan showing how materials will be transferred from the waste generation areas to the trash enclosure/external collection point. Permittee shall demonstrate how recycling shall have a separately maintained process from garbage handling. The Solid Waste Handling Plan shall also address other requirements, such as calculating waste generation volumes, compliance with AB1826 (2014) regarding organic waste, and property management responsibility for bin management and litter control. Permittee shall procure sufficient service frequency. All solid waste collection facilities shall comply with City guidelines. The Permittee shall comply with access dimensions such as turning radius. The collection vehicle is not allowed to block sidewalks, parking garages, and driveway access. The collection vehicle is not allowed to back up on streets, drive aisles, or alleys. The Conditions, Covenants, and Restrictions (CC&R) shall clearly indicate the HOA responsibilities including but not limited to: cart storage areas, monitoring cart set-outs, parking issues, collecting trash and recyclables from the residences, responding and

resolving complaints involving litter, dumping, and scavenging, improper carts storage, and mediation between property owners regarding carts. (E)

45. Solid Waste Management – Per Chapter 200, Title V, Solid Waste Management, V-200-3.10, *General Requirement*, Permittee and its successors shall not keep or accumulate, or permit to be kept or accumulated, any solid waste of any kind and is responsible for proper keeping, accumulating and delivery of solid waste. In addition, according to V-200-3.20 *Owner Responsible for Solid Waste, Recyclables, and Yard Trimmings Collection Services*, Permittee shall subscribe to and pay for solid waste services rendered. Prior to issuance of any building permit issuance, Permittee shall incorporate the following solid waste service requirements to the satisfaction of the City Engineer:
- a. Proposed solid waste enclosure shall be designed per the Development Guidelines for Solid Waste Services to house all necessary equipment. The access to the location and size of the enclosure shall be designed to the City Engineer’s satisfaction and shown on the plans prior to building permit issuance. The enclosure drains must discharge to the sanitary sewer line. Storm drain inlets must be located at least 25 feet away from enclosures to prevent accidental spills from entering storm drains. Enclosures are not permitted within public utility easements.
 - b. The Permittee shall be responsible for solid waste management, including transfer of material to the compactors. Prior to final map approval, Permittee shall submit to the City (for review and approval) a written Solid Waste Handling Plan, including detailed step-by-step instructions to manage solid waste from generation to disposal. The Plan shall state how the residential waste will be conveyed to the collection area for disposal. Show the path of travel for refuse. Demonstrate how recycling shall have a separately-maintained process from garbage handling.
 - c. Prior to certificate of occupancy issuance, the Permittee shall provide evidence to the City that a sufficient level of trash and recycling service has been secured using a Service Agreement with Republic Services (formerly BFI). After the Permittee has full occupancy, the Permittee shall contact the Republic Services commercial representative to review the adequacy of the solid waste level of services. If services are determined to be inadequate, the Permittee shall increase the service to the level determined by the evaluation. (E)
46. Community Facilities District (CFD) Annexation – Prior to final map approval, the Permittee shall submit an executed consent to annex the subject property into CFD 2008-1 and shall agree to pay the special taxes levied by CFD 2008-1 for the purpose of maintaining the public services. Permittee shall comply with all rules, regulations, policies, and practices established by State Law and by the City with respect to the CFD including, without limitation, the requirements for notice and disclosure to future owners and residents. This condition of approval is nonseverable from the Permit and any invalidation or limitation of this condition invalidates the Permit. (E)
47. Final Map – Prior to issuance of any building permit, the final map shall be recorded. The final map submittal shall meet the following requirements:

- A. Provide a current title report with your final map submittal, not more than 90 days old.
- B. All final maps shall designate all common lots and easements as lettered lots or lettered easements.
- C. All final maps shall be tied to the North America Datum of 1983 (NAD 83), California Coordinate of 1983, zone 3.
- D. Permittee shall dedicate all necessary easements for public utilities, emergency vehicle access, solid waste collection and public access on the final map for acceptance by the City in compliance with the City's Engineering Guidelines and the approved Tentative Map.
- E. All FEMA flood information on the improvements plans shall be prepared shown using Vertical Datum of 1988 (NAVD 88) and Vertical Datum of 1929 (NGVD 29). The specific city benchmark used for the project shall be indicated on the cover sheet of each improvement plan set. All grading sheets shall show a table indicating the BFE per the final flood study in NAVD 88, and any conversion to NGVD 29 elevations. (E)

48. Home Owners Association (HOA) – Prior to final map approval, Permittee shall establish an HOA. Membership of the HOA shall include all owners of the residential units. The HOA shall be responsible for the maintenance of the landscaping, walls, buildings, private street lights, common area and private streets and shall have assessment power. The HOA shall manage the onsite water, recycled water, irrigation, storm, water quality treatment, and sewer systems and implement the Solid Waste Handling Plan. This information shall be clearly included in the (CC&Rs) and recorded documents. Prior to final map approval, the CC&Rs shall be approved by the City Engineer. (E)
49. Improvement Plans – Prior to final map approval, Permittee shall obtain design approval and bond for all improvements that City deems necessary. The Permittee shall execute a secured public improvement agreement. The agreement shall be secured for an amount of 100% of the engineer's estimate of the construction cost for faithful performance and 100% of the engineer's estimate of the construction cost for labor and materials. The public facilities, such as water meters, RP backflow preventers, sewer cleanouts, et cetera, shall be placed so access is maintained and kept clear of traffic. All improvements shall be in accordance with the City of Milpitas Transit Area Specific Plan Requirements. All improvements shall be constructed to the City Engineer's satisfaction and shall be accepted by the City prior to issuance of any certificate of occupancy for the project. Required off-site improvement shall include but not limited to the construction of a traffic signal on S. Milpitas Boulevard and Garden Street. This traffic signal shall be interconnected to the adjacent UPRR railroad crossing signal on S. Milpitas Blvd as required by UPRR and CPUC for railroad preemption operation.(E)
50. Utility Fees – The following are current estimates of certain required utility fees to be paid at the time of building permit issuance:
- A. Storm water connection fee of \$48,971.32 (2.92ac x \$16,771/ac) **Payable in full as a lump sum prior to issuance of the first building permit..**

- B. Water connection fee of \$1,164 per unit payable prior to building permit issuance.
- C. Sewer connection fee of \$1,406 per unit payable prior to building permit issuance.
- D. Water Service Agreement(s) for water meter(s) and detector check(s).
- E. Sewer Needs Questionnaire and/or Industrial Waste Questionnaire.

As shown on the vesting tentative map:

Building 1	6 units	sewer: \$8,436	water: \$6,984
Building 2	8 units	sewer: \$11,248	water: \$9,312
Building 3	8 units	sewer: \$11,248	water: \$9,312
Building 4	8 units	sewer: \$11,248	water: \$9,312
Building 5	8 units	sewer: \$11,248	water: \$9,312
Building 6	8 units	sewer: \$11,248	water: \$9,312
Building 7	10 units	sewer: \$14,060	water: \$11,640
Building 8	10 units	sewer: \$14,060	water: \$11,640
Building 9	7 units	sewer: \$9,842	water: \$8,148

The fee amounts to be paid shall be the amount shown in the most current City Council ordinance or resolution at the time payment is made for building permit issuance. (E)

- 51. Transit Area Specific Plan (TASP) Fees. Prior to any building permit issuance, Permittee shall pay the applicable Transit Area Specific Plan Development Impact fee as determined by the City Council at the time of project approval.
- 52. Building Permit Automation Fee – Prior to any building permit issuance, Permittee shall a 2.5% building permit automation fee as approved by City Council Resolution. No. 7590.
- 53. Construction Schedule – Prior to start of any construction, Permittee shall submit a construction schedule and monitoring plan for City Engineer review and approval. The construction schedule and monitoring plan shall include, but not be limited to, construction staging area, parking area for the construction workers, personnel parking, temporary construction fencing and construction information signage, and establish a neighborhood hotline to record and respond to neighborhood construction related concerns. Permittee shall coordinate their construction activities with other construction activities in the vicinity of this project. Permittee's contractor is also required to submit updated monthly construction schedules to the City Engineer for the purpose of monitoring construction activities and work progress. (E)
- 54. Utility Protection – All existing public utilities shall be protected in place and if necessary relocated as approved by the City Engineer. No permanent structure is permitted within City easements and no trees or deep-rooted shrubs are permitted within City utility easements, where the easement is located within landscape areas. (E)
- 55. Permittee is notified that references to State regulations, City ordinances, and any other documents or requirements shall mean the rules in effect at the time of building permit issuance. (E)

56. Landscaping Ordinance 238 – In accordance with the provisions of Chapter 5, Title VIII of the Milpitas Municipal Code, for new or rehabilitated landscaping areas equaling 500 square feet or greater, the Permittee shall:
- A. Provide separate water meters for domestic water service & irrigation service.
 - B. Provide separate domestic meters for each unit.
 - C. Comply with all the requirements of Chapter 5, Title VIII of the Milpitas Municipal Code.
 - D. Submit two sets of landscape and irrigation improvement plans to the Building Division with the building permit plan check package. Prior to any building permit issuance, approval from the Land Development Section of the Engineering Division is required prior to any building permit issuance, and submittal of the Certificate of Substantial Completion is required prior to final occupancy inspection.
 - E. New landscape shall comply with the requirements of Chapter 5, Title VIII of the Milpitas Municipal Code that are in effect at the time of building permit issuance.

Contact the Land Development Section of the Engineering Division at (408) 586-3325 for information on the submittal requirements and approval process. (E)

57. Water Supply and Force Majeure – The City currently has adequate water supply and sewerage treatment plan capacity allocation for this land development project. The City reserves the right to suspend the issuance of building permits to implement this land use development, if necessary to stay within (1) available water supplies, or (2) the safe or allocated capacity at the San Jose/Santa Clara Water Pollution Control Plant, and will remain suspended until water and sewage capacity are available. Although a vesting tentative map has been approved within the Site Development Permit which provides vested rights as defined in Government Code Section 66498.1, no vested right to the issuance of a building permit is acquired by the approval of this land development in the event of the City's inability to deliver water and sewer treatment is affected by force majeure pursuant to the criteria set forth above. This condition of approval applies in case of an emergency declaration of water supply assurance in the case of a major catastrophic event that restricts City's assurance to provide water supply, or allocated treatment plant capacity. Pursuant to Government Code Section 66452.6, in the event the issuance of building permits is suspended due to lack of water supplies, the period of time set forth as the term for the vesting tentative map in Government Code Section 66452.6(a)(1) shall be tolled for up to five years until said suspension is terminated.
58. Recycled Water for Irrigation – In accordance with MMC Chapter 6, Title VIII (Ord. No. 240), the landscape irrigation system shall be designed to meet the City's recycled water guidelines and connect to recycled water system. In order to comply with the recycled water guidelines, the Permittee shall:
- A. Design the landscape irrigation for recycled water use. Use of recycled water applies to all existing, rehabilitated, and new landscaping. All landscape shall be compatible with recycled water use.

- B. Design the irrigation system in conformance to the South Bay Water Recycling (SBWR) Guidelines and COM Supplemental Guidelines. Prior to any building permit issuance, the City will submit the plans to SBWR and the State Water Resources Control Board Division of Drinking Water (DDW) for approval; this approval requires additional processing time. Permittee is responsible for all costs for designing and installing site improvements, connecting to the recycled water main, and processing of City, SBWR, and DDW approvals. Contact the Land Development Section of the Engineering Division at (408) 586-3325 to obtain copies of design guidelines and standards.
 - C. Protect outdoor eating areas from overspray or wind drift of irrigation water to minimize public contact with recycled water. Recycled water shall not be used for washing eating areas, walkways, pavements, and any other uncontrolled access areas.
 - D. Landscape planting shall be deferred until the on-site recycled water system is approved, constructed and tested. The recycled water irrigation systems shall be split into several parallel systems to match the construction phasing in order to allow recycled water use at the final occupancy for each phase. (E)
59. Landscaping Maintenance – HOA shall own and be responsible for maintenance of all landscaping and irrigation. The recycled water irrigation system shall be under the control of the HOA. (E)
60. Tree Removal Permit – In accordance with MMC Chapter 2, Title X (Ord. 201), Permittee may be required to obtain a permit for removal of any existing tree(s). Contact the Public Works Department at (408) 586-2600, to obtain the requirements and forms. (E)
61. Underground Service Alert (USA) – Permittee shall call Underground Service Alert (U.S.A.) at (800) 642-2444, 48 hours prior to construction for location of utilities. (E)
62. Mailboxes – Permittee shall obtain information from the US Postal Services regarding required mailboxes. Structures to protect mailboxes may be required as a result of the Building, Engineering and Planning Divisions review. (P)
63. Developer shall comply with all obligations as defined in the approved and recorded “COST SHARING AND REIMBURSEMENT AGREEMENT-Milpitas Transit Area Specific Plan-Piper/Montague Subdistrict-Milpitas, California,” Document 20427520, O.R., recorded 9/10/2009 in the County of Santa Clara Recorder’s Office, State of California. The shared infrastructure improvements shall be subject to the City Engineer approval. (E)
64. Prior to building permit issuance, developer will be required to contribute toward the upsizing of the sewer line on Curtis Avenue, known as sewer project 11E in the City of Milpitas Sewer Master Plan. (E)
65. All utility stubs not utilized shall be capped at the main. (E)
66. Clarify use of 10” waterlines extensions on Drive Aisle C &D. (E)

67. The City Council has declared a water supply emergency and enacted a Water Shortage Contingency Plan. The project is required to use recycled water for construction purposes such as dust control and compaction. Landscape planting shall be deferred for any areas designated to use potable water, such as internal podium areas as described below. Water features such as pools and fountains, may not be filled until the drought is over. (E)
68. Permittee is proposing to serve the project from an adjacent on-site domestic water system. This is allowed only if the both projects are members of the same Home Owners Association (HOA). The on-site water system shall be privately owned and maintained by the HOA. If this project is not part of the adjacent HOA, then relocate the on-site water system points of connection to connect to the public water system. (E)
69. All connections to the public water system shall be metered and protected with backflow devices in accordance with City standards. Separate on-site water systems owned and maintained by the property owners shall serve the project downstream of the master meters. The project is recommended to have two points of connection for each service to provide redundancy. Master meters shall be located in City right-of-way or public service utility easements. Water services shall have a straight alignment between the public distribution system pipe and the water meter (no bends). A combined domestic and fire protection water pipeline is allowed. (E)
70. Locate fire hydrants on the public water system to the maximum extent possible. All hydrants shall be located on a dedicated service lateral. (E)
71. The Permittee shall design public and private utilities in accordance with State and City requirements. If the minimum clearances described in the State Water Works Standards cannot be met, the Permittee shall prepare and submit a waiver request to the City. If acceptable, the City will submit the waiver request to the Division of Drinking Water. (E)
72. The Permittee is proposing to connect to the adjacent on-site sewer system. This is allowed only if both projects are members of the same Home Owners Association (HOA). If this project is not part of the adjacent HOA, then relocate the point of connection to the public sewer system. The on-site sewer system shall be privately owned and maintained by the HOA. The sewer system shall be designed for sufficient capacity and ease of maintenance to minimize sewer blockages and spills. (E)
73. The Permittee shall dedicate on the final map necessary public service utility easements, street easements, public access easement (over private streets and walkways) and easements for water, recycled water, storm sewer, and sanitary sewer purposes. (E)
74. Coordinate plans showing landscape, utility, and hardscape to insure no conflicts exist. (E)
75. Building foundations adjacent to public utilities shall be designed to be self-supporting such that the building weight is not required to be supported during shoring and excavation of adjacent utilities. (E)

- 76. Permittee shall provide phasing plans demonstrating management of construction traffic, non-construction traffic, landscape installation, and solid waste management. (E)
- 77. Submit a Joint Use Agreement for any facilities or services shared with another project. (E)
- 78. The City shall restore surface conditions to City standards (standard pavement, sidewalk, non-paved surfaces, etc) upon completion of infrastructure repair and/or replacement in City easements. The CC&R shall include the requirement that the HOA is required to restore HOA-owned infrastructure upon completion of City's repair/replacement. (E)
- 79. Permittee and its contractors shall make every effort to salvage materials for reuse and recycling and shall comply with all applicable City ordinances on construction and demolition debris. (E)
- 80. All public improvements and public infrastructure shall be constructed and completed prior to the issuance of the first building permit. Improvements include, but are not limited to, curb, gutter, sidewalk, medians, third party utilities, street lights, street trees, utilities, pavement, and related water-quality facilities. To implement this condition, Permittee shall perform a GPS survey of all water valves, manholes, underground bends, and record such data on record drawings. (E)

Conditional Use Permit Conditions

- 81. Tandem Parking Spaces: Permittee shall insure that all future residents are aware that space in garages must be maintained to as to allow the parking of two (2) vehicles at all times. This may be accomplished by including this provision within the CC&R's.

- (P) = Planning
- (B) = Building
- (E) = Engineering
- (F) = Fire Prevention
- (CA) = City Attorney
- (MM) = Mitigation Measure

NOTICE OF RIGHT TO PROTEST

The Conditions of Project Approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), began on date of adoption of this resolution. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

Pursuant to Condition No. 51 contained herein, prior to any building permit issuance, Permittee shall pay the applicable Transit Area Specific Plan Development Impact Fee as determined by the City Council at the time of project approval.

AGREEMENT

Permittee/Property Owner

The undersigned agrees to each and every condition of approval and acknowledges the NOTICE OF RIGHT TO PROTEST and hereby agrees to use the project property on the terms and conditions set forth in this resolution.

Dated: _____

Signature

Printed Name of Permittee/Property Owner: _____

SHEET INDEX

1. COVER SHEET - INDEX SHEET

CIVIL SHEETS

- 2. C-1 TITLE SHEET
- 3. C-2 EXISTING PROPERTY
- 4. C-3 SITE PLAN
- 5. C-4 DEVELOPMENT PLAN
- 6. C-5 PRELIMINARY GRADING PLAN
- 7. C-6 PRELIMINARY UTILITY PLAN
- 8. C-7 FIRE TRUCK TURNING EXHIBIT
- 9. C-8 SOLID WASTE MANAGEMENT
- 10. C-9 PRELIMINARY STORMWATER CONTROL PLAN
- 11. C-10 CITY NOTES AND CONDITIONS

LANDSCAPE SHEETS

- 12. L-1 SITE PLAN
- 13. L-2 LIGHTING PLAN

ARCHITECTURAL SHEETS

- 14. A-61 FIRST FLOOR - 6 UNIT BUILDING
- 15. A-62 SECOND FLOOR - 6 UNIT BUILDING
- 16. A-63 THIRD FLOOR - 6 UNIT BUILDING
- 17. A-64 6 UNIT FRONT ELEVATION - SPANISH STYLE
- 18. A-65 6 UNIT REAR AND SIDE ELEVATIONS - SPANISH STYLE
- 19. A-6R1 6 UNIT - SPANISH ELEVATION
- 20. A-71 FIRST FLOOR - 7 UNIT BUILDING
- 21. A-72 SECOND FLOOR - 7 UNIT BUILDING
- 22. A-73 THIRD FLOOR - 7 UNIT BUILDING
- 23. A-74 7 UNIT FRONT ELEVATION - ITALIAN STYLE
- 24. A-75 7 UNIT REAR AND SIDE ELEVATIONS - ITALIAN STYLE
- 25. A-7R1 7 UNIT - ITALIAN ELEVATION
- 26. A-81 FIRST FLOOR - 8 UNIT BUILDING
- 27. A-82 SECOND FLOOR - 8 UNIT BUILDING
- 28. A-83 THIRD FLOOR - 8 UNIT BUILDING
- 29. A-84 8 UNIT FRONT ELEVATION - SPANISH STYLE
- 30. A-85 8 UNIT REAR AND SIDE ELEVATIONS - SPANISH STYLE
- 31. A-86 8 UNIT FRONT ELEVATION - ITALIAN STYLE
- 32. A-87 8 UNIT REAR AND SIDE ELEVATIONS - ITALIAN STYLE
- 33. A-8R1 8 UNIT - SPANISH ELEVATION
- 34. A-8R2 8 UNIT - ITALIAN ELEVATION
- 35. A-101 FIRST FLOOR PLAN - 10 UNIT BUILDING
- 36. A-102 SECOND FLOOR PLAN - 10 UNIT BUILDING
- 37. A-103 THIRD FLOOR PLAN - 10 UNIT BUILDING
- 38. A-104 10 UNIT FRONT ELEVATION - SPANISH STYLE
- 39. A-105 10 UNIT REAR AND SIDE ELEVATIONS - SPANISH STYLE
- 40. A-106 10 UNIT FRONT ELEVATION - ITALIAN STYLE
- 41. A-107 10 UNIT REAR AND SIDE ELEVATIONS - ITALIAN STYLE
- 42. A-10R1 10 UNIT - SPANISH ELEVATION
- 43. A-10R2 10 UNIT - ITALIAN ELEVATION
- 44. A-U1 UNIT PLAN 1
- 45. A-U1AE UNIT PLAN 1AE - ALTERNATE END UNIT PLAN
- 46. A-U1AI UNIT PLAN 1AI - ALTERNATE INTERIOR UNIT PLAN
- 47. A-U2 UNIT PLAN 2
- 48. A-U3 UNIT PLAN 3
- 49. A-R1 RENDERING



OWNER/DEVELOPER

SCS DEVELOPMENT CO.
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA 95050
(408) 985-6020
CONTACT: JIM SULLIVAN

ARCHITECT

DANIELIAN ASSOCIATES
60 CORPORATE PARK
IRVINE, CA 92606
(949) 474-6030
CONTACT: VICTOR ALVAREZ

LANDSCAPE ARCHITECT

RANDALL PLANNING & DESIGN
119 POPPY COURT
WALNUT CREEK, CA 94596
(925) 934-8002
CONTACT: GREG RANDALL

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-3022
CONTACT: LEE ROSENBLATT

SOILS ENGINEER

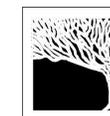
T. MAKDISSY CONSULTING, INC.
6280 SAN IGNACIO AVE, SUITE M
SAN JOSE, CA 95119
(408) 227-8595
CONTACT: TOM MAKDISSY

AUGUST 7, 2015

SIENA

600 AMALFI LOOP ZONING, DESIGN REVIEW PACKAGE MILPITAS, CALIFORNIA

DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
Sixty Corporate Park, Irvine, CA 92606 P 949.474.6030 F 949.474.1422 www.danielian.com



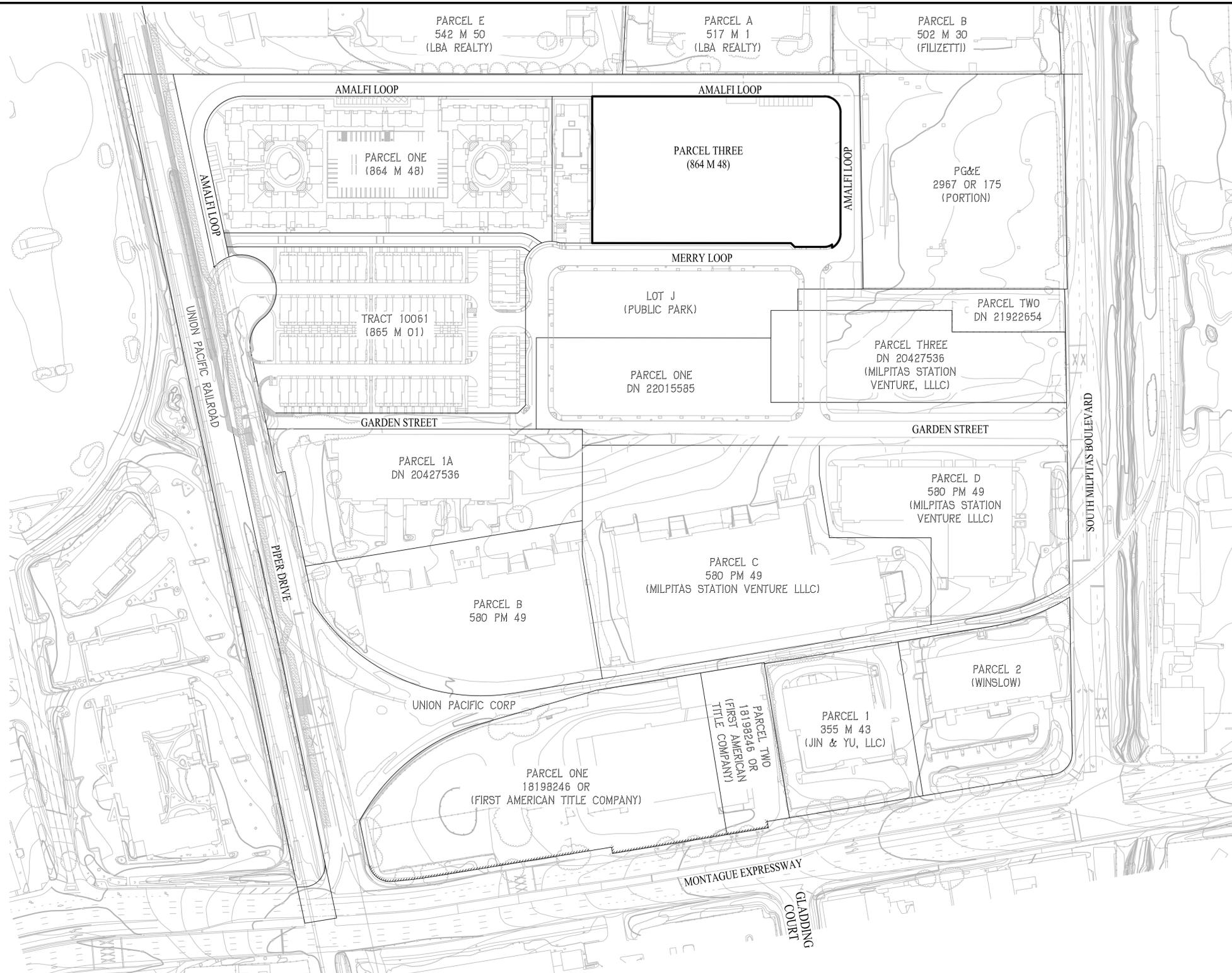
RANDALL PLANNING & DESIGN INC.
Landscape Architecture * Golf Facilities
Site and Environmental Planning
109 Poppy Court
Walnut Creek, California 94596
Office: (925) 934-8002
Facsimile: (925) 934-8053



Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

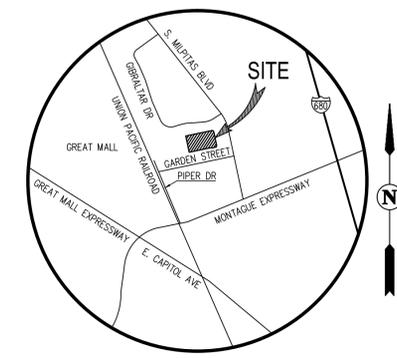
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

(925) 866-0322
www.cbainc.com



CONTACTS

- 1. OWNER/SUBDIVIDER: SCS DEVELOPMENT COMPANY
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA. 95050
(408) 985-6020
JIM SULLIVAN
- 2. ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350,
SAN RAMON, CA. 94583
(925) 866-0322
LEE ROSENBLATT, RCE 65469
- 3. SOILS ENGINEER: T. MAKDISSY CONSULTING, INC.
6280 SAN IGNACIO AVE, SUITE M
SAN JOSE, CA, 95119
(408) 227-8595
TOM MAKDISSY



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- 1. ASSESSORS PARCEL NO: 086-32-51
- 2. SITE ADDRESS: 600 AMALFI LOOP, MILPITAS, CA 95035
- 3. SITE AREA: PARCEL 3: 2.92± AC
SEE SHEET C-3
- 4. MINIMUM LOT SIZE:
- 5. ZONING: R3-TOD (MULTI-FAMILY RESIDENTIAL)
- 6. EXISTING LAND USE: TRANSIT-ORIENTED RESIDENTIAL DEVELOPMENT
PROPOSED LAND USE: TRANSIT-ORIENTED RESIDENTIAL DEVELOPMENT
- 7. BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN TWO FOUND MONUMENTS IN THE CENTERLINE OF PIPER DRIVE AS SHOWN HEREON, THE BEARING BEING N23°48'21"W PER 580 M 49.
- 8. BENCHMARK: CITY OF MILPITAS BENCHMARK LAN-MIL: BRASS DISK IN MONUMENT WELL AT THE INTERSECTION OF LANDESS AVENUE (MONTAGUE EXPRESSWAY) AND SOUTH MILPITAS BOULEVARD
EL: 62.874 FEET (NAVD 88)
- 9. EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN BOUNDARY TO BE REMOVED.
- 10. EXISTING UTILITIES: ALL EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED UNLESS OTHERWISE NOTED.
- 11. STREETS: ALL STREETS WITHIN THE SUBDIVISION WILL BE PRIVATE STREETS AND WILL BE PRIVATELY MAINTAINED. ALL PRIVATE STREETS WILL BE IN PSUE'S (MINIMUM LONGITUDINAL SLOPE=0.5%)
- 12. STREETS TREES: STREET TREES ALONG PUBLIC STREETS SHALL BE PROVIDED BY OTHERS AS REQUIRED BY THE CITY AND WILL BE MAINTAINED BY THE CITY OF MILPITAS. STREET TREES ALONG PRIVATE STREETS SHALL BE INSTALLED PER CITY STANDARD NO. 448 AND WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 13. STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER CITY OF MILPITAS STANDARDS. STREET LIGHTS ON PRIVATE STREETS WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. STREET LIGHTS ON PUBLIC STREETS WILL BE PUBLICLY MAINTAINED.
- 14. WALLS: ALL WALLS WILL BE PRIVATE FACILITIES AND PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 15. PUBLIC UTILITIES: PROPOSED WATER, STORM DRAIN & SANITARY SEWER FACILITIES WITHIN PUBLIC ROADWAYS WILL BE CONSTRUCTED PER CITY OF MILPITAS STANDARDS AND DEDICATED TO THE CITY OF MILPITAS.
- 16. PRIVATE UTILITIES: PROPOSED WATER, STORM DRAIN & SANITARY SEWER FACILITIES WITHIN PRIVATE ROADWAYS AND SUBDIVISIONS WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION, EXCEPT AS NOTED.
- 17. LANDSCAPING: ALL LANDSCAPING TO BE PRIVATELY OWNED AND MAINTAINED ON PRIVATE ROADWAYS AND PRIVATE PARCELS. LANDSCAPING WITHIN PUBLIC ROADWAYS TO BE CONSTRUCTED PER CITY OF MILPITAS STANDARDS AND WILL BE DEDICATED TO THE CITY OF MILPITAS.
- 18. FLOOD ZONE: ZONE X
REFER TO:
FLOOD INSURANCE RATE MAP
PANEL 06085C00067J (FEBRUARY 19, 2014)
- 19. WELLS ONSITE: NONE
- 20. GAS & ELECTRIC: PG&E
- 21. TELEPHONE: AT&T
- 22. CABLE TV: AT&T BROADBAND
- 23. WATER: CITY OF MILPITAS
- 24. SEWER: CITY OF MILPITAS
- 25. STORM: CITY OF MILPITAS
- 26. UNITS: TOWNHOMES: 73 UNITS
- 28. CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE RECORDED. THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4285 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS SHALL BE NO MORE THAN 73 UNITS.
- 29. PHASING: THIS PROJECT WILL BE CONSTRUCTED IN 1 PHASE. ONE FINAL MAP WILL BE FILED.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SUBDIVISION BOUNDARY
		PROPERTY LINE
		CURB, GUTTER AND SIDEWALK
		EASEMENT
		SPOT ELEVATIONS

ABBREVIATIONS

BD	BOUNDARY
BFP	BACK FLOW PREVENTER
EL	ELEVATION
EP	EDGE OF PAVEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
LF	LINEAL FEET
PL	PROPERTY LINE
PSUE	PUBLIC SERVICE UTILITY EASEMENT
PUE	PRIVATE UTILITY EASEMENT
R	RADIUS
R/W	RIGHT-OF-WAY
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TRC	TOP OF ROLLED CURB
W	WATER

SHEET INDEX

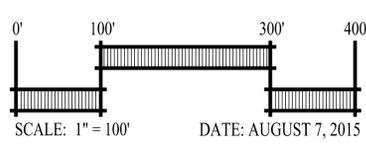
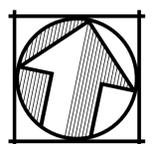
C-1	TITLE SHEET
C-2	EXISTING PROPERTY
C-3	SITE PLAN
C-4	DEVELOPMENT PLAN
C-5	PRELIMINARY GRADING PLAN
C-6	PRELIMINARY UTILITY PLAN
C-7	FIRE TRUCK TURNING EXHIBIT
C-8	SOLID WASTE MANAGEMENT
C-9	PRELIMINARY STORMWATER CONTROL PLAN
C-10	CITY NOTES AND CONDITIONS

SUBDIVISION TENTATIVE MAP
This Map has been reviewed by the City Engineer.

City Engineer _____ Date _____

Recommended for Approval by the Milpitas Planning Commission, this _____ day of _____, 20____, and Approved by the Milpitas City Council this _____ day of _____, 20____.

Planning and Neighborhood Services Director _____ Date _____

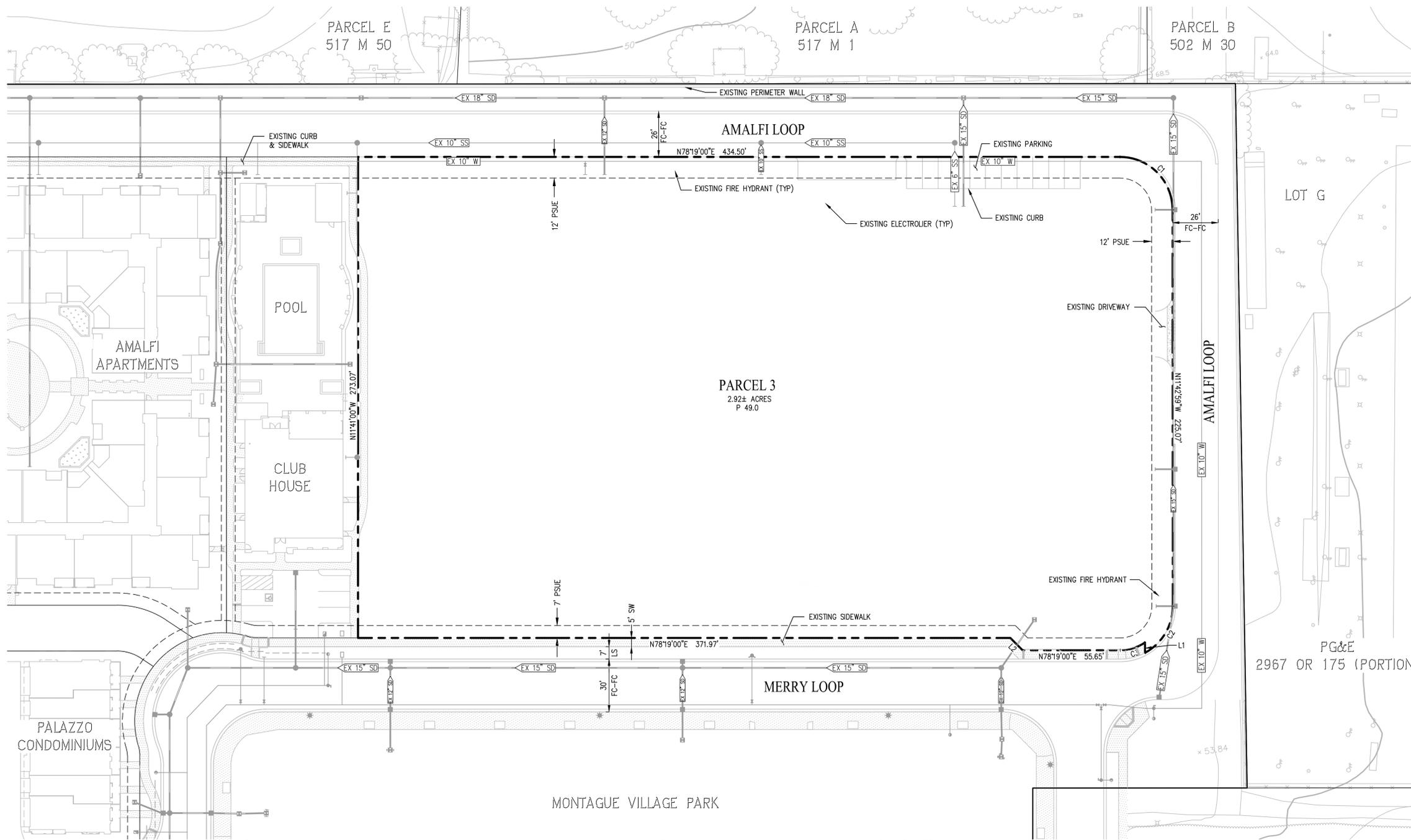


VESTING TENTATIVE MAP
TITLE SHEET
SIENA

PIPER/MONTAGUE DISTRICT

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

	Carlson, Barbee & Gibson, Inc. CIVIL ENGINEERS • SURVEYORS • PLANNERS	SHEET NUMBER C-1
	2633 CAMINO RAMON, SUITE 350 SAN RAMON, CALIFORNIA 94583	(925) 866-0322 www.cbang.com



LINE TABLE			CURVE TABLE			
NO	BEARING	LENGTH	NO	RADIUS	DELTA	LENGTH
L1	N11°41'00"W	5.84'	C1	30.00'	89°58'01"	47.11'
L2	N56°41'00"W	9.90'	C2	30.00'	61°56'42"	32.43'
			C3	25.00'	34°24'06"	15.01'

LEGEND

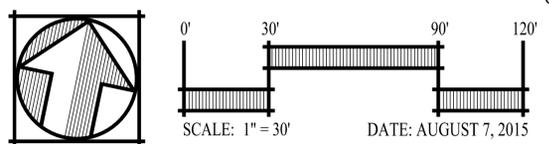
EXISTING	PROPOSED	DESCRIPTION
		SUBDIVISION BOUNDARY
		PROPERTY LINE
		CURB, GUTTER AND SIDEWALK
		EASEMENT
		PAD ELEVATION
		SPOT ELEVATIONS

NOTE:

1. UNLESS OTHERWISE NOTED, ALL UTILITY PIPES, VAULTS, METERS, CATCH BASINS, ETC ARE BELOW GROUND

**VESTING TENTATIVE MAP
EXISTING PROPERTY
SIENA
PIPER/MONTAGUE DISTRICT**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



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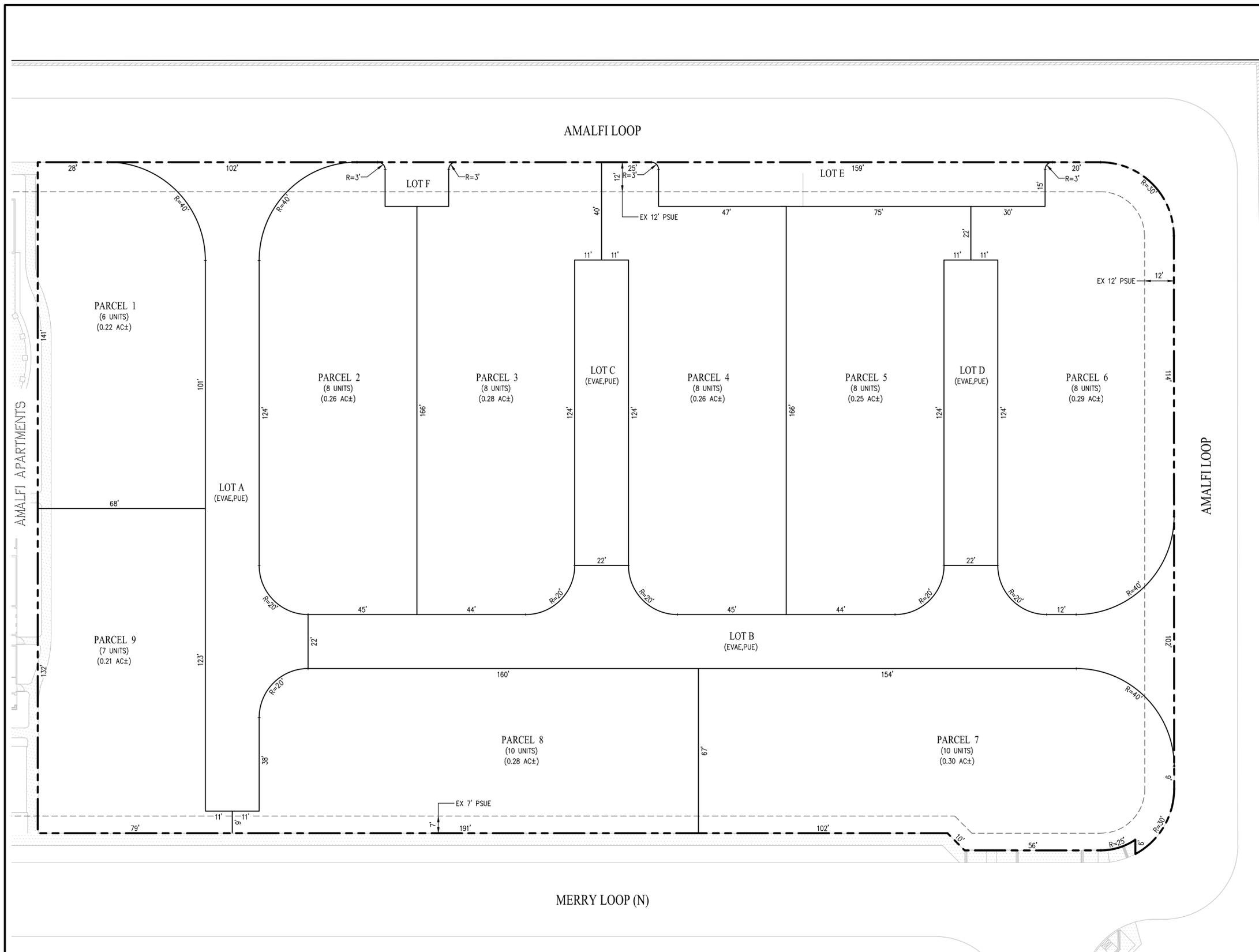
SHEET NUMBER
C-2
2 OF 10

GENERAL NOTES:

DESCRIPTION	VESTING TENTATIVE MAP
1. EXISTING ZONING:	R3-TOD (MULTI FAMILY RESIDENTIAL)
2. PROPOSED ZONING:	R3-TOD (MULTI-FAMILY RESIDENTIAL)
3. EXISTING LAND USE:	TRANSIT ORIENTED RESIDENTIAL DEVELOPMENT
4. PROPOSED LAND USE:	TRANSIT ORIENTED RESIDENTIAL DEVELOPMENT
5. TOTAL SITE AREA:	2.92±
6. TOTAL NUMBER OF LOTS:	9 PARCELS, 6 LOTS
7. DENSITY:	25 DU/AC
8. PARKING:	SEE SHEET C-4

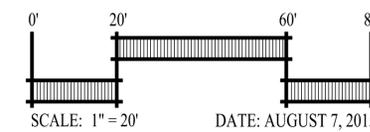
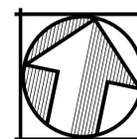
LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SUBDIVISION BOUNDARY
		PROPERTY LINE
		CURB, GUTTER AND SIDEWALK
		EASEMENT
		SPOT ELEVATIONS



**VESTING TENTATIVE MAP
SITE PLAN
SIENA
PIPER/MONTAGUE DISTRICT**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



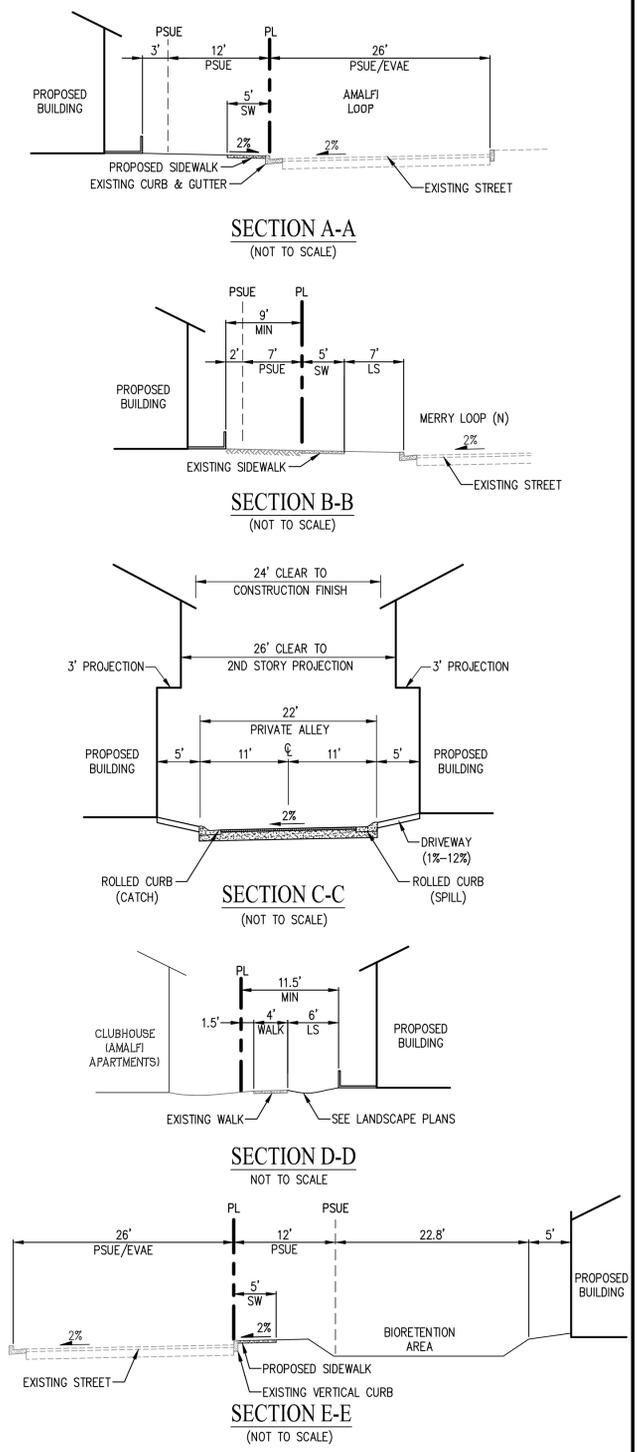
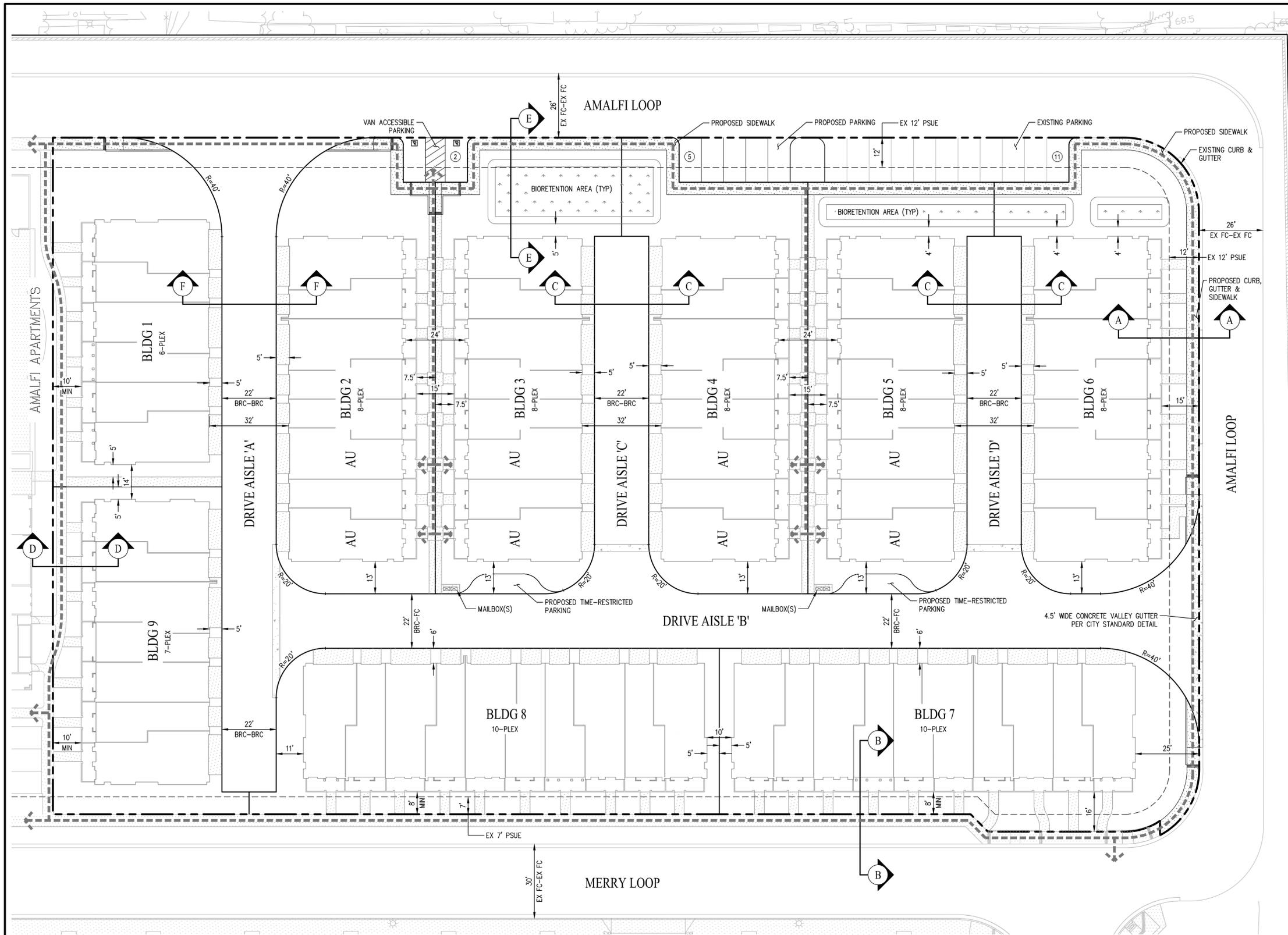
DATE: AUGUST 7, 2015

cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

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(925) 866-0322
www.cbands.com

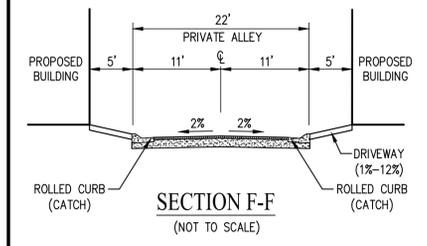
SHEET NUMBER
C-3
3 OF 10



VESTING TENTATIVE MAP
DEVELOPMENT PLAN
SIENA

PIPER/MONTAGUE DISTRICT

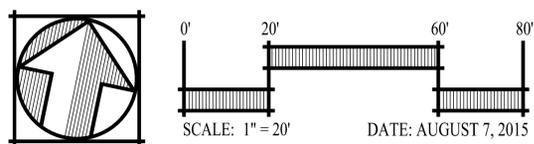
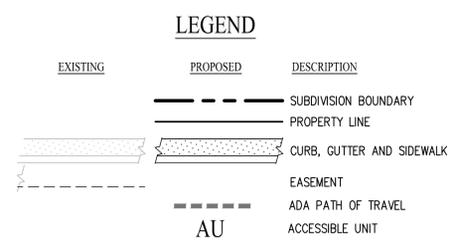
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



PARKING SUMMARY

BUILDING TYPE	UNIT TYPE	UNITS	SPACES REQUIRED		SPACES PROVIDED			TANDEM SUMMARY	
			REQUIRED RATIO	SPACES REQUIRED	GARAGE SPACES PROVIDED	SURFACE SPACES PROVIDED	TOTAL SPACES PROVIDED	TANDEM SPACES ALLOWABLE	TANDEM SPACES PROVIDED
TOWNHOMES	3 BEDROOM	73	1.60	116	146	0	146	0.50 OF PROVIDED	72
	GUEST		0.20 OF REQ'D	23	0	18	18		0
TOD CREDIT (20%)			0.80 OF REQ'D GUEST	18					
TOTAL		73		139(116+23)	146	18	164*		72**

*PARKING RATIO PROVIDED: 1.6 SPACES/UNIT (DOES NOT INCLUDE 2 ONSITE TIME-RESTRICTED PARKING SPOTS)
**TANDEM PARKING RATIO PROVIDED: 49%

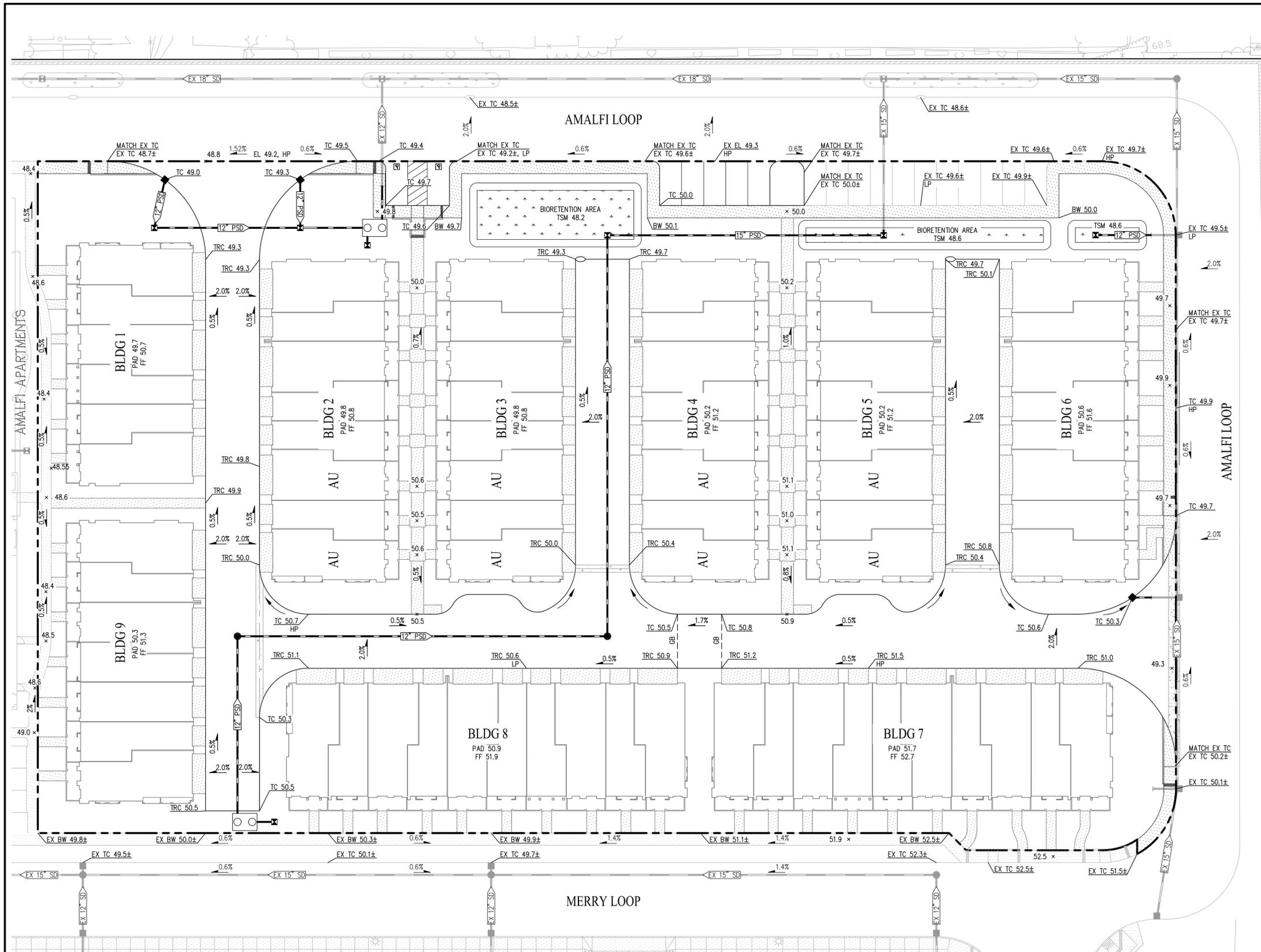


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SHEET NUMBER
C-4



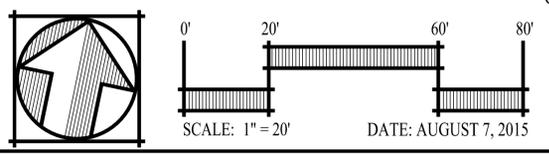
LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SUBDIVISION BOUNDARY
		PROPERTY LINE
		CURB, GUTTER AND SIDEWALK
		CURB CUT
		FLOW DIRECTION
		SPOT ELEVATIONS
		STORM DRAIN (PUBLIC)
		STORM DRAIN (PRIVATE)
		BIO-RETENTION AREA
		ACCESSIBLE UNIT

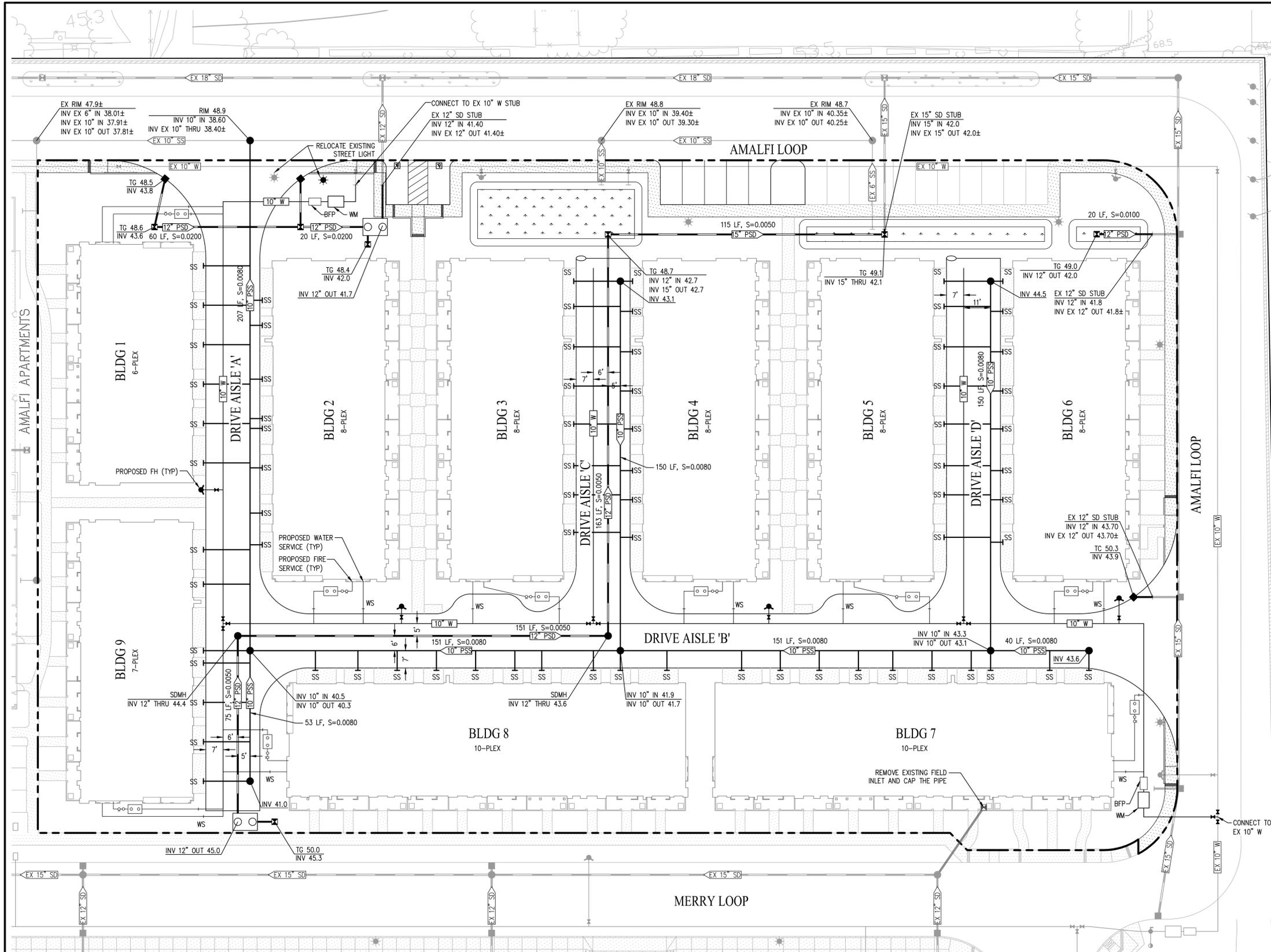
- GRADING NOTES:**
1. GRADING WILL BE DONE AS A PART OF THIS TRACT.
 2. THE LIMIT OF GRADING OF THE PROJECT IS THE PROPOSED SUBDIVISION BOUNDARY OR AS SHOWN ON THIS PLAN.
 3. ELEMENTS OF GRADING ARE IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT.
 4. SEE UTILITY PLAN FOR STORM DRAIN PIPE SIZES & CONNECTION INFORMATION.

**VESTING TENTATIVE MAP
PRELIMINARY GRADING PLAN
SIENA**

PIPER/MONTAGUE DISTRICT
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



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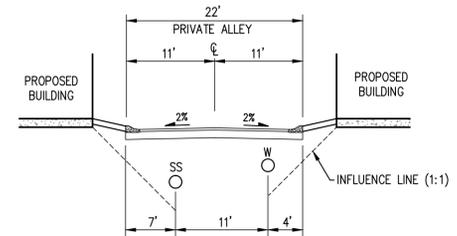


UTILITY NOTES

- PRIVATE UTILITIES: PROPOSED SEWER, STORM & WATER WITHIN THE PRIVATE ROADS & PARCELS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PRIVATE STORM DRAIN: MINIMUM SLOPE OF PROPOSED STORM DRAIN PIPE = 0.0035
MINIMUM SIZE OF PROPOSED STORM DRAIN PIPE IS 12" STORM DRAIN FACILITIES MAY BE CLASS III RCP
- PRIVATE SANITARY SEWER: MINIMUM SLOPE OF PROPOSED SEWER PIPE = 0.0050
MINIMUM SIZE OF PROPOSED SEWER MAIN IS 8"
- GAS & ELECTRIC: PG&E
- TELEPHONE: ATT
- CABLE TV: COMCAST
- FIRE HYDRANT AND FIRE SERVICE LATERAL LAYOUT TO BE COORDINATED WITH CITY OF MILPITAS FIRE DEPARTMENT.
- UNLESS OTHERWISE NOTED, THE SIZE OF ALL WATER METERS, BACKFLOW DEVICES, VAULTS, AND ASSOCIATED APPURTENANCES SHALL BE PER CITY OF MILPITAS STANDARDS.
- UNLESS OTHERWISE NOTED, ALL EXISTING ONSITE UTILITIES SHALL BE REMOVED.
- UNLESS OTHERWISE NOTED, ALL UTILITY PIPES, VAULTS, METERS, CATCH BASINS, ETC ARE BELOW GROUND

LEGEND

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	SUBDIVISION BOUNDARY
- - - - -	- - - - -	PROPERTY LINE
- - - - -	- - - - -	CURB, GUTTER AND SIDEWALK
x 100.0	x 100.0	SPOT ELEVATIONS
- - - - -	- - - - -	STORM DRAIN (PUBLIC)
- - - - -	- - - - -	SANITARY SEWER (PUBLIC)
- - - - -	- - - - -	STORM DRAIN (PRIVATE)
- - - - -	- - - - -	SANITARY SEWER (PRIVATE)
- - - - -	- - - - -	WATER LINE
- - - - -	- - - - -	UTILITY POLE
- - - - -	- - - - -	FIRE HYDRANT
- - - - -	- - - - -	UTILITY BOX
- - - - -	- - - - -	ELECTROLIER
- - - - -	- - - - -	WATER METER (CITY OF MILPITAS STD 728)
- - - - -	- - - - -	REDUCED PRESSURE BACKFLOW PREVENTER (CITY OF MILPITAS STD 734)
- - - - -	- - - - -	MEDIA FILTER
- - - - -	- - - - -	BIO-RETENTION AREA
- - - - -	- - - - -	DETECTOR CHECK VALVE (CITY OF MILPITAS STD 730)
- - - - -	- - - - -	FIRE DEPT CONNECTION & POST INDICATOR VALVE
- - - - -	- - - - -	FIRE SERVICE WITH DETECTOR CHECK VALVE (PER CITY OF MILPITAS STD 730), POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION
- - - - -	- - - - -	WATER SERVICE
- - - - -	- - - - -	SEWER SERVICE

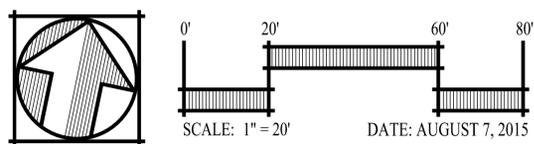


TYPICAL PRIVATE DRIVE AISLE UTILITY LOCATION (NOT TO SCALE)

**VESTING TENTATIVE MAP
PRELIMINARY UTILITY PLAN
SIENA**

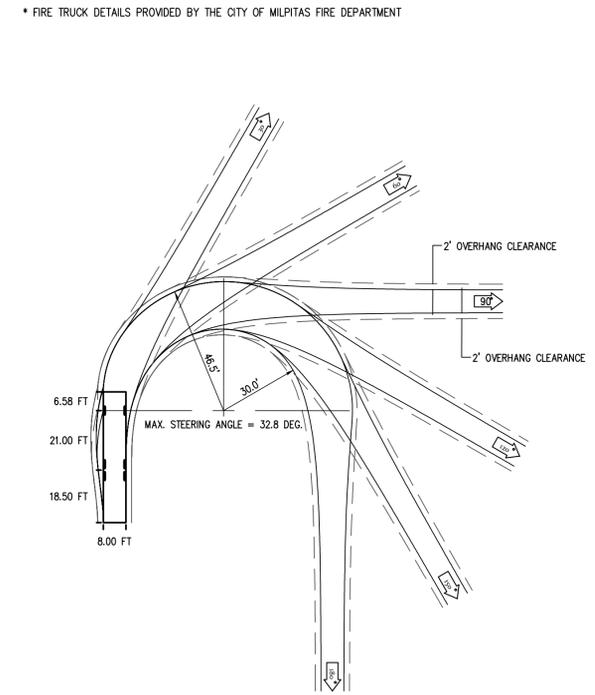
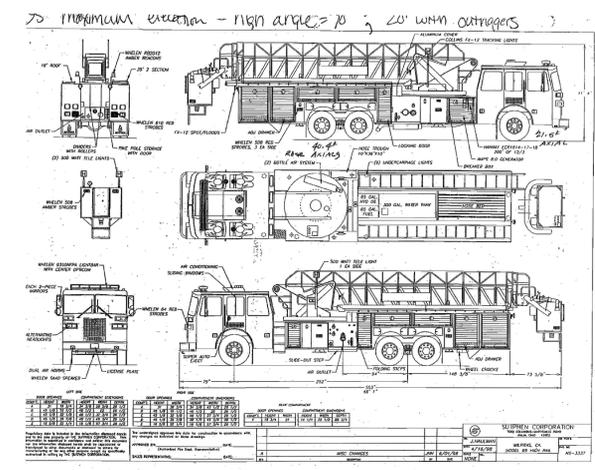
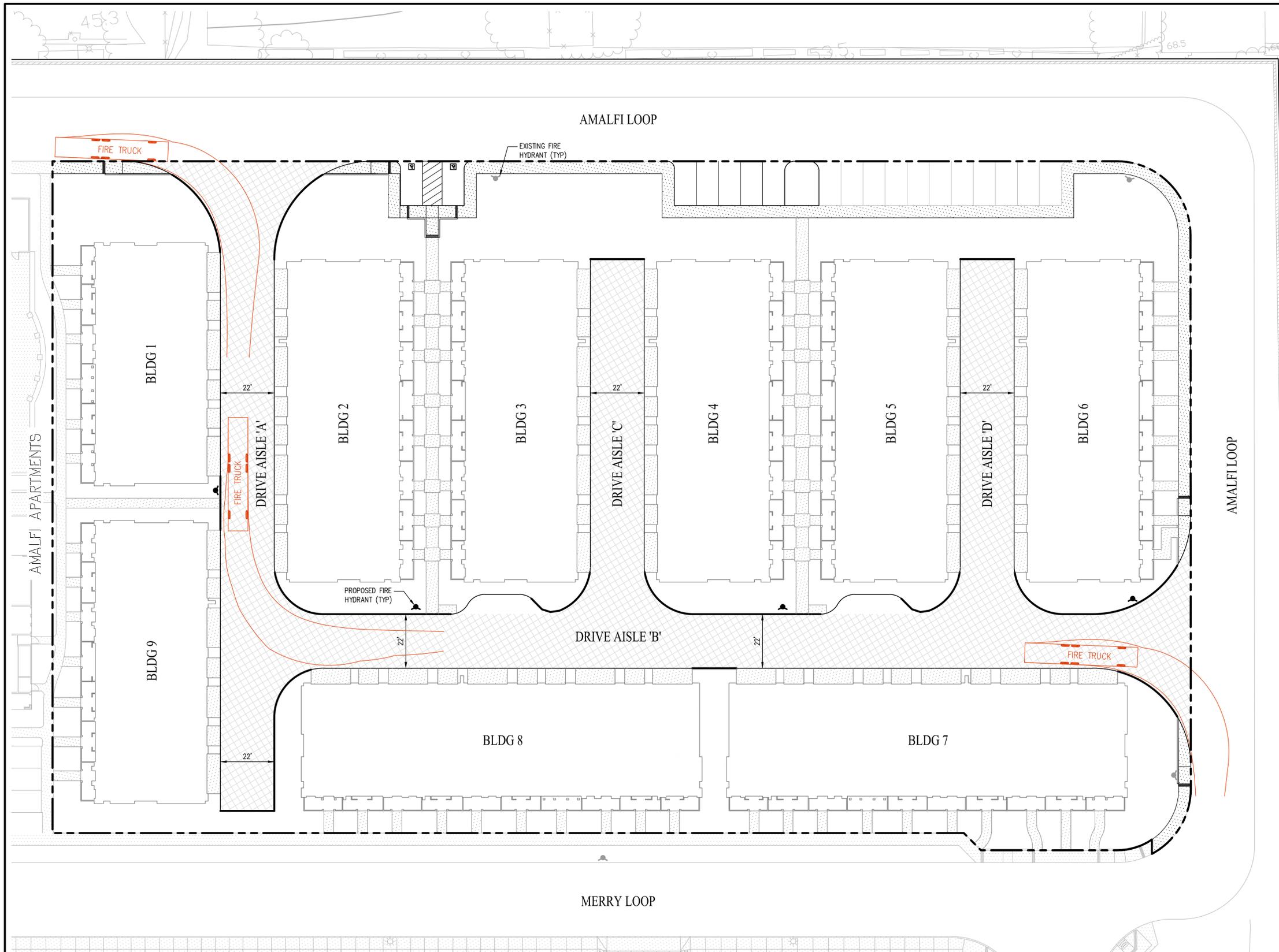
PIPER/MONTAGUE DISTRICT

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



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SP95 MILPITAS FIRE TRUCK
NOT TO SCALE

NOTE: MOST RESTRICTIVE TURN SHOWN ON PLAN FOR EACH TURNING MOVEMENT

VESTING TENTATIVE MAP
FIRE TRUCK TURNING EXHIBIT
SIENA
PIPER/MONTAGUE DISTRICT

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

LEGEND

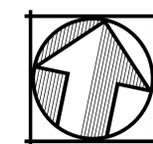
- [Cross-hatched box] FIRE APPARATUS ACCESS ROADS (PAVED - WITHIN PROJECT)
- [Circle with 'H'] PROPOSED FIRE HYDRANT
- [Circle with 'H'] EXISTING FIRE HYDRANT
- [Dashed line] CURBS TO BE PAINTED RED AND STENCILED "NO PARKING FIRE LANE"

46.08'

6.58' 21.00'

SP95 Milpitas

Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 5.0
Steering Angle	: 33.3



0' 20' 60' 80'

SCALE: 1" = 20'

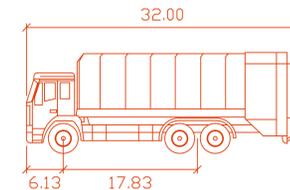
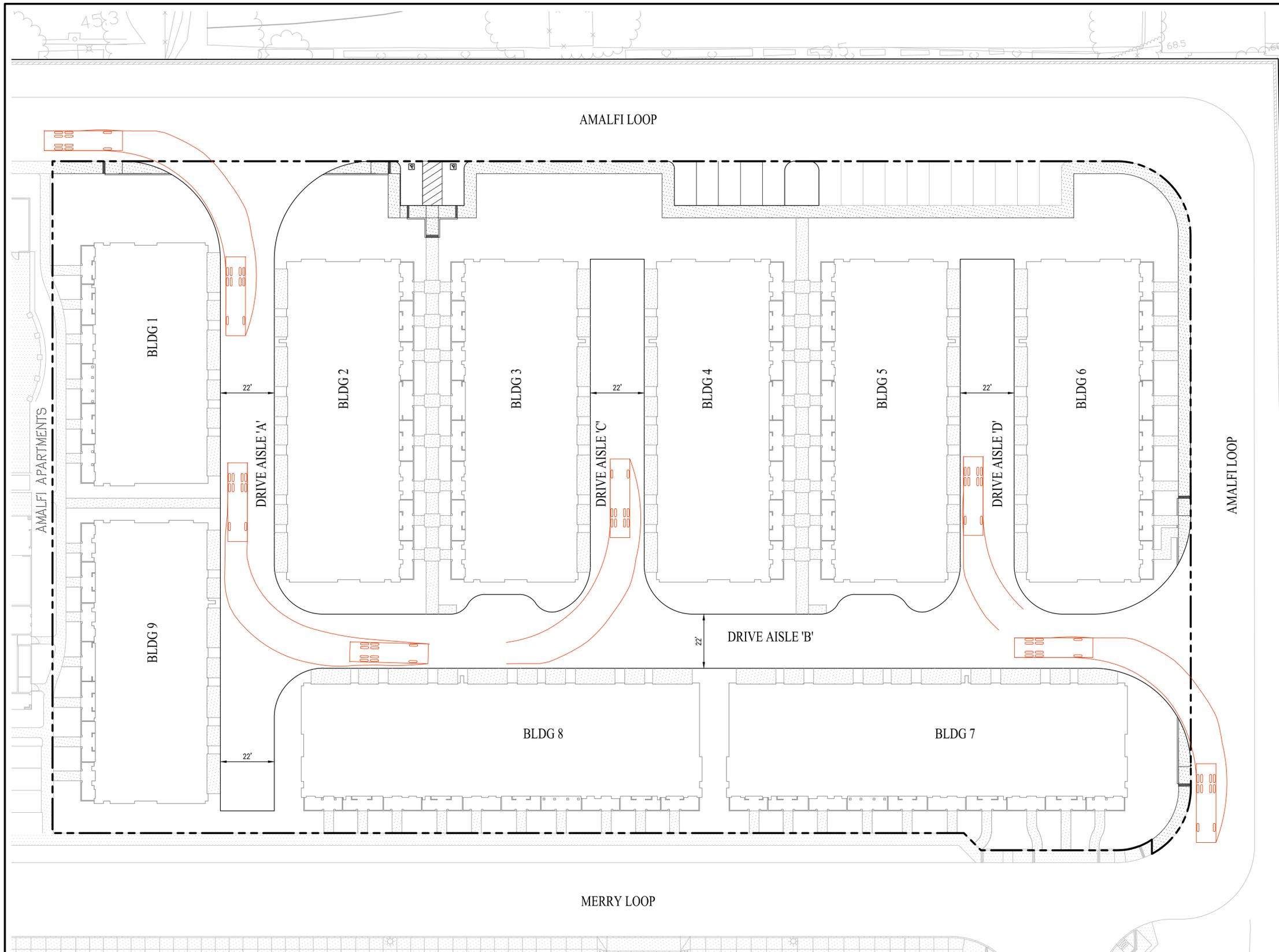
DATE: AUGUST 7, 2015

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C-7
7 OF 10

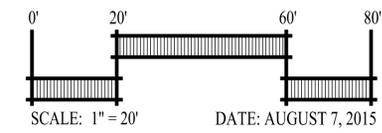
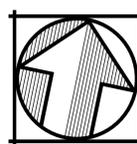


Milpitas feet
 Width : 8.00
 Track : 7.50
 Lock to Lock Time : 6.0
 Steering Angle : 27.6

VESTING TENTATIVE MAP
 SOLID WASTE MANAGEMENT
SIENA
 PIPER/MONTAGUE DISTRICT

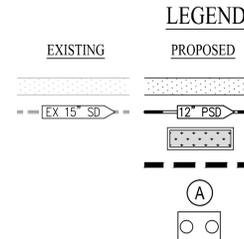
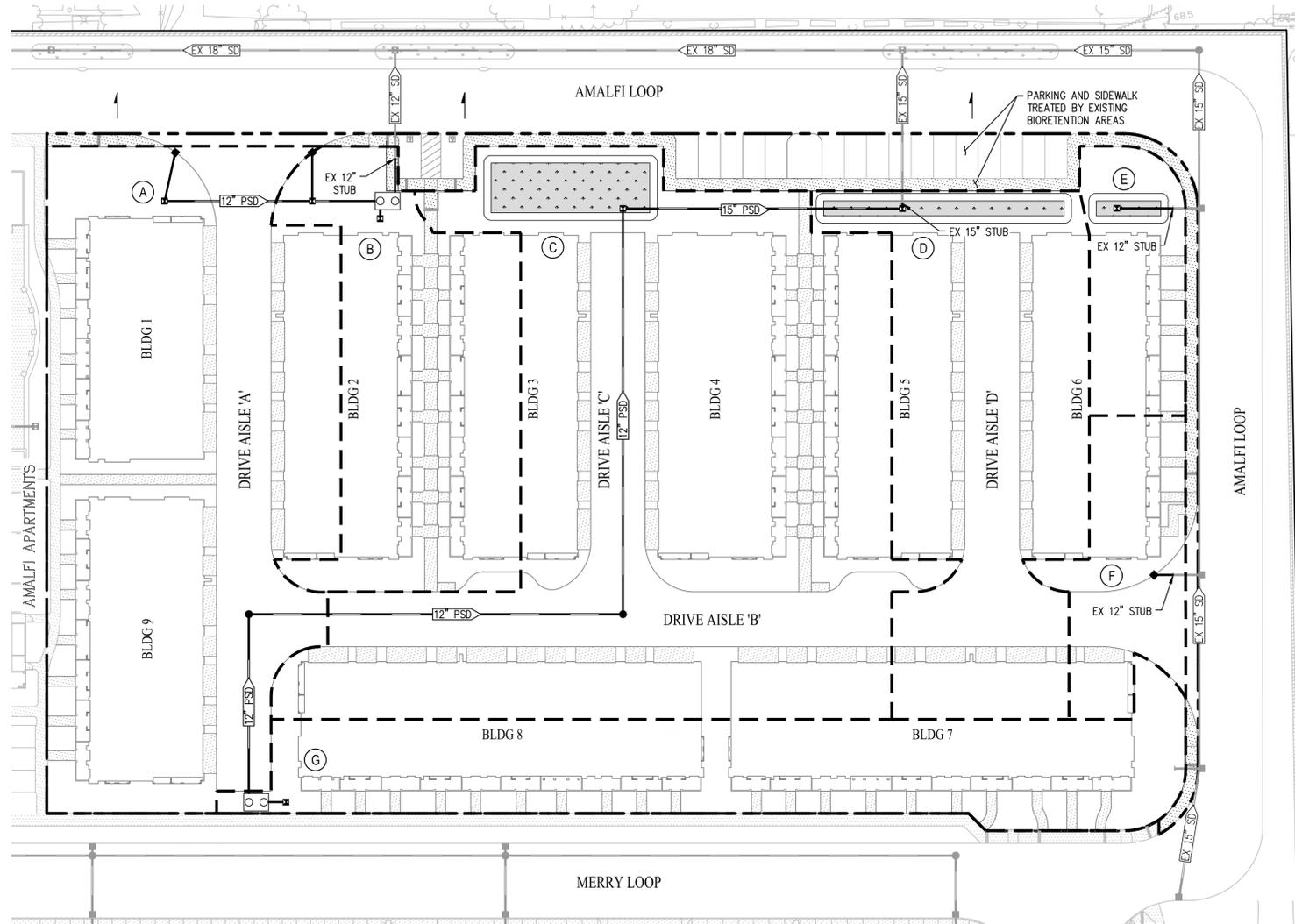
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

- NOTES:**
- TOWNHOMES SHALL UTILIZE CITY-STANDARD SOLID WASTE CARTS AND SERVICE
 - INDIVIDUAL TRASH COLLECTION WILL OCCUR AT EACH UNIT AT DRIVEWAY



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SHEET NUMBER
C-8
 8 OF 10



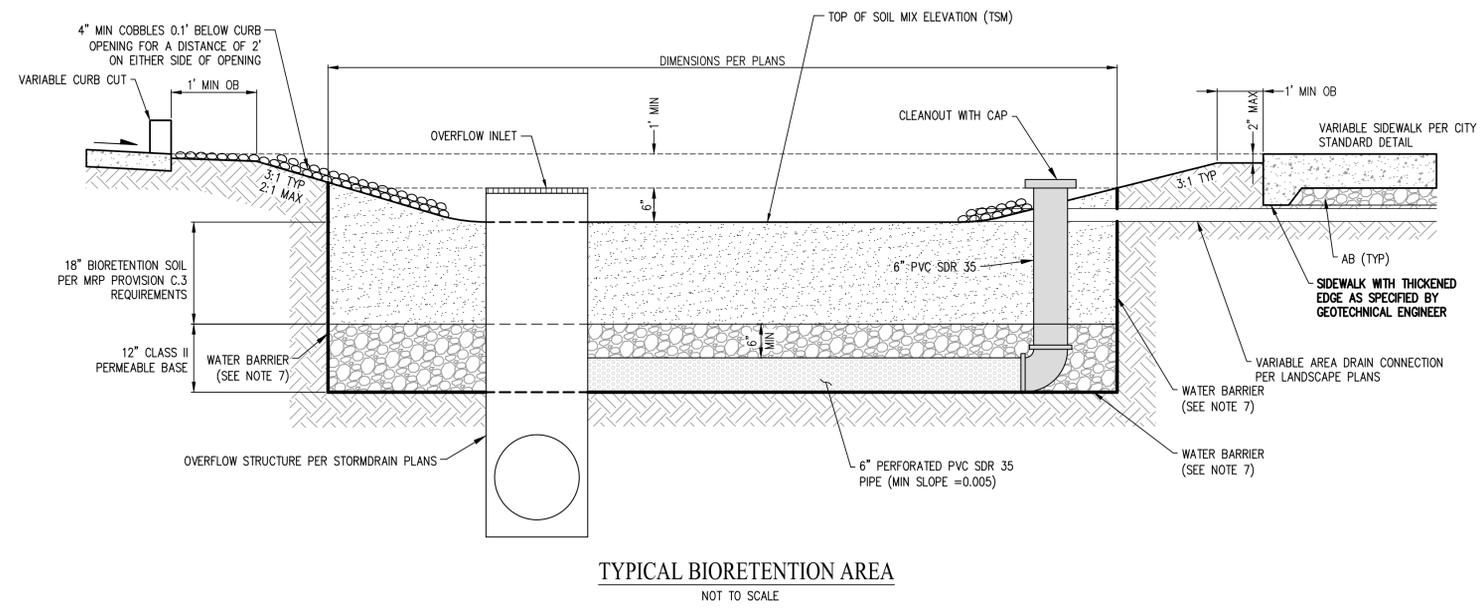
- NOTES:**
- ALL TREATMENT MEASURES AND TECHNICAL REQUIREMENTS FOR THIS PROJECT ARE BASED UPON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) C.3 STORMWATER HANDBOOK DATED APRIL 2012.
 - REQUIRED SURFACE AREA OF THE BIORETENTION TREATMENT AREA IS EQUAL TO 4% OF THE CONTRIBUTING IMPERVIOUS SURFACE AREA. THIS CALCULATION IS BASED UPON THE UNIFORM INTENSITY METHOD ASSUMING RAINFALL INTENSITY OF 0.2 INCHES/HR AND A BIORETENTION SOIL MIX WITH A 5 INCHES/HR INFILTRATION RATE.
 - REQUIRED SURFACE AREA OF LANDSCAPE WITHIN SELF-RETAINING AREAS IS EQUAL TO 50% OF THE TRIBUTARY IMPERVIOUS SURFACE.
 - THIS PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE CITY OF MILPITAS HYDROMODIFICATION APPLICABILITY MAP.
 - ALL STORMWATER TREATMENT MEASURES AND SIZING SHOWN ON THIS EXHIBIT IS PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN.
 - SEE STORMWATER CONTROL PLAN BY CARLSON, BARBEE & GIBSON FOR DETAILED SIZING CALCULATIONS.
 - LINE SIDES AND BOTTOM OF THE BIORETENTION AREA WITH MINIMUM 30 MIL IMPERMEABLE PLASTIC MEMBRANE OR EQUIVALENT.
 - THIS PROJECT IS A CATEGORY C SPECIAL PROJECT AND SUBJECT TO 50% LID TREATMENT REDUCTION CREDIT. MEDIA FILTRATION WILL BE USED TO TREAT A MAXIMUM OF 50% OF THE PROPOSED IMPERVIOUS AREA ON THE SITE.

PRELIMINARY STORMWATER TREATMENT SUMMARY - BIORETENTION

AREA ID	TREATMENT TYPE	IMPERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
C	BIORETENTION	30,990	1,240	1,280
D	BIORETENTION	14,360	575	585
E	BIORETENTION	2,270	90	100
	TOTAL AREA	47,620 (50.5%)		1,960

PRELIMINARY STORMWATER TREATMENT SUMMARY - MEDIA FILTER

AREA ID	TREATMENT TYPE	IMPERVIOUS AREA (SF)
A	MEDIA FILTER	23,650
B	MEDIA FILTER	8,600
F	MEDIA FILTER	4,200
G	MEDIA FILTER	10,200
	TOTAL AREA	46,650 (49.5%)



**VESTING TENTATIVE MAP
PRELIMINARY STORMWATER CONTROL PLAN
SIENA
PIPER/MONTAGUE DISTRICT**

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

SCALE: 1" = 30' DATE: AUGUST 7, 2015

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CITY NOTES AND CONDITIONS OF APPROVAL

VESTING TENTATIVE MAP
CITY NOTES AND CONDITIONS
SIENA
PIPER/MONTAGUE DISTRICT

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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SHEET NUMBER
C-10
10 OF 10

DATE: AUGUST 7, 2015

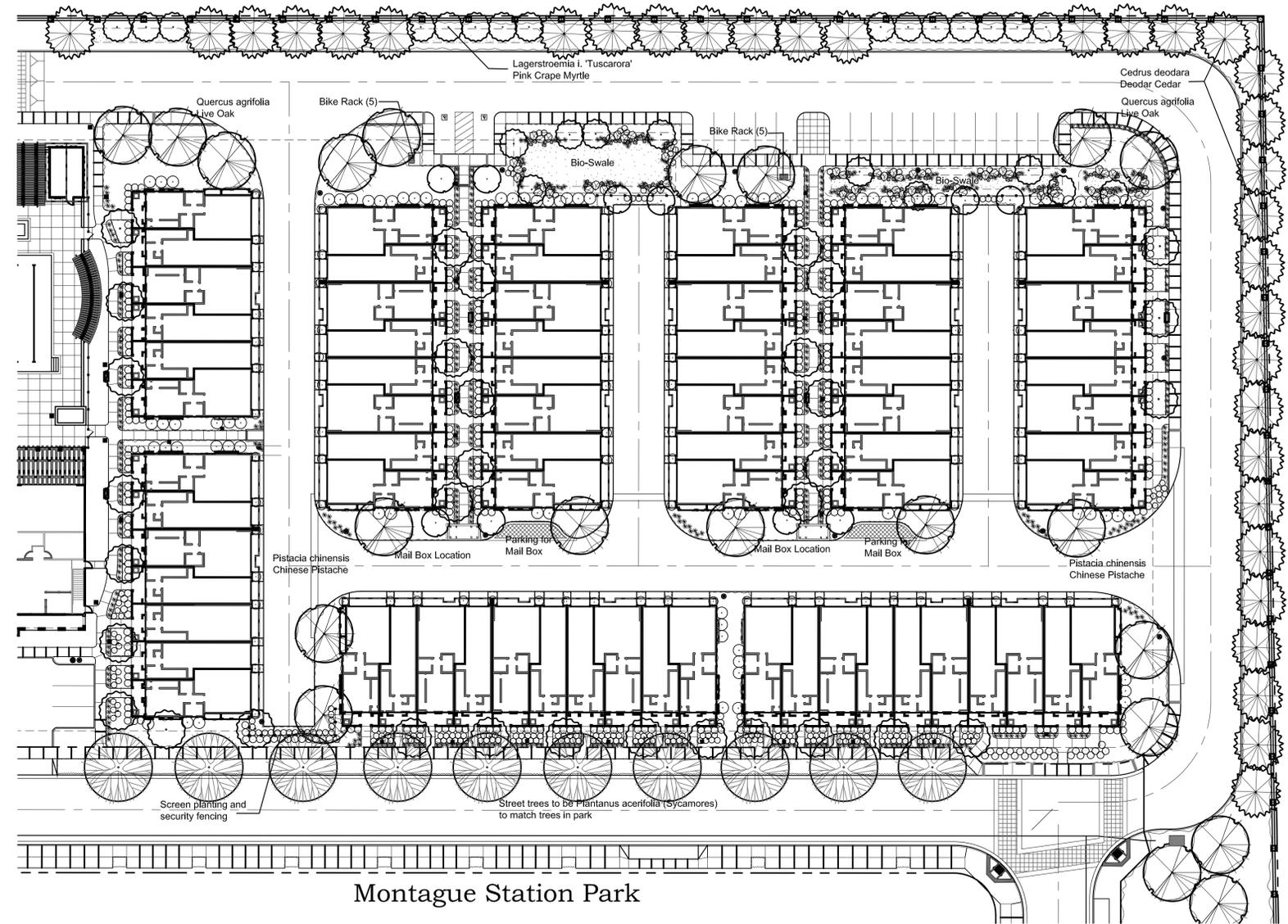
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PLANT LIST

SIZE KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS/ SPACING	WUCOLS Classification	
TREES						
AC	24" Box	<i>Acer palmatum</i>	Japanese Maple	Accent Tree - Standard	M	
CD	15 Gal.	<i>Cedrus deodara</i>	Deodar Cedar	Evergreen Screen	L	
CR	24" Box	<i>Cercis reniformis</i> 'Oklahoma'	Oklahoma Redbud	Accent Tree- Standard	M	
LT	24" Box	<i>Lagerstroemia l. 'Tuscarora'</i>	Crape Myrtle (Pink-Red Flowers)	Flowering Tree- Standard	L	
LN	15 Gal.	<i>Laurus nobilis</i>	Sweet Bay	Evergreen Tree	L	
PC	24" box	<i>Pistacia chinensis</i>	Chinese Pistach	Deciduous Tree	L	
PK	24" Box	<i>Prunus 'Krauter Vesuvius'</i>	Purple Leaf Plum	Accent Tree	M	
QA	24" Box	<i>Quercus agrifolia</i>	Coast Live Oak	Mass Planting	L	
SHRUBS AND PERENNIALS						
2	AP	1 gal.	<i>Agapanthus 'Peter Pan'</i>	Dwarf Lily of the Nile	As Shown/ 18" O.C. min.	L
3	AH	5 gal.	<i>Arctostaphylos 'Howard McMinn'</i>	Howard McMinn Manzanita	As Shown	L
2	CA	5 gal.	<i>Cistus 'Anne Palmer'</i>	Anne Palmer Rockrose	As Shown	L
2	CL	5 gal.	<i>Cistus ladanifer</i>	Crimson-Spot Rockrose	As Shown/ 36" O.C. min.	L
2	CO	1 gal.	<i>Correa pulchella</i>	Australian Fuchsia	As Shown	L
4	CP	1 gal.	<i>Cotoneaster parneyi</i>	Parney Cotoneaster	As Shown	L
4	EP	1 gal.	<i>Elaeagnus pungens</i>	Silverberry	As Shown	L
4	FC	5 gal.	<i>Frangula californica 'Eve Case'</i>	Eve Case Coffeeberry	As Shown	L
2	GN	5 gal.	<i>Gevillia 'Noelli'</i>	Spreading Grevillea	As Shown	L
4	NO	5 gal.	<i>Nerium oleander 'Petite Pink'</i>	Dwarf Pink Oleander	As Shown	L
3	RJ	5 gal.	<i>Rhaphiolepis x. 'Jack Evans'</i>	Jack Evans Rhaphiopsis	As Shown	M
3	RM	1 gal.	<i>Rosa 'Red Meidiland'</i>	Red Meidiland Rose	As Shown	L
4	VT	5 gal.	<i>Viburnum t. 'Spring Bouquet'</i>	Laurustinus	As Shown	L
3	WF	1 gal.	<i>Westringia fimbriata</i>	Giant Chain Fern	As Shown	L
GROUNDCOVERS AND PERENNIALS						
1	AC	4" Pots	<i>Aptenia cordifolia 'Apple Red'</i>	Aptenia	24" O.C.	L
1	CB	1 gal.	<i>Carex barbarea</i>	Santa Barbara Sedge	30" O.C.	M
2	CI	1 gal.	<i>Cistus salvifolius</i>	Rockrose	48" O.C.	L
2	CD	1 gal.	<i>Cotoneaster dammeri</i>	Bearberry Cotoneaster	36" O.C.	L
1	EK	1 gal.	<i>Erigeron karvinkianus</i>	Daisy Fleabane	24" O.C.	L
1	HC	1 gal.	<i>Hypericum calycinum</i>	Aaron's Beard	30" O.C.	L
1	JU	1 gal.	<i>Juniperus h. 'Blue Chip'</i>	Blue Chip Juniper	48" O.C.	L
2	LAL	1 gal.	<i>Lantana x. 'Lavender Swirl'</i>	Lavender Lantana	As Shown/ 30" O.C. min.	L/M
2	LAS	1 gal.	<i>Lantana x. 'Spreading Sunset'</i>	Sunset Lantana	As Shown/ 30" O.C. min.	L/M
1	OJ	1 gal.	<i>Ophiopogon japonicus</i>	Mondo Grass	As Shown / 24" O.C.	M
3	PT	5 gal.	<i>Phormium x. 'Maori Sunrise'</i>	Maori Sunrise Phormium	As Shown	L
2	RO	1 gal.	<i>Rosmarinus o. 'Collingwood Ingram'</i>	Rosemary	48" O.C.	L
1	TC	1 gal.	<i>Teucrium chamaedrys</i>	Spreading Germander	24" O.C.	L
2	TJ	1 gal.	<i>Trachelospermum jasminoides</i>	Star Jasmine	36" O.C. (Groundcover Application)	L/M

PLANT TYPE - CHARACTER AND TYPICAL HEIGHTS

1	GROUNDCOVERS (6" +/-)
2	LOW SHRUBS AND ACCENTS (6"-24")
3	MEDIUM HEIGHT (24" - 36")
4	HIGH SHRUBS (3' - 6' +/-)



SITE PLAN



Example of Residential Mail Box Enclosure



Cercis reniformis 'Oklahoma'
Purple Leaf Redbud



Cedrus deodara
Deodar Cedar



Lagerstroemia l. 'Tuscarora'
Pink Crape Myrtle



Pistacia chinensis
Chinese Pistache



Prunus 'Krauter Vesuvius'
Purple Leaf Plum



Quercus agrifolia
Live Oak



Platanus acerifolia
Bloodgood Sycamore

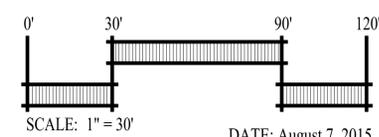
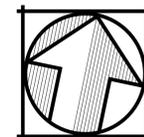


Illustrative Example of Bio-swale

ILLUSTRATIVE LANDSCAPE PLAN

AMALFI-II

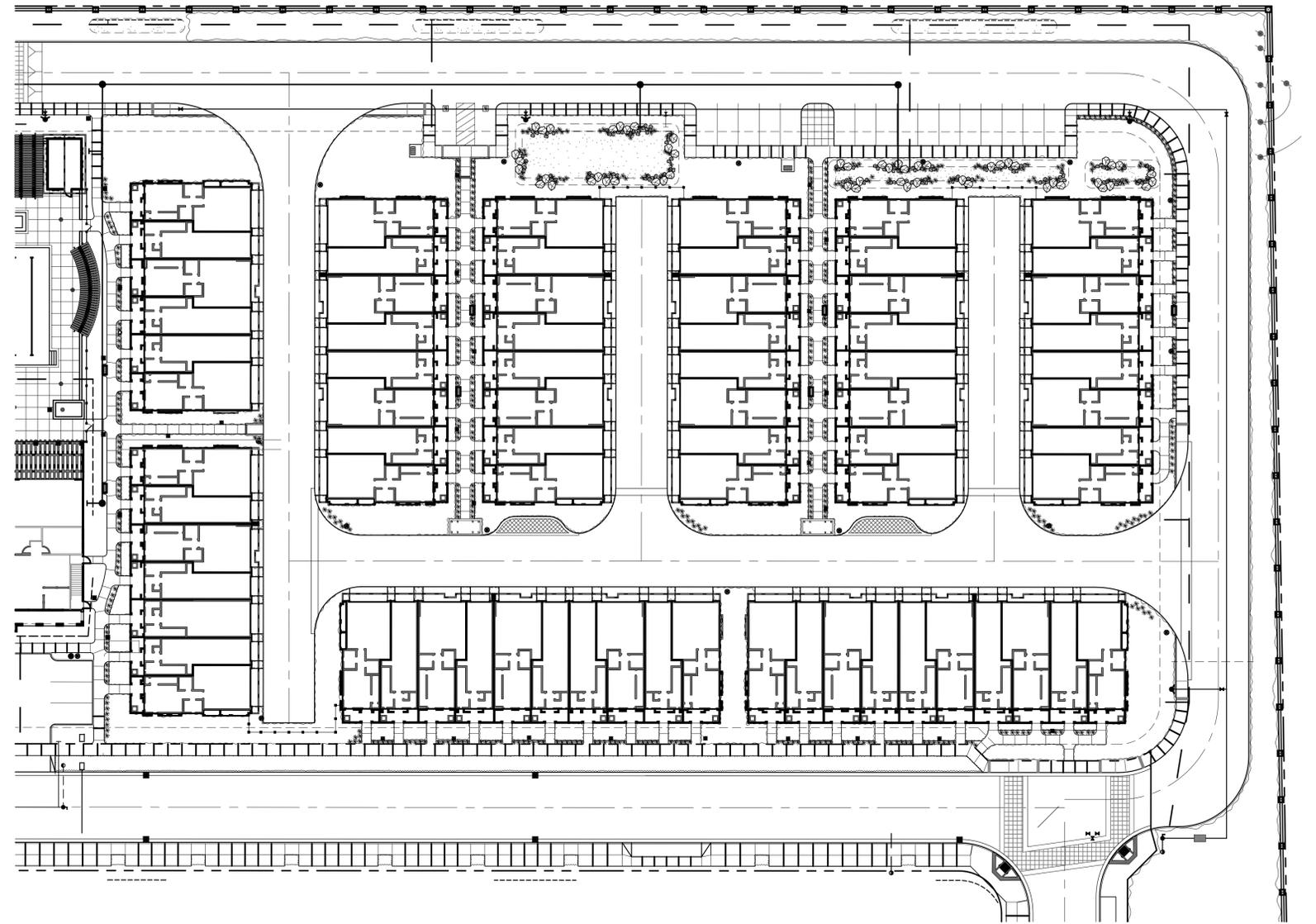
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RANDALL PLANNING & DESIGN INC.
Landscape Architecture * Golf Facilities
Site and Environmental Planning
119 Poppy Court
Walnut Creek, California 94596
Office: (925) 934-8002
Direct: (510) 493-4441

SHEET NO.

L-1



LIGHTING PLAN



Street Light
Kim Lighting
Era Fixture
LED - Type III

Site Lighting

Light Fixture Key

- ⊗ Project Post Light
- ⊗ Bollard Light



Bollard Light
Kim Lighting
CB Bollard
32" High - LED
Black Finish

Landscape Furniture



Proposed Bench

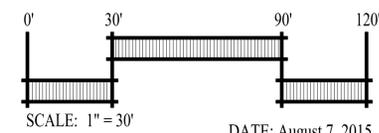
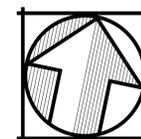


Proposed Bike Rack

ILLUSTRATIVE LANDSCAPE PLAN

AMALFI-II

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA



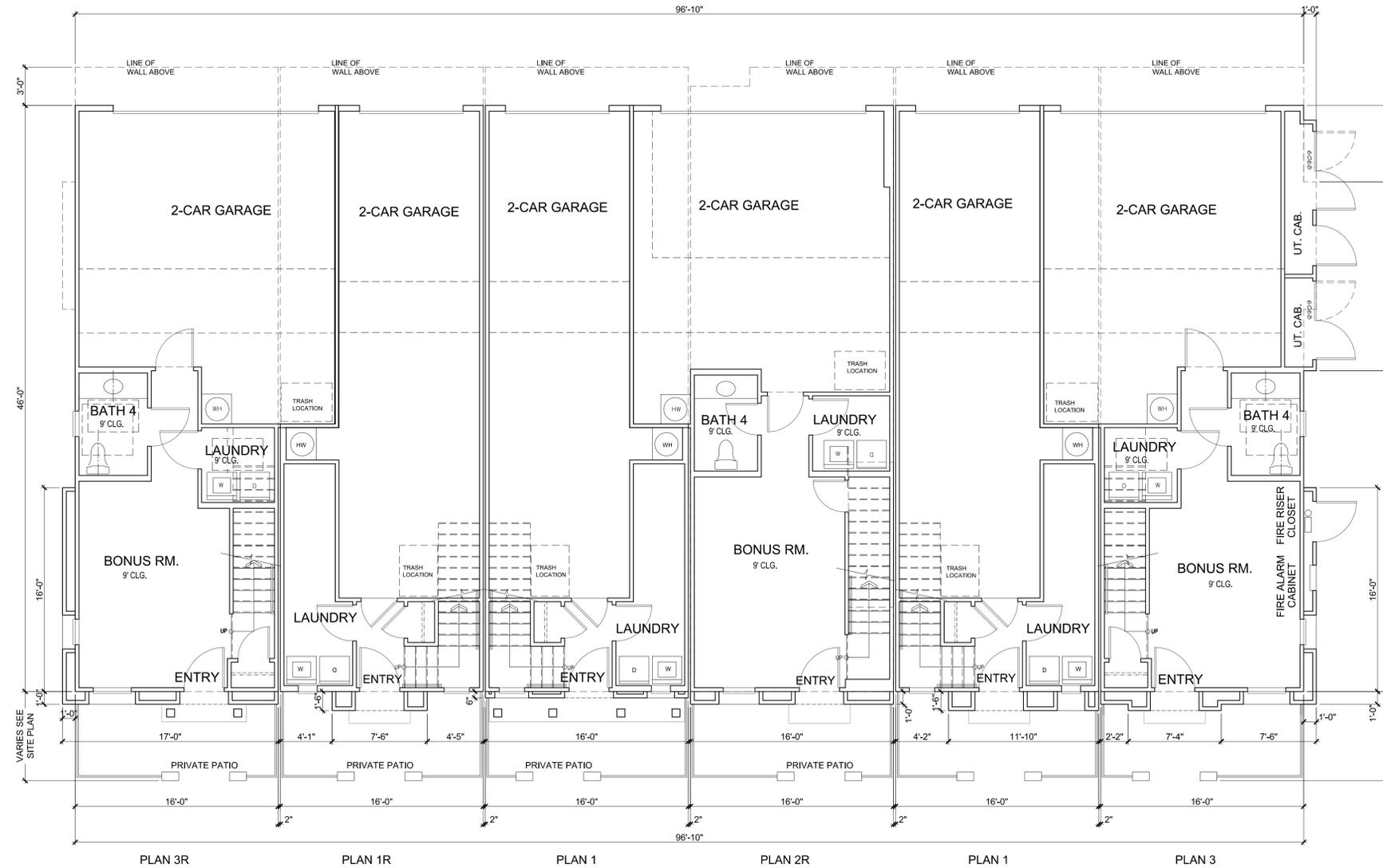
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Walnut Creek, California 94596
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Direct: (510) 493-4441

SHEET NO.

L-2



SCALE: 3/16" = 1'-0"

FIRST FLOOR - 6 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-61

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



SCALE: 3/16" = 1'-0"

SECOND FLOOR - 6 UNIT BUILDING
SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

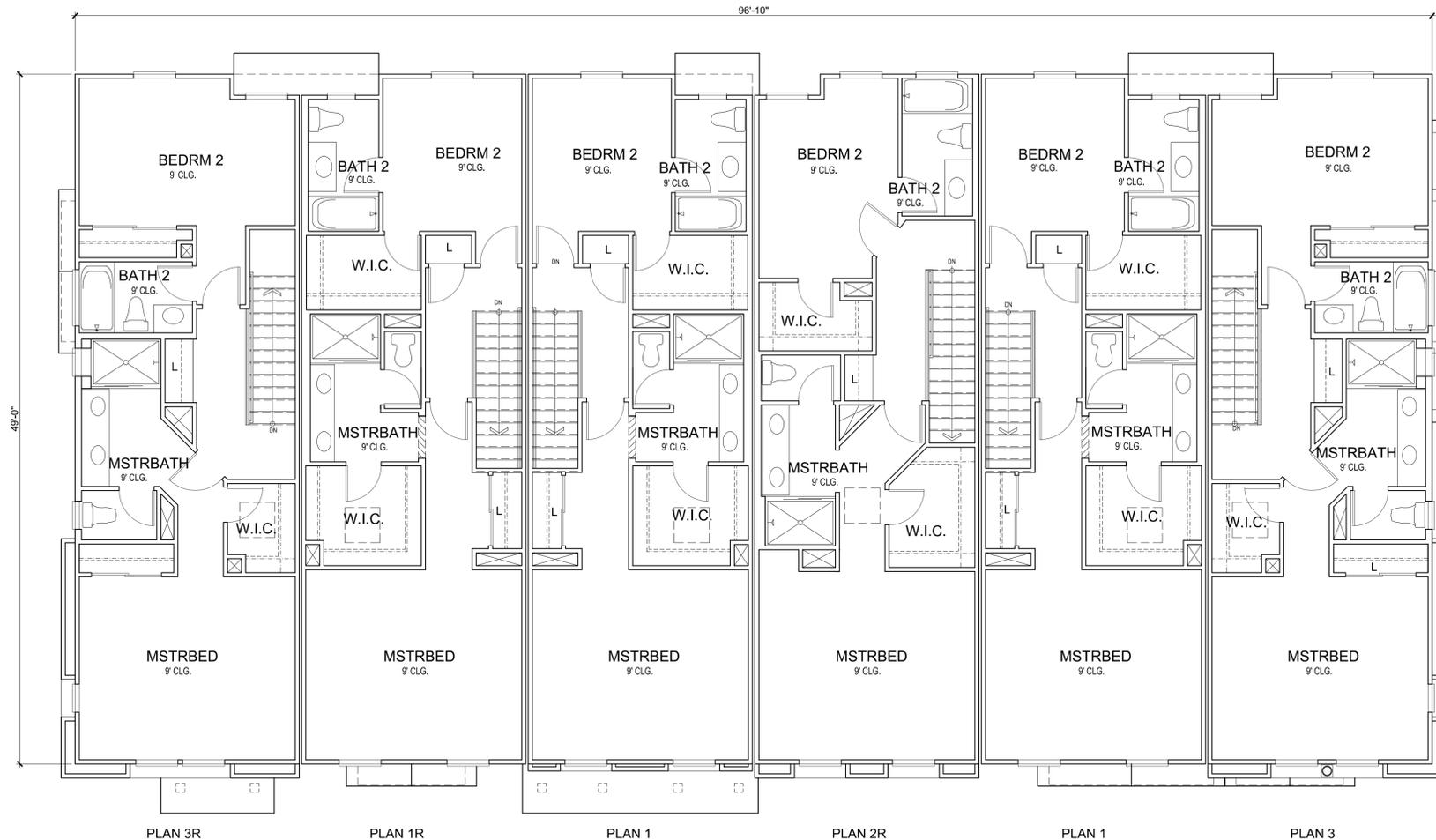
SHEET NUMBER

A-62

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR

Plot Date: 8/7/2015 10:55:39 AM. By: Victor Alvarez



SCALE: 3/16" = 1'-0"

THIRD FLOOR - 6 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-63

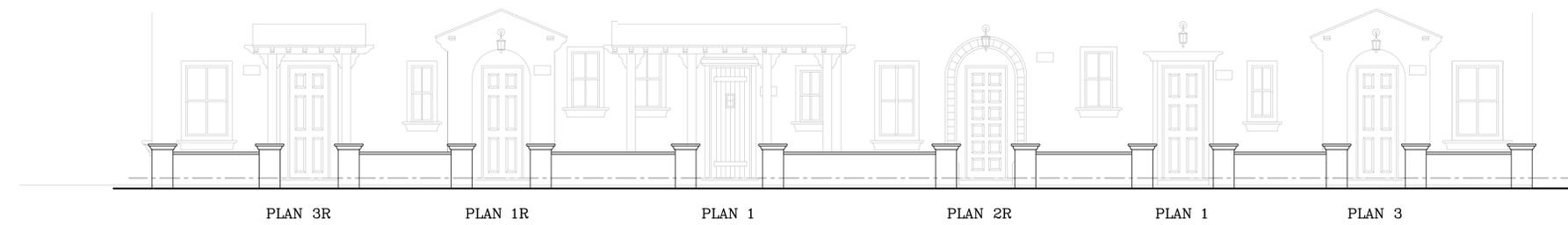
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NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR

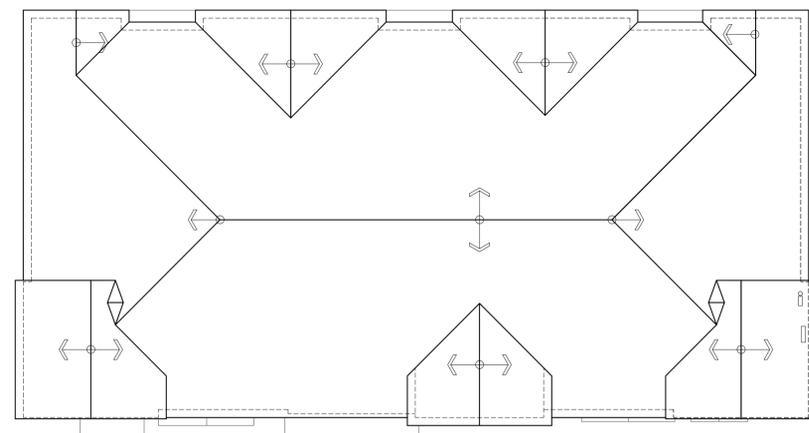
Plot Date: 8/7/2015 10:55:45 AM. By: Victor Alvarez



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"



ROOF PLAN
(5:12 TYP. ROOF PITCH)
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND

1. 'S' TILE ROOF
2. SMOOTH STUCCO FINISH
3. SMOOTH STUCCO OVER FOAM TRIM
4. WOOD POSTS/ CORBELS/ RAFTER TAILS
5. DECORATIVE SPANISH TILE
6. WROUGHT IRON GABLE END DETAIL
7. CLAY TILE GABLE END DETAIL
8. RECESSED WINDOWS
9. DECORATIVE LIGHT FIXTURES
10. GARAGE DOORS WITH WINDOWS
11. SERVICE DOORS
12. UNIT ADDRESS SIGN
13. BUILDING ADDRESS SIGN
14. WOOD CORBELS
15. WOOD RAFTER TAILS

6 UNIT FRONT ELEVATION - SPANISH STYLE

SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-64

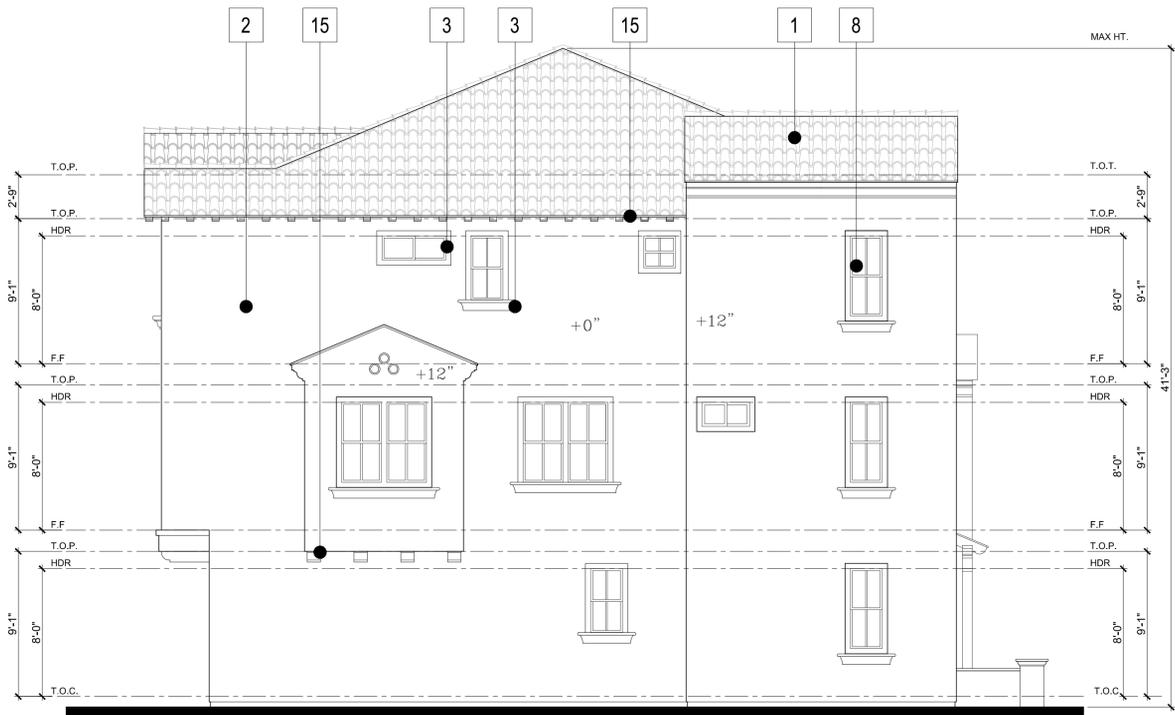
- OF -



PLAN 3 PLAN 1 PLAN 2R PLAN 1 PLAN 1R PLAN 3R

REAR ELEVATION
SCALE: 3/16" = 1'-0"

- MATERIALS LEGEND**
1. 'S' TILE ROOF
 2. SMOOTH STUCCO FINISH
 3. SMOOTH STUCCO OVER FOAM TRIM
 4. WOOD POSTS/ CORBELS/ RAFTER TAILS
 5. DECORATIVE SPANISH TILE
 6. WROUGHT IRON GABLE END DETAIL
 7. CLAY TILE GABLE END DETAIL
 8. RECESSED WINDOWS
 9. DECORATIVE LIGHT FIXTURES
 10. GARAGE DOORS WITH WINDOWS
 11. SERVICE DOORS
 12. UNIT ADDRESS SIGN
 13. BUILDING ADDRESS SIGN
 14. WOOD CORBELS
 15. WOOD RAFTER TAILS



PLAN 3R

LEFT ELEVATION
SCALE: 3/16" = 1'-0"



PLAN 3

RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

6 UNIT REAR AND SIDE ELEVATIONS - SPANISH STYLE

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER
A-65
- OF -

Plot Date: 8/7/2015 10:55:56 AM. By: Victor Alvarez



PLAN 3R

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

PLAN 3

SCALE: 3/16" = 1'-0"

6 UNIT - SPANISH ELEVATION

SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

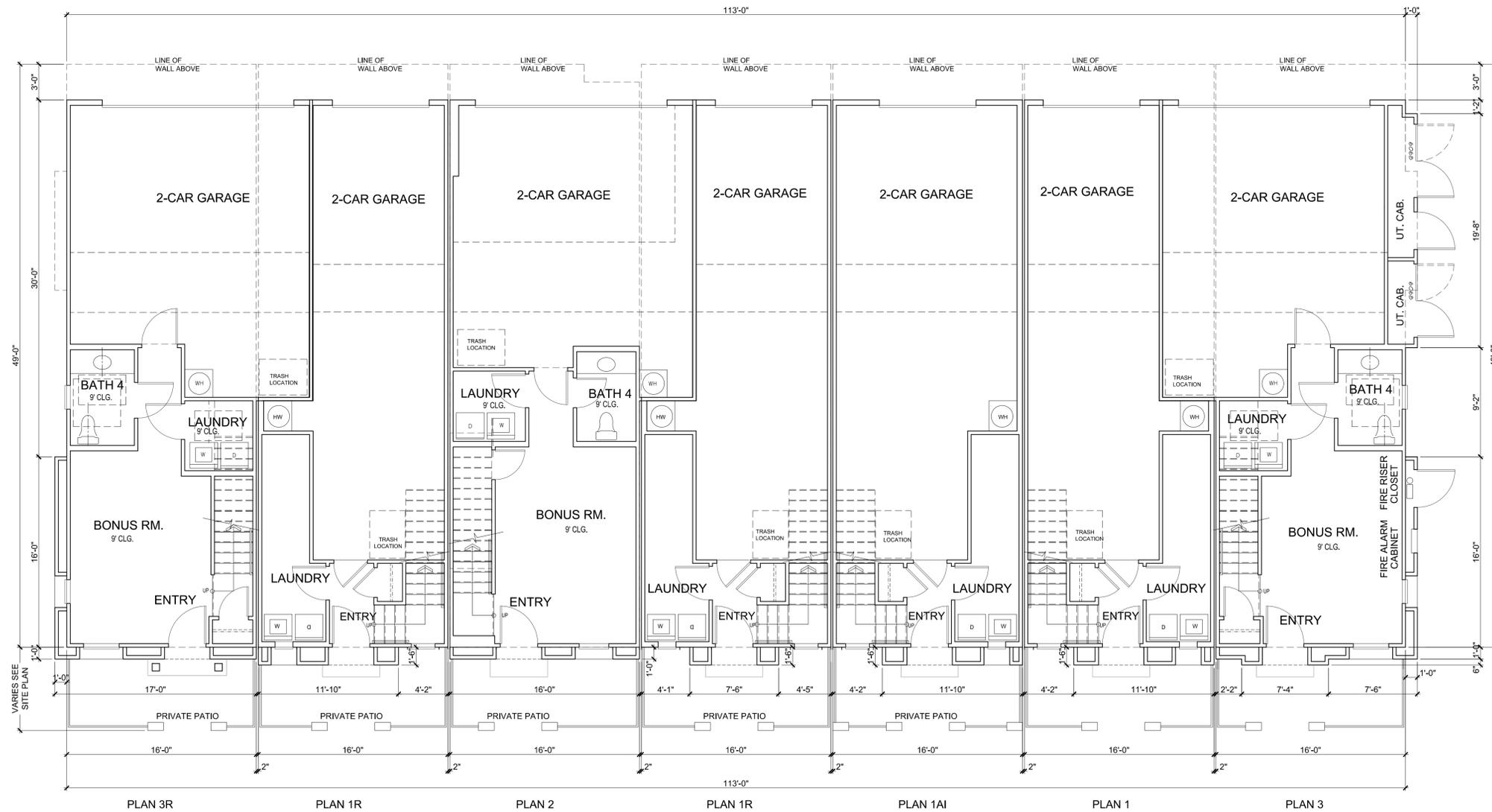
DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-6R1

- OF -



SCALE: 3/16" = 1'-0"

FIRST FLOOR - 7 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-71

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



SCALE: 3/16" = 1'-0"

SECOND FLOOR - 7 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

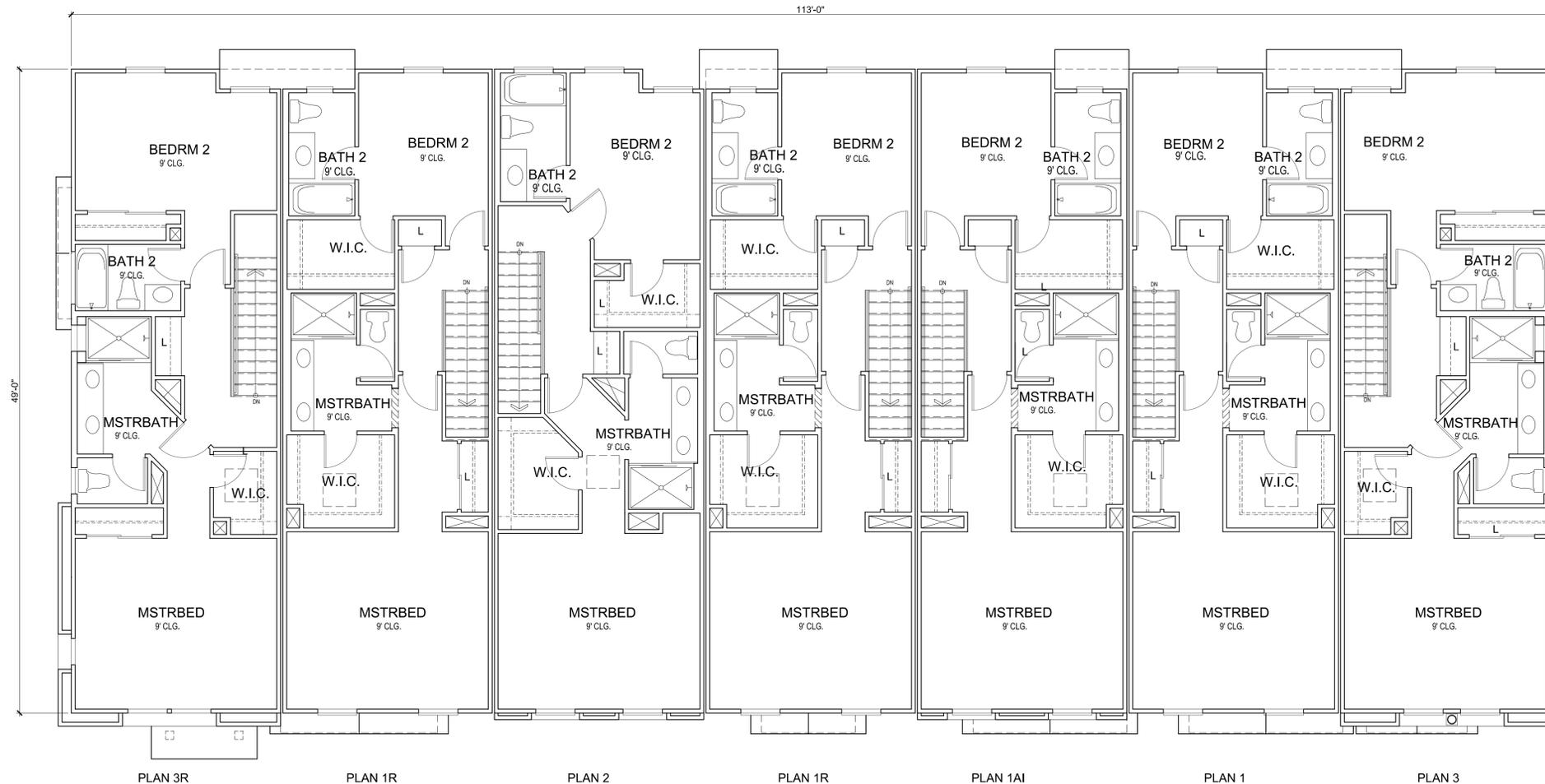
DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER
A-72
 - OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR

Plot Date: 8/7/2015 11:06:45 AM. By: Victor Alvarez



SCALE: 3/16" = 1'-0"

THIRD FLOOR - 7 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

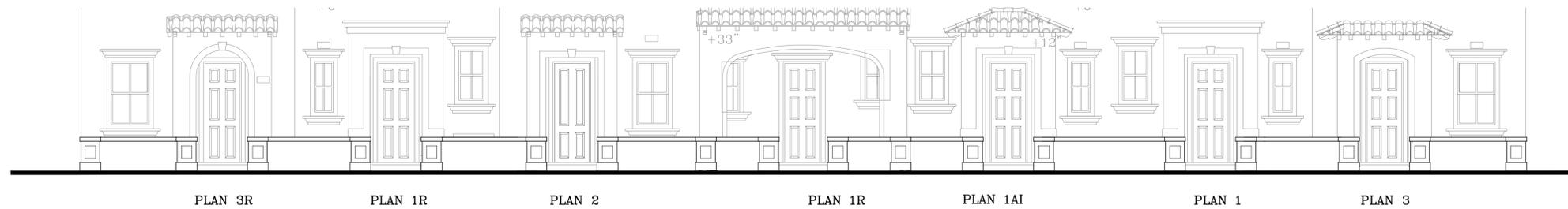
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- OF -

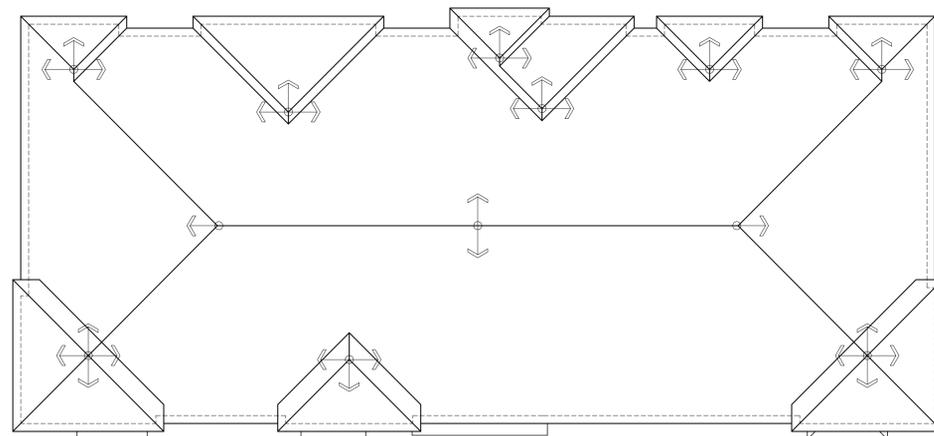
NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"



ROOF PLAN
(5:12 TYP. ROOF PITCH)
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND

1. 'S' TILE ROOF
2. SMOOTH STUCCO FINISH
3. SMOOTH STUCCO OVER FOAM TRIM
4. WOOD RAFTER TAILS
5. WOOD CORBELS
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN
11. BUILDING ADDRESS SIGN

7 UNIT FRONT ELEVATION - ITALIAN STYLE

SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-74

- OF -



REAR ELEVATION
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. 'S' TILE ROOF
2. SMOOTH STUCCO FINISH
3. SMOOTH STUCCO OVER FOAM TRIM
4. WOOD RAFTER TAILS
5. WOOD CORBELS
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN
11. BUILDING ADDRESS SIGN



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

7 UNIT REAR AND SIDE ELEVATIONS - ITALIAN STYLE

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-75

- OF -



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1AI

PLAN 1

PLAN 3

SCALE: 3/16" = 1'-0"

7 UNIT - ITALIAN ELEVATION

SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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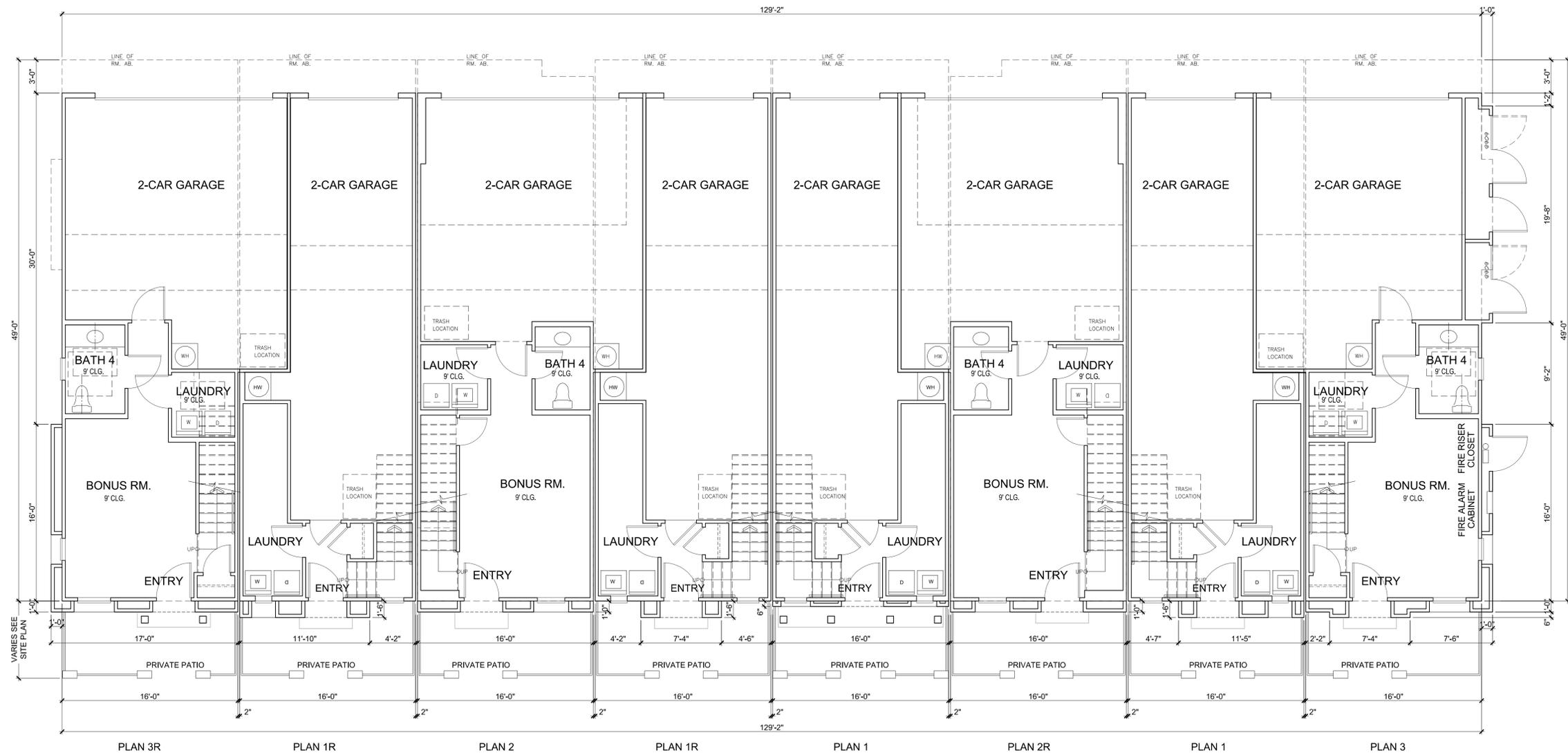
DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-7R1

34 OF -



SCALE: 3/16" = 1'-0"
 FIRST FLOOR - 8 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

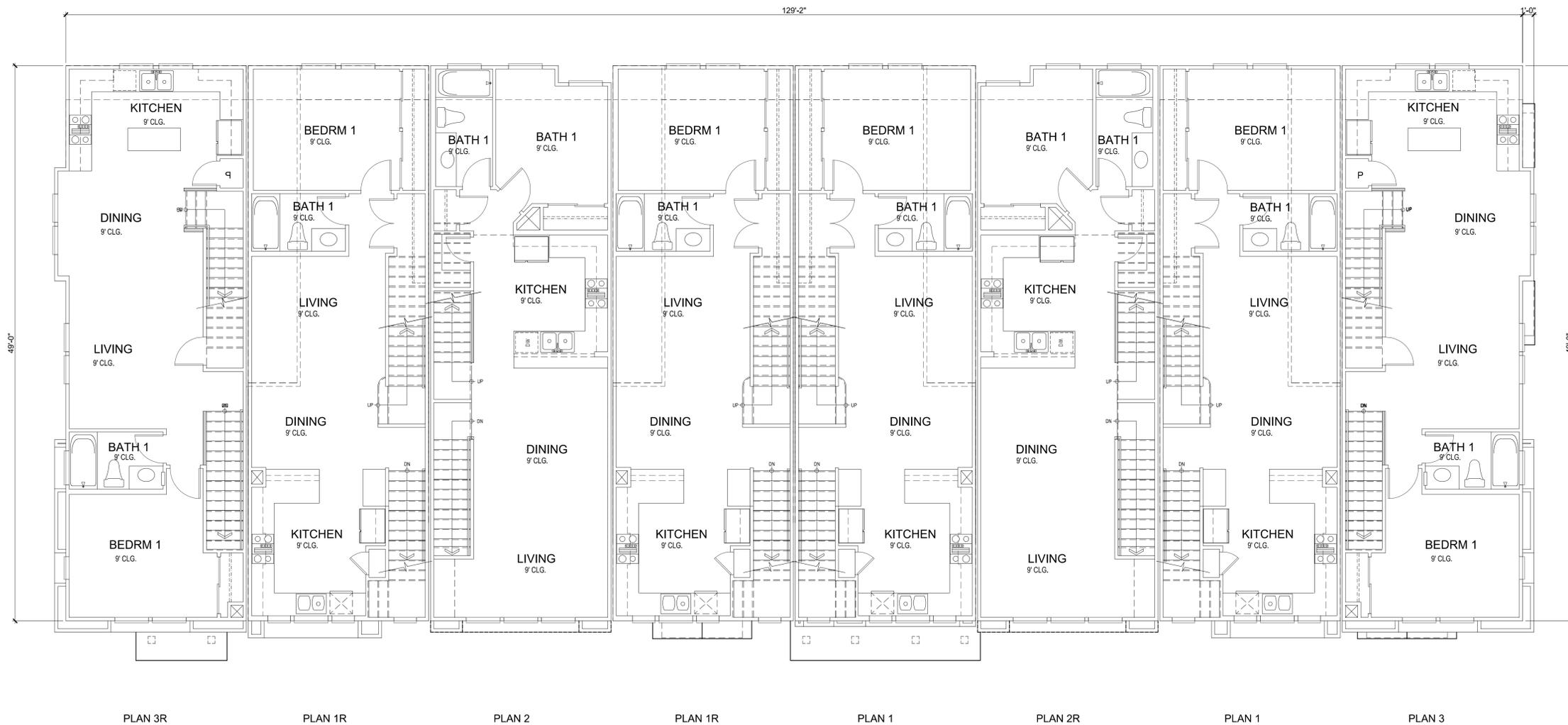
JOB#: 15034.00

SHEET NUMBER

A-81

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

PLAN 3

SCALE: 3/16" = 1'-0"
 SECOND FLOOR - 8 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

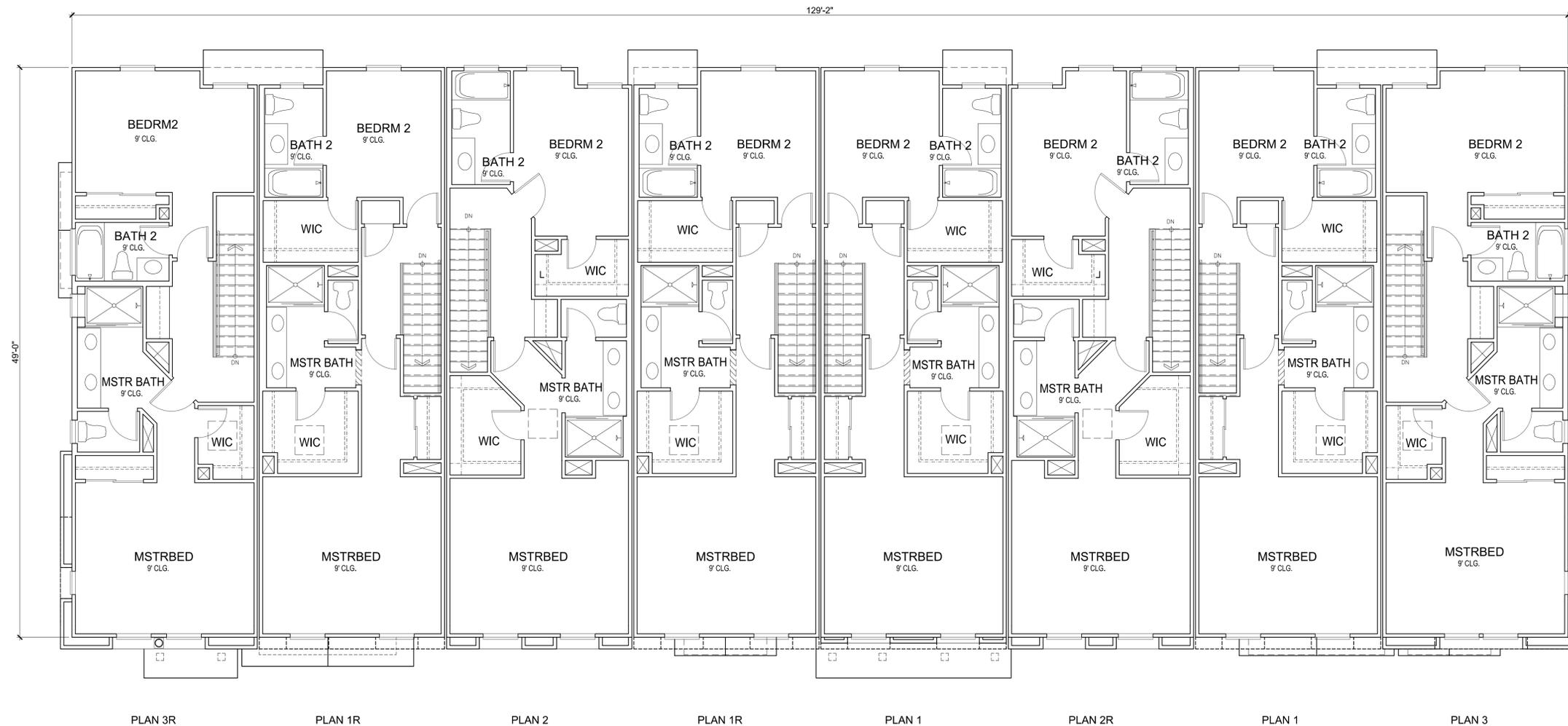
JOB#: 15034.00

SHEET NUMBER

A-82

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



SCALE: 3/16" = 1'-0"

THIRD FLOOR - 8 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-83

- OF -

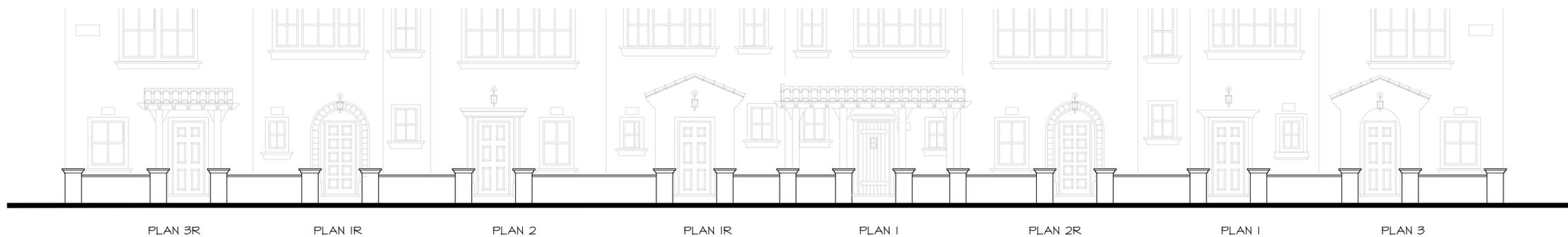
NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



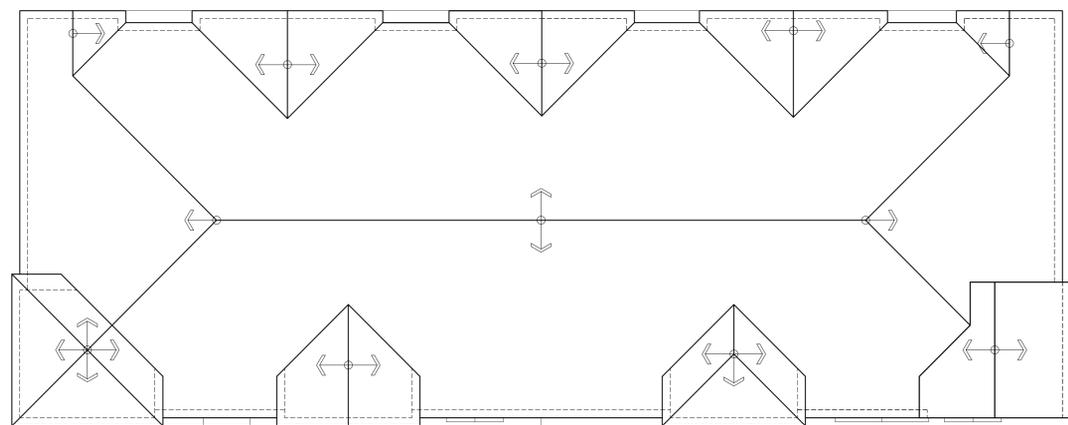
MATERIALS LEGEND

1. 'S' TILE ROOF
2. SMOOTH STUCCO FINISH
3. SMOOTH STUCCO OVER FOAM TRIM
4. WOOD POSTS/ CORBELS/ RAFTER TAILS
5. DECORATIVE SPANISH TILE
6. WROUGHT IRON GABLE END DETAIL
7. CLAY TILE GABLE END DETAIL
8. RECESSED WINDOWS
9. DECORATIVE LIGHT FIXTURES
10. GARAGE DOORS WITH WINDOWS
11. SERVICE DOORS
12. UNIT ADDRESS SIGN
13. BUILDING ADDRESS SIGN
14. WOOD CORBELS
15. WOOD RAFTER TAILS

FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"



ROOF PLAN
(5:12 TYP. ROOF PITCH)
SCALE: 3/32" = 1'-0"

8 UNIT FRONT ELEVATION - SPANISH STYLE
SCS DEVELOPMENT CO.

SIENA - TOWNHOMES
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-84

- OF -



REAR ELEVATION
SCALE: 3/16" = 1'-0"

- MATERIALS LEGEND**
1. 'S' TILE ROOF
 2. SMOOTH STUCCO FINISH
 3. SMOOTH STUCCO OVER FOAM TRIM
 4. WOOD POSTS/ CORBELS/ RAFTER TAILS
 5. DECORATIVE SPANISH TILE
 6. WROUGHT IRON GABLE END DETAIL
 7. CLAY TILE GABLE END DETAIL
 8. RECESSED WINDOWS
 9. DECORATIVE LIGHT FIXTURES
 10. GARAGE DOORS WITH WINDOWS
 11. SERVICE DOORS
 12. UNIT ADDRESS SIGN
 13. BUILDING ADDRESS SIGN
 14. WOOD CORBELS
 15. WOOD RAFTER TAILS



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

8 UNIT REAR AND SIDE ELEVATIONS - SPANISH STYLE
SCALE: 3/16" = 1'-0"

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES
CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DATE: AUGUST 7, 2015
DANIELIAN ASSOCIATES
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SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

JOB#: 15034.00
SHEET NUMBER
A-85
- OF -

Plot Date: 8/7/2015 10:50:30 AM By: Victor Alvarez

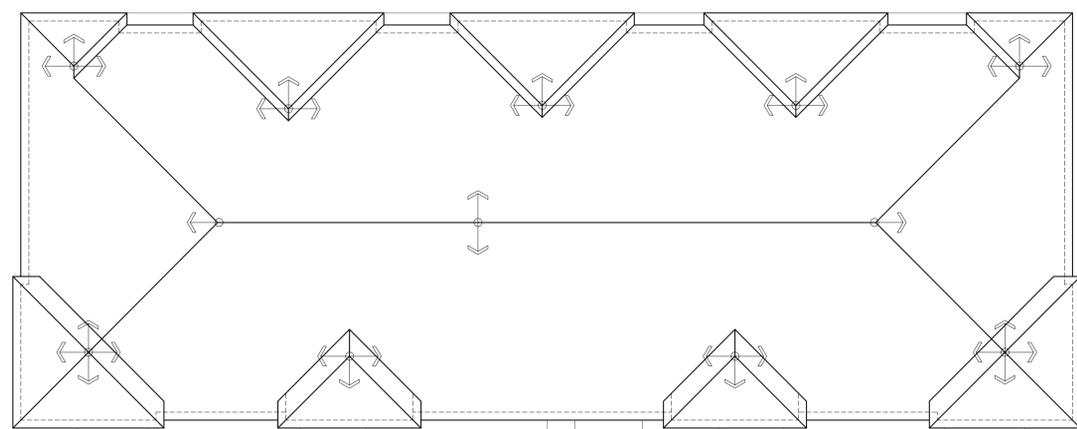


- MATERIALS LEGEND**
1. 'S' TILE ROOF
 2. SMOOTH STUCCO FINISH
 3. SMOOTH STUCCO OVER FOAM TRIM
 4. WOOD RAFTER TAILS
 5. WOOD CORBELS
 6. RECESSED WINDOW
 7. DECORATIVE LIGHT FIXTURE
 8. GARAGE DOORS WITH WINDOWS
 9. SERVICE DOORS
 10. UNIT ADDRESS SIGN
 11. BUILDING ADDRESS SIGN

FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"



ROOF PLAN
(5:12 TYP. ROOF PITCH)
SCALE: 3/32" = 1'-0"

8 UNIT FRONT ELEVATION - ITALIAN STYLE

SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-86

- OF -

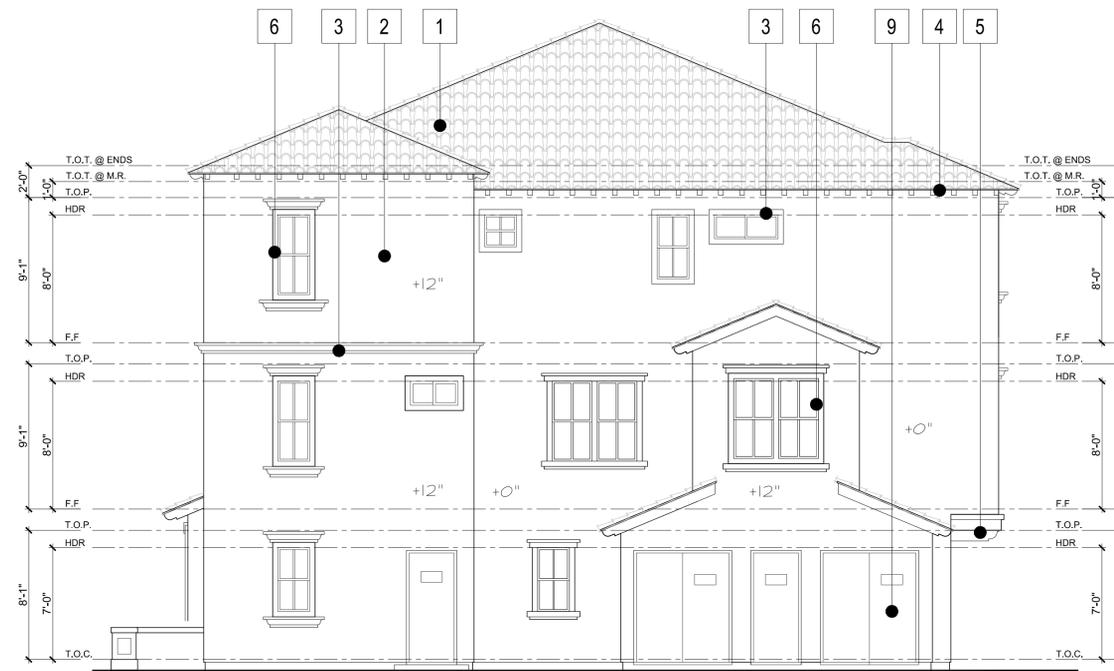


- MATERIALS LEGEND**
1. 'S' TILE ROOF
 2. SMOOTH STUCCO FINISH
 3. SMOOTH STUCCO OVER FOAM TRIM
 4. WOOD RAFTER TAILS
 5. WOOD CORBELS
 6. RECESSED WINDOW
 7. DECORATIVE LIGHT FIXTURE
 8. GARAGE DOORS WITH WINDOWS
 9. SERVICE DOORS
 10. UNIT ADDRESS SIGN
 11. BUILDING ADDRESS SIGN

REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

8 UNIT REAR AND SIDE ELEVATIONS - ITALIAN STYLE
SCALE: 3/16" = 1'-0"

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-87

- OF -



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

PLAN 3

SCALE: 3/16" = 1'-0"

8 UNIT - SPANISH ELEVATION

SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-8R1

- OF -



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

PLAN 3

SCALE: 3/16" = 1'-0"
 8 UNIT - ITALIAN ELEVATION
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

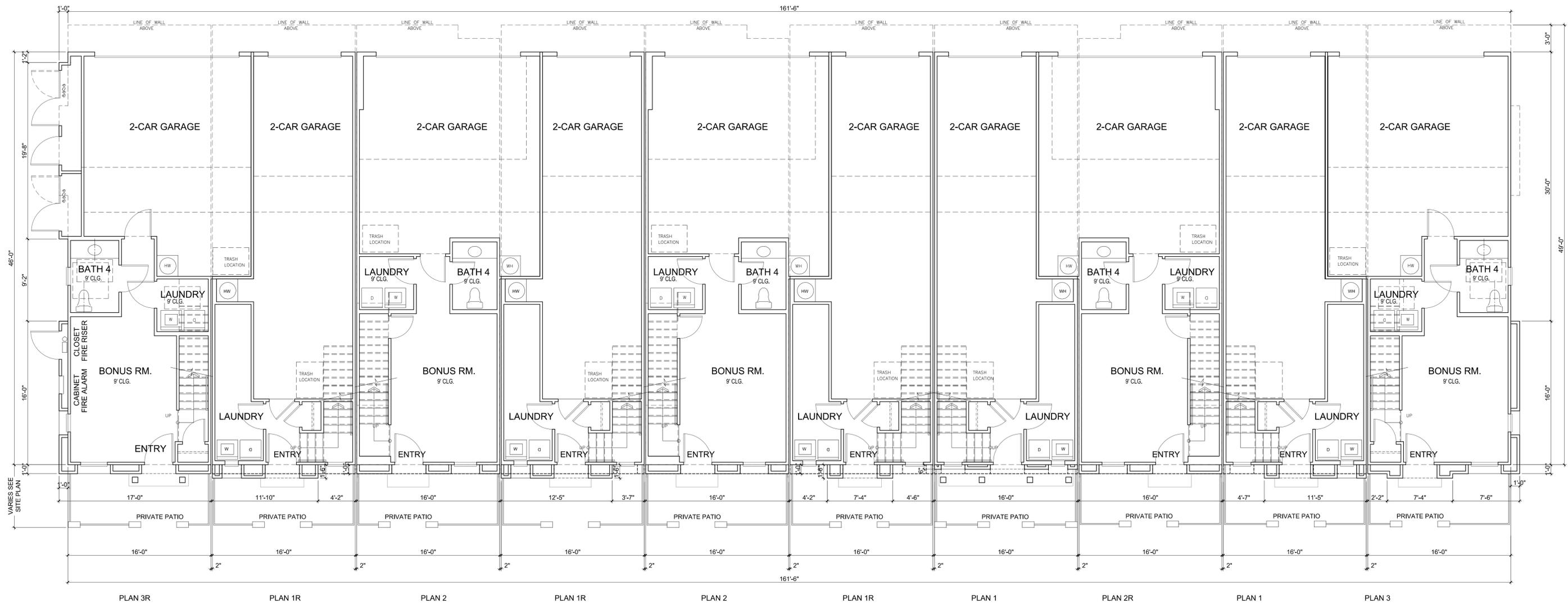
DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-8R2

- OF -



SCALE: 3/16" = 1'-0"
FIRST FLOOR PLAN - 10 UNIT BUILDING
SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-101

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR

Plot Date: 8/7/2015 10:52:47 AM. By: Victor Alvarez



SCALE: 3/16" = 1'-0"
 SECOND FLOOR PLAN - 10 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

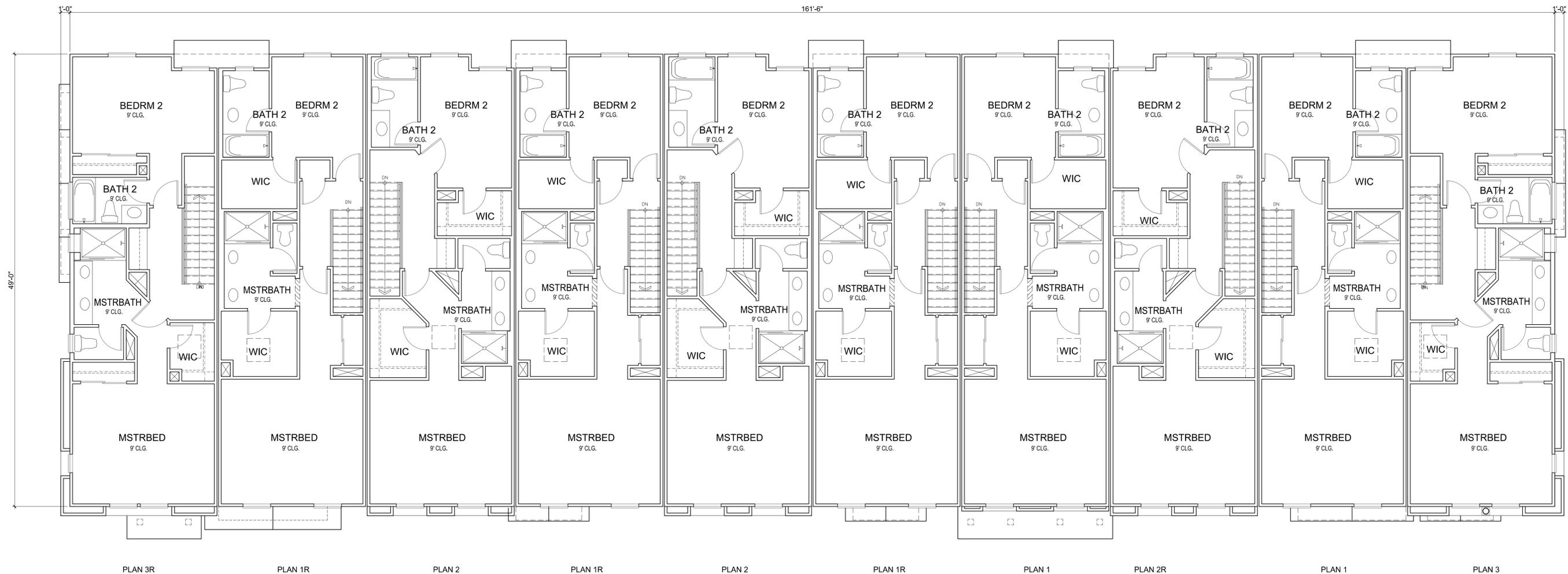
JOB#: 15034.00

SHEET NUMBER

A-102

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



SCALE: 3/16" = 1'-0"
 THIRD FLOOR PLAN - 10 UNIT BUILDING
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-103

- OF -

NOTE: FLOOR PLAN REFLECTS SPANISH ELEVATION. ITALIAN STYLE FLOOR PLAN SIMILAR



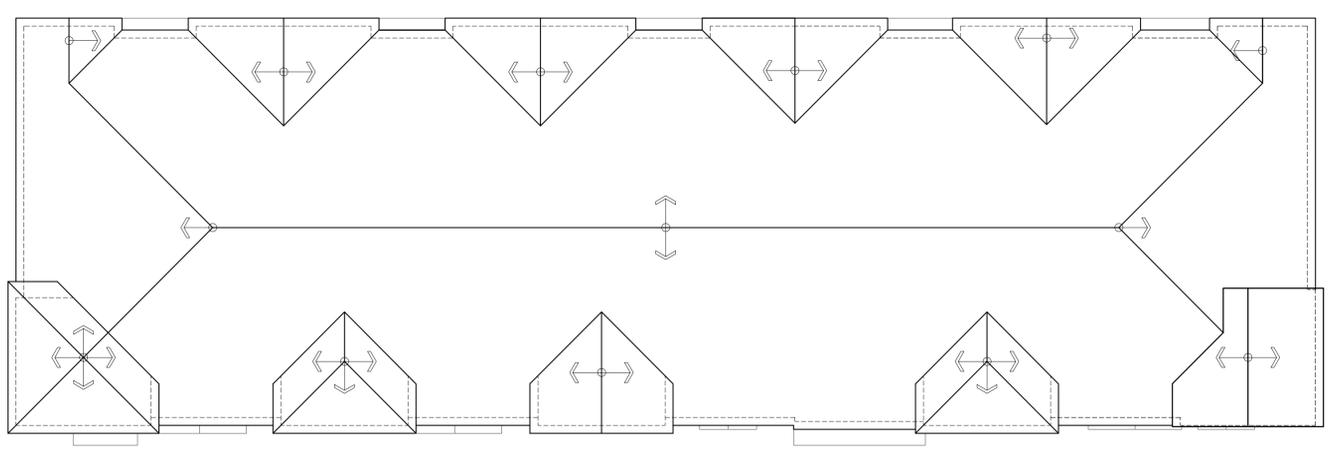
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. 'S' TILE ROOF
2. SMOOTH STUCCO FINISH
3. SMOOTH STUCCO OVER FOAM TRIM
4. WOOD POSTS/ CORBELS/ RAFTER TAILS
5. DECORATIVE SPANISH TILE
6. WROUGHT IRON GABLE END DETAIL
7. CLAY TILE GABLE END DETAIL
8. RECESSED WINDOWS
9. DECORATIVE LIGHT FIXTURES
10. GARAGE DOORS WITH WINDOWS
11. SERVICE DOORS
12. UNIT ADDRESS SIGN
13. BUILDING ADDRESS SIGN
14. WOOD CORBELS
15. WOOD RAFTER TAILS



ROOF PLAN
(5:12 TYP. ROOF PITCH)
SCALE: 3/32" = 1'-0"

10 UNIT FRONT ELEVATION - SPANISH STYLE
SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
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DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-104

- OF -



REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. 'S' TILE ROOF
2. SMOOTH STUCCO FINISH
3. SMOOTH STUCCO OVER FOAM TRIM
4. WOOD POSTS/ CORBELS/ RAFTER TAILS
5. DECORATIVE SPANISH TILE
6. WROUGHT IRON GABLE END DETAIL
7. CLAY TILE GABLE END DETAIL
8. RECESSED WINDOWS
9. DECORATIVE LIGHT FIXTURES
10. GARAGE DOORS WITH WINDOWS
11. SERVICE DOORS
12. UNIT ADDRESS SIGN
13. BUILDING ADDRESS SIGN
14. WOOD CORBELS
15. WOOD RAFTER TAILS

10 UNIT REAR AND SIDE ELEVATIONS - SPANISH STYLE

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-105

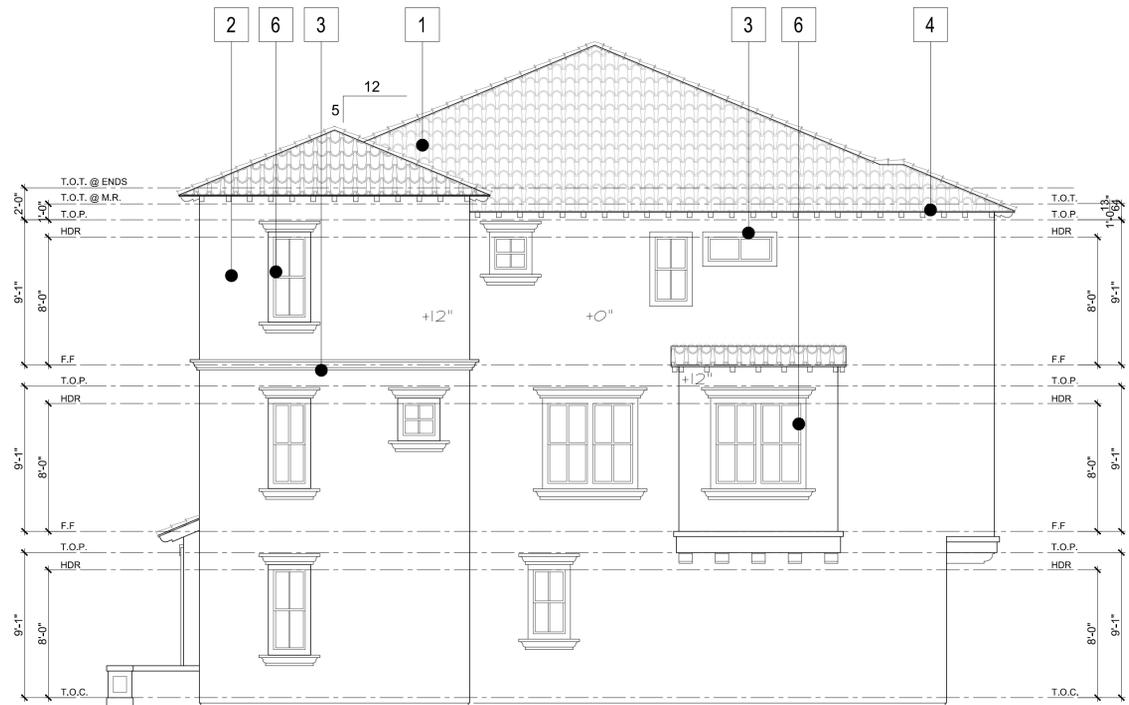
- OF -



REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. 'S' TILE ROOF
2. SMOOTH STUCCO FINISH
3. SMOOTH STUCCO OVER FOAM TRIM
4. WOOD RAFTER TAILS
5. WOOD CORBELS
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN
11. BUILDING ADDRESS SIGN

10 UNIT REAR AND SIDE ELEVATIONS - ITALIAN STYLE

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-107

- OF -



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

PLAN 3

SCALE: 3/16" = 1'-0"
 10 UNIT - SPANISH ELEVATION
SCS DEVELOPMENT CO.
 SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

DATE: AUGUST 7, 2015

JOB#: 15034.00

SHEET NUMBER

A-10R1

- OF -



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

PLAN 3

SCALE: 3/16" = 1'-0"

10 UNIT - ITALIAN ELEVATION

SCS DEVELOPMENT CO.

SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

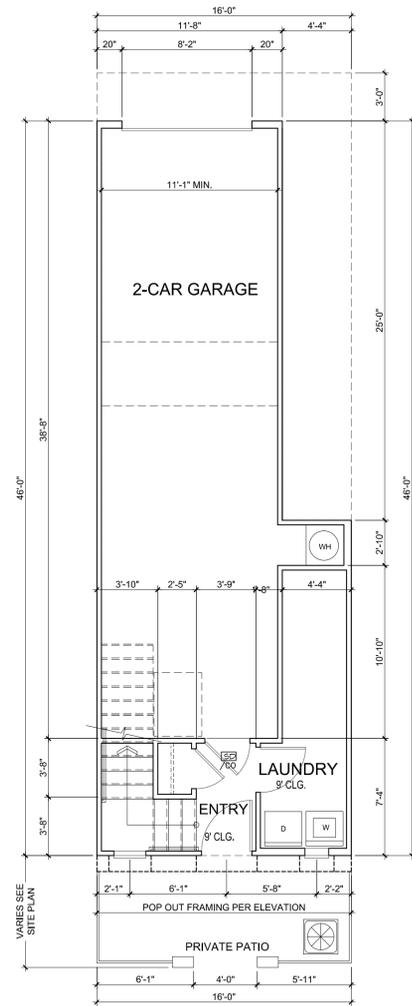
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JOB#: 15034.00

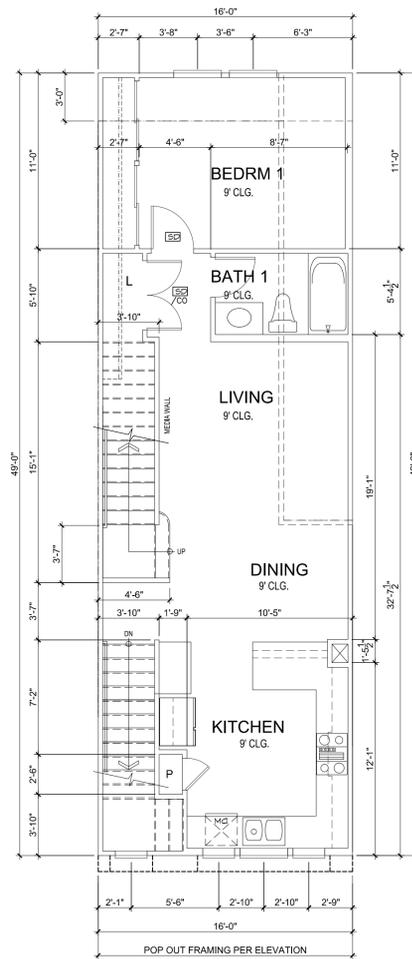
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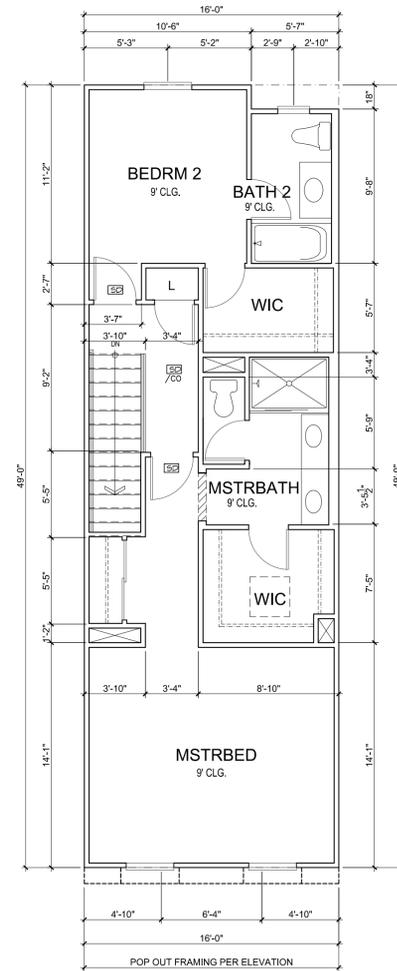
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PLAN 1
FIRST FLOOR PLAN



PLAN 1
SECOND FLOOR PLAN



PLAN 1
THIRD FLOOR PLAN

NOTE: 2 BOTTOM RISERS AT FIRST FLOOR ARE OMITTED IN THE 8-PLEX BECAUSE OF THE 8'-1" PLATE REVISION AT FIRST FLOOR. REFER TO 8-PLEX ELEVATIONS FOR PLATE HEIGHTS.

AREA TABULATION

FIRST FLOOR	= 167 SQ.FT.
SECOND FLOOR	= 730 SQ.FT.
THIRD FLOOR	= 736 SQ.FT.
TOTAL LIVING AREA	= 1,633 SQ.FT.
GARAGE AREA	= 460 SQ.FT.

SCALE: 3/16" = 1'-0"
UNIT PLAN 1

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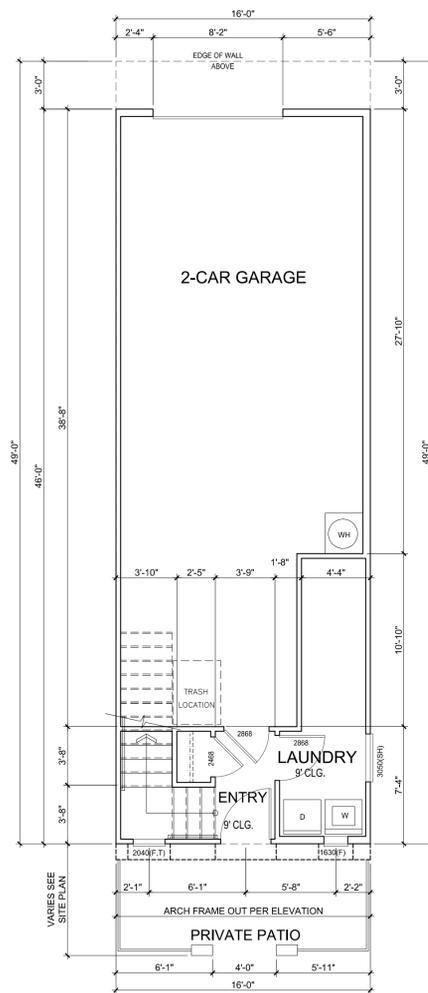
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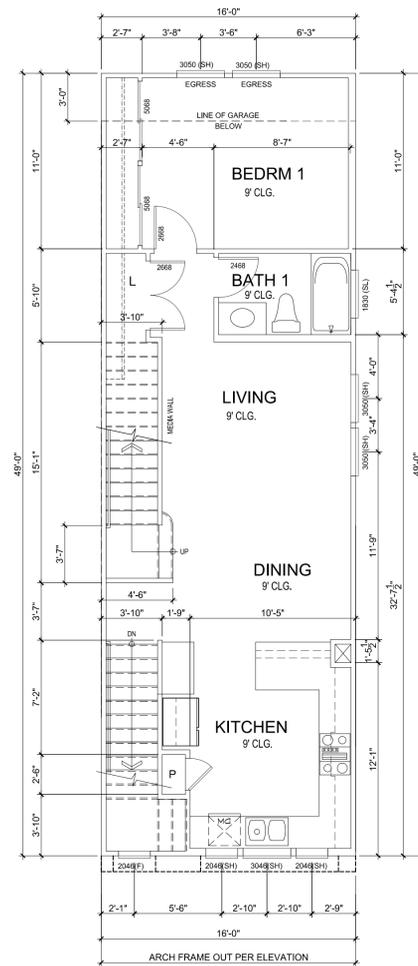
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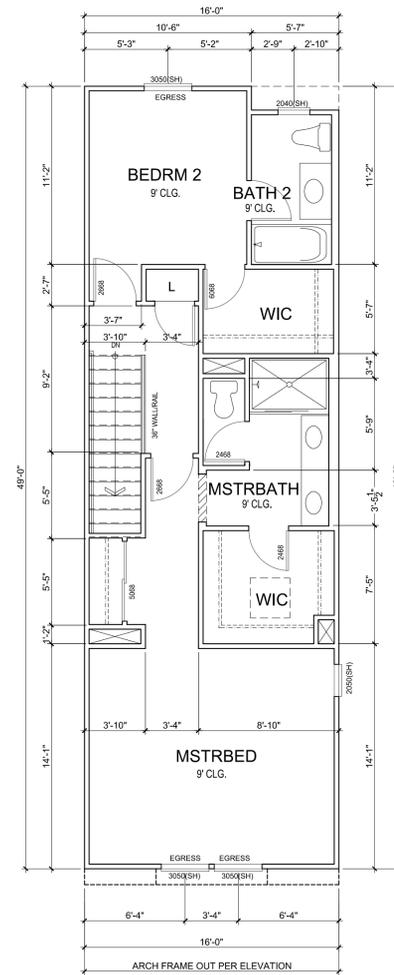
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PLAN 1AE
FIRST FLOOR PLAN



PLAN 1AE
SECOND FLOOR PLAN



PLAN 1AE
THIRD FLOOR PLAN

AREA DATA

FIRST FLOOR	= 167 SQ.FT.
SECOND FLOOR	= 730 SQ.FT.
THIRD FLOOR	= 736 SQ.FT.
TOTAL LIVING AREA	= 1,633 SQ.FT.
GARAGE AREA	= 468 SQ.FT.

NOTE: 2 BOTTOM RISERS AT FIRST FLOOR ARE OMITTED IN THE 8-PLEX BECAUSE OF THE 8'-1" PLATE REVISION AT FIRST FLOOR. REFER TO 8-PLEX ELEVATIONS FOR PLATE HEIGHTS.

SCALE: 3/16" = 1'-0"
UNIT PLAN 1AE - ALTERNATE END UNIT PLAN
SCS DEVELOPMENT CO.

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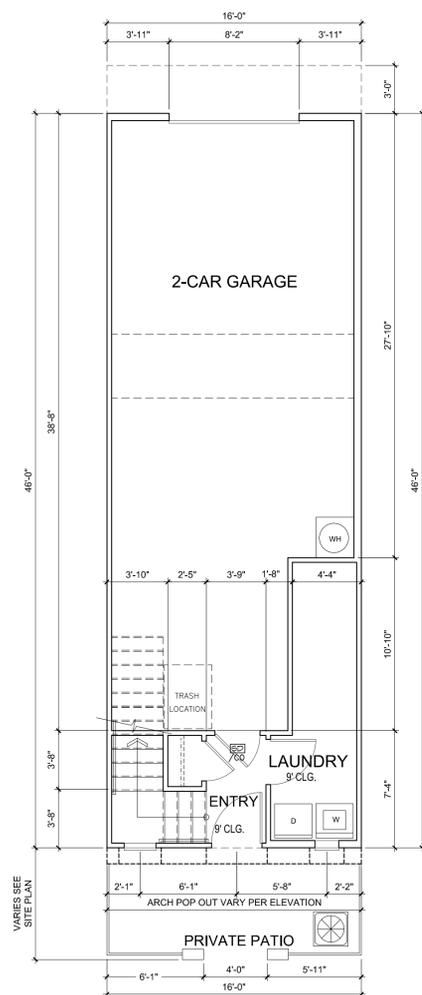
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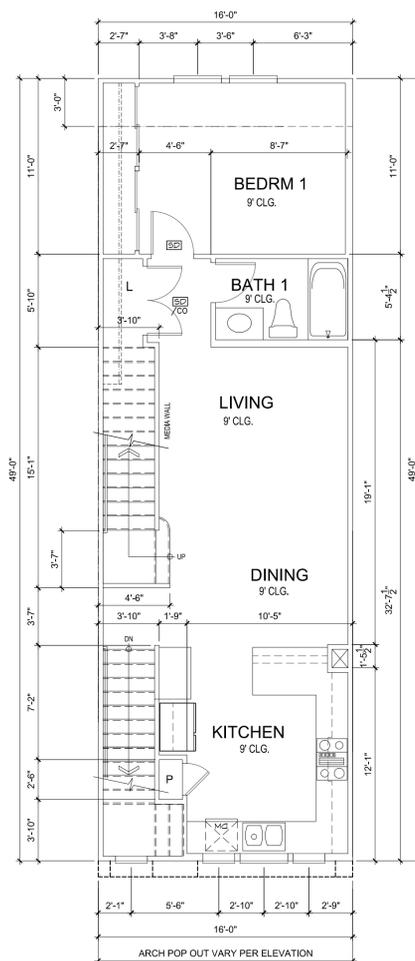
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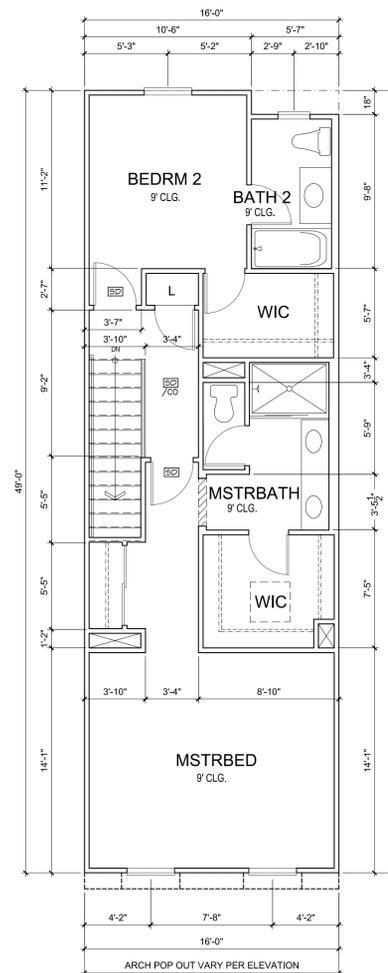


PLAN 1AI
FIRST FLOOR PLAN

NOTE: 2 BOTTOM RISERS AT FIRST FLOOR ARE OMITTED IN THE 8-PLEX BECAUSE OF THE 8'-1" PLATE REVISION AT FIRST FLOOR. REFER TO 8-PLEX ELEVATIONS FOR PLATE HEIGHTS.



PLAN 1AI
SECOND FLOOR PLAN



PLAN 1AI
THIRD FLOOR PLAN

AREA TABULATION

FIRST FLOOR	=	167 SQ.FT.
SECOND FLOOR	=	730 SQ.FT.
THIRD FLOOR	=	736 SQ.FT.
TOTAL LIVING AREA	=	1,633 SQ.FT.
GARAGE AREA	=	568 SQ.FT.

SCALE: 3/16" = 1'-0"
UNIT PLAN 1AI - ALTERNATE INTERIOR UNIT PLAN
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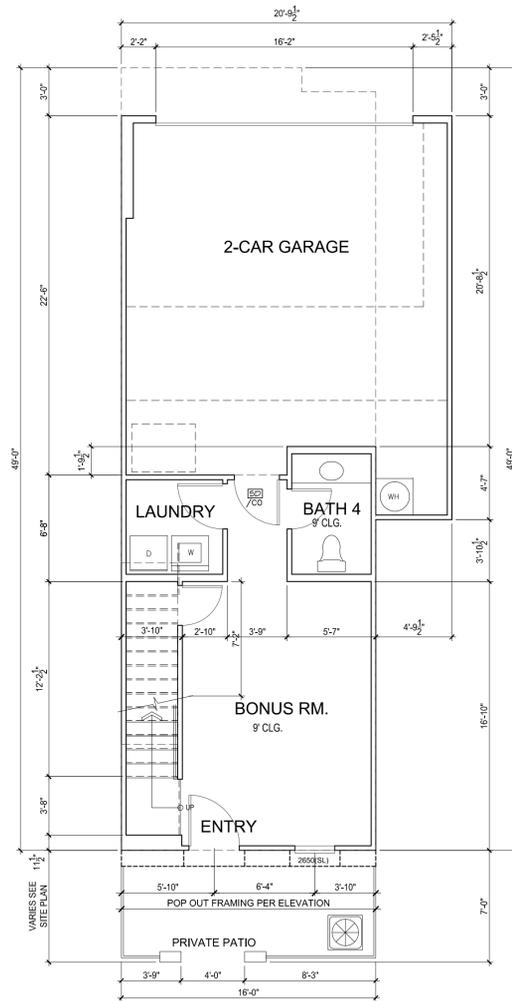
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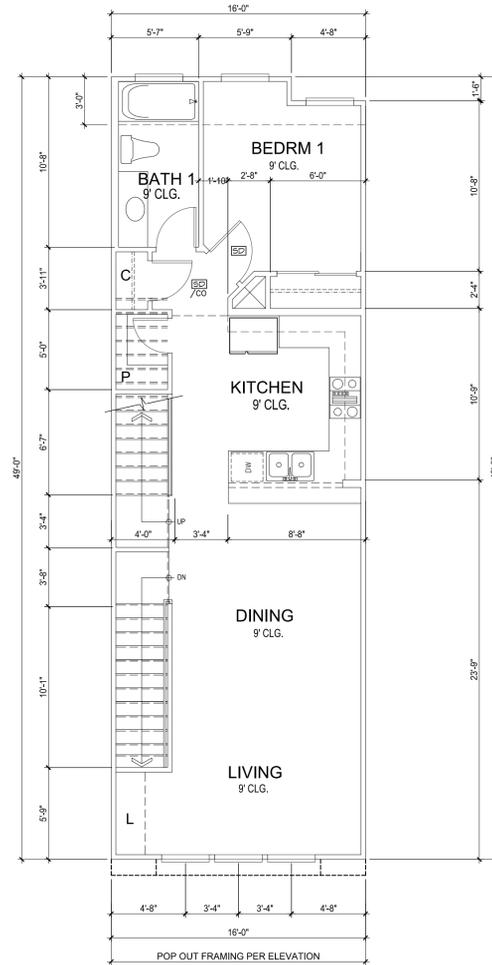
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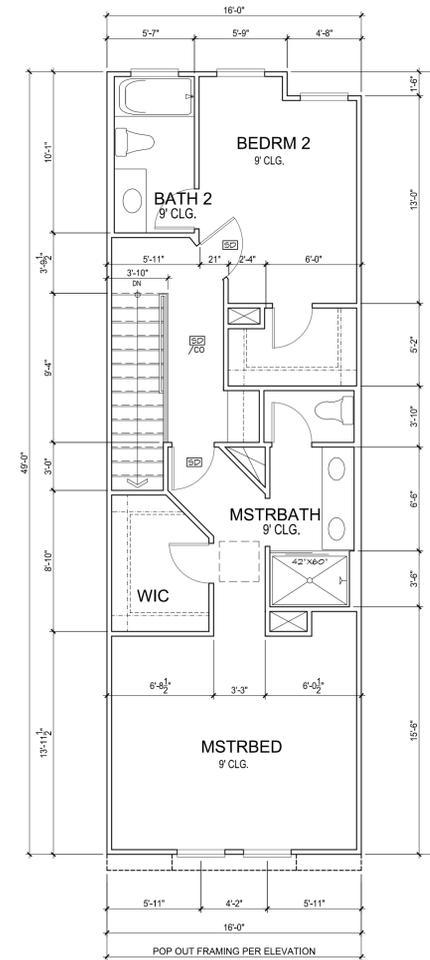
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PLAN 2
FIRST FLOOR PLAN



PLAN 2
SECOND FLOOR PLAN



PLAN 2
THIRD FLOOR PLAN

NOTE: 2 BOTTOM RISERS AT FIRST FLOOR ARE OMITTED IN THE 8-PLEX BECAUSE OF THE 8'-1" PLATE REVISION AT FIRST FLOOR. REFER TO 8-PLEX ELEVATIONS FOR PLATE HEIGHTS.

AREA TABULATION

FIRST FLOOR	=	386 SQ.FT.
SECOND FLOOR	=	729 SQ.FT.
THIRD FLOOR	=	733 SQ.FT.
TOTAL LIVING AREA	=	1,848 SQ.FT.
GARAGE AREA	=	471 SQ.FT.

SCALE: 3/16" = 1'-0"

UNIT PLAN 2

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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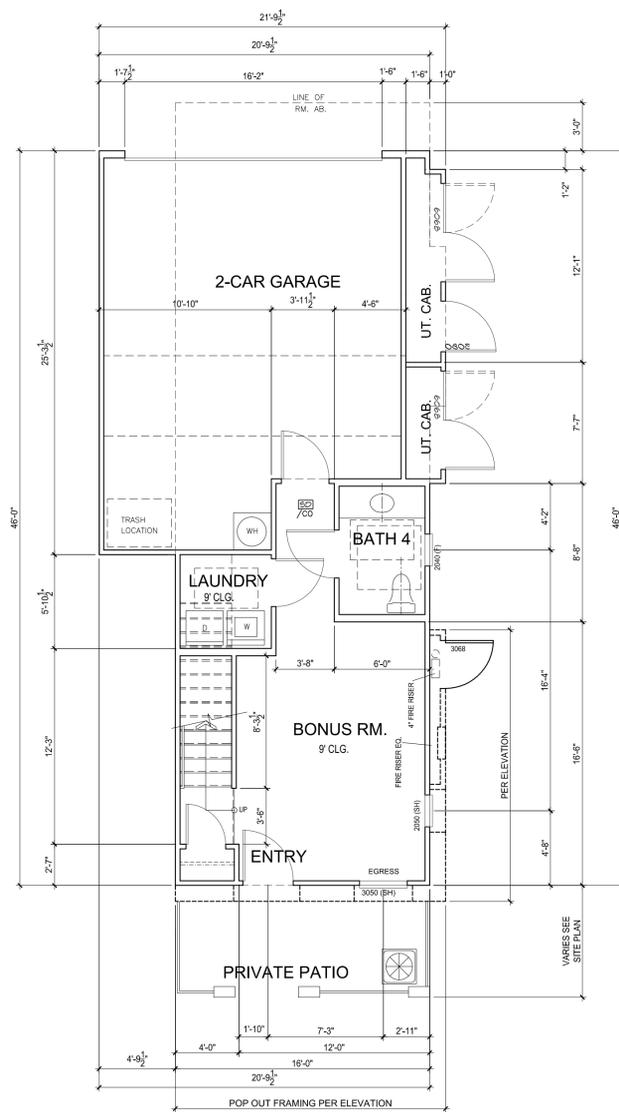
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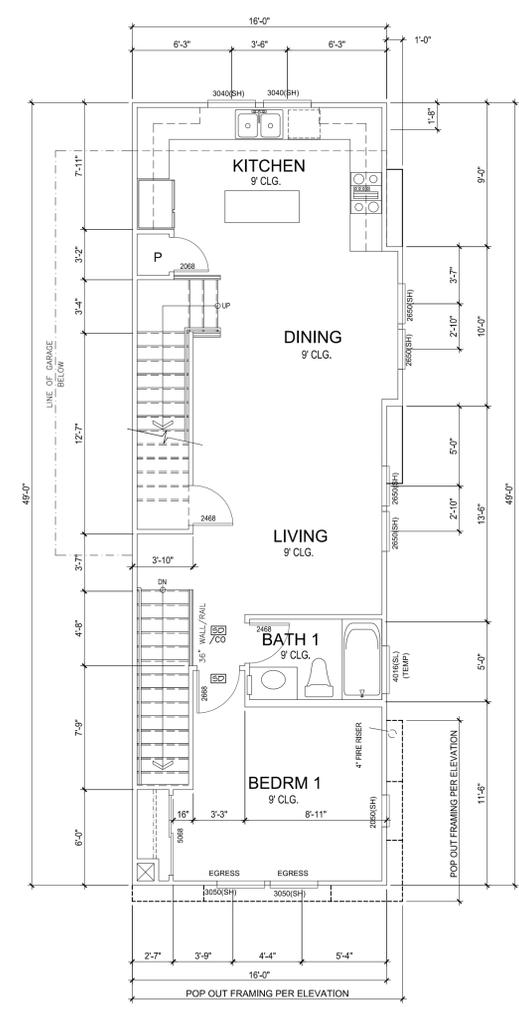
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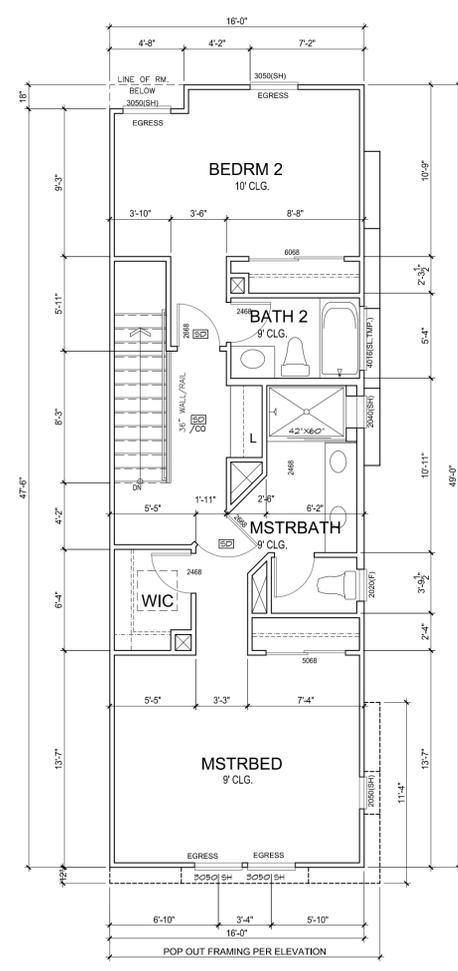


PLAN 3
FIRST FLOOR PLAN

NOTE: 2 BOTTOM RISERS AT FIRST FLOOR ARE OMITTED IN THE 8-PLEX BECAUSE OF THE 8'-1" PLATE REVISION AT FIRST FLOOR. REFER TO 8-PLEX ELEVATIONS FOR PLATE HEIGHTS.



PLAN 3
SECOND FLOOR PLAN



PLAN 3
THIRD FLOOR PLAN

AREA TABULATION

FIRST FLOOR	= 379 SQ.FT.
SECOND FLOOR	= 753 SQ.FT.
THIRD FLOOR	= 728 SQ.FT.
TOTAL LIVING AREA	= 1,853 SQ.FT.
GARAGE AREA	= 515 SQ.FT.

SCALE: 3/16" = 1'-0"
UNIT PLAN 3

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

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DATE: AUGUST 7, 2015

JOB#: 15034.00

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SIENA TOWNHOMES



AMALFI II APARTMENTS

SCS DEVELOPMENT CO.
SIENA - TOWNHOMES

CITY OF MILPITAS SANTA CLARA COUNTY CALIFORNIA

DATE: JULY 30, 2015  DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
SIXTY CORPORATE PARK IRVINE CALIFORNIA 92606

JOB#: 15034.01

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