



### SHEET INDEX

**ARCHITECTURAL**

A1.0 TITLE/SHEET INDEX/PROJECT INFORMATION

**CIVIL**

1 of 3 TENTATIVE SUBDIVISION MAP  
 2 of 3 CROSS-SECTIONS DETAIL  
 3 of 3 TOPOGRAPHY / DEMO PLAN  
 1 of 1 STORM WATER CONTROL PLAN

**ARCHITECTURAL**

A1.1 OPEN SPACE DIAGRAMS, CALCS & BLDG FOOTPRINT COMPARISON  
 A1.2 GENERAL NOTES  
 A2.0 CONCEPTUAL SITE PLAN  
 A3.0 CONCEPTUAL GARAGE PLAN (SUBTERRANEAN A)  
 A3.1 CONCEPTUAL BUILDING PLAN (STREET LEVEL)  
 A3.2 CONCEPTUAL BUILDING PLAN 2ND LEVEL  
 A3.3 CONCEPTUAL BUILDING PLAN 3RD LEVEL  
 A3.4 CONCEPTUAL BUILDING PLAN 4TH LEVEL  
 A3.5 CONCEPTUAL BUILDING PLAN 5TH LEVEL  
 A3.6 CONCEPTUAL BUILDING PLAN 6TH LEVEL  
 A3.7 CONCEPTUAL BUILDING PLAN 7TH LEVEL  
 A3.8 CONCEPTUAL BUILDING PLAN 8TH LEVEL  
 A3.9 CONCEPTUAL BUILDING PLAN 9TH LEVEL (10-19 TYP.)  
 A3.10 CONCEPTUAL BUILDING PLAN 20TH LEVEL  
 A3.11 CONCEPTUAL BUILDING PLAN 21ST LEVEL  
 A3.12 CONCEPTUAL BUILDING PLAN 22ND LEVEL  
 A3.13 CONCEPTUAL ROOF PLAN  
 A3.14 CONCEPTUAL UPPER ROOF PLAN  
 A4.0 EXTERIOR ELEVATIONS  
 A4.1 EXTERIOR ELEVATIONS  
 A4.2 EXTERIOR ELEVATIONS  
 A4.3 EXTERIOR ELEVATIONS  
 A5.0 BUILDING SECTIONS  
 A5.1 BUILDING SECTIONS  
 A6.0 CONCEPTUAL UNIT PLANS  
 A6.1 CONCEPTUAL UNIT PLANS  
 A6.2 CONCEPTUAL UNIT PLANS  
 A6.3 CONCEPTUAL UNIT PLANS  
 A6.4 CONCEPTUAL UNIT PLANS  
 A7.0 PARKING & RAMP DATA  
 A7.1 SHADOW STUDIES  
 A7.2 EVA ACCESS PLAN  
 A7.3 TRASH PICKUP DIAGRAM  
 A8.0 COLOR & MATERIAL BOARD

**LANDSCAPE**

L0.01 NOTES AND LEGENDS  
 L0.02 AMENITY AND LIGHTING LEGENDS  
 L0.03 PLANTING LEGEND  
 L1.01 LEVEL 1 LAYOUT PLAN  
 L1.02 LEVEL 4 LAYOUT PLAN  
 L1.03 LEVEL 8 LAYOUT PLAN  
 L2.01 LEVEL 1 PLANTING PLAN  
 L2.02 LEVEL 4 PLANTING PLAN  
 L2.03 LEVEL 8 PLANTING PLAN  
 L2.04 LEVEL 22 PLANTING PLAN  
 L3.01 LEVEL 1 LIGHTING PLAN  
 L3.02 LEVEL 4 LIGHTING PLAN  
 L3.03 LEVEL 8 LIGHTING PLAN

### PROJECT DESCRIPTION

**Background**

The proposed project is located at 600 Barber Lane (APN:86-01-034), which was approved for 18 story, 375 dwelling units and 148,805 square feet of commercial space development on December 2, 2008. BDK has since purchased the site and would like to amend the original entitlement with a new design, consisting of 22 story, 450 dwelling units and 50,000 square feet of commercial space.

APPROVED ENTITLEMENT	STATISTICS	PROPOSED AMENDMENT	NOTES
USE			
Retail	148,805 SF	42,000 SF	Floors 1-3
Office	48,690 SF	8,000 SF	Floors 3
Residential Units	375	450	Floors 4-22
Parking Provided	1,392 SPACES		Includes automate parking system
Story	18	22	
Height	277 FEET	279 FEET 6 INCHES	
Residential Density	125 d.u./acre	150 d.u./acre	
Commercial FAR	1.5	.39	Includes office and retail
Setbacks:			
Front	55 FEET	30 FEET	
North side	40 FEET	27 FEET	
South side	32 FEET	3 FEET	
East side	0 FEET	0 FEET	Portion of side (25-40%)

**Project Description**

The project envisioned by BDK Capital incorporates two graceful modern residential towers rising above a podium level pool and garden space with gym member and resident access. The project offers a contemporary urban experience to customers, visitors and residents, featuring restaurant, retail and extensive amenity space and will incorporate modern public art into the publicly viewable and accessible areas. A state of the art automated parking system delivers automobiles within minutes, to residents and guests limiting emissions and wasted space. This project vision will require certain variances and alternative design solutions as outlined below.

The proposed project requires amendment to the following:

- PARKING**  
 The proposed project will incorporate automated parking system to meet the parking requirements for the project. The system consists of enclosed mechanical lifts that will shuttle the vehicle to a parking rack located in underground storage racks. The underground parking facility has the capacity to store approximately 1200 parking stalls. The proposed system, originally designed to transport materials in nuclear power plants will be a 'smart' system that will be customized to the project needs and will have the ability to recall by smartphones, in order to expedite vehicle pickup. There will be additional regular self-parking stalls provided on levels 1-3 for the project. 20% of the total self parking provided will be tandem spaces which will require conditional use permit. With self-parking and automated parking system, the combined systems will meet or exceed the minimum amount or parking requirements in the city's zoning code.
- BUILDING HEIGHT & SET BACKS**  
 The building height will be increased by 2 feet 6 inches from 277 feet to 279 feet 6 inches. The proposed revision will increase the story from 18 to 22 stories. The building will be sited with 30 feet of front yard, the north side yard will be reduced from 40 feet to 27 feet. The south side yard will be reduced from 32 feet to 0 feet and portion of the east side facing the interstate will not have a setback. The proposed project is requesting for exception to the development standards and the approved entitlement based on the following reasons:  
 a. The exceptions meet the design intent identified within the Zoning District and the Specific Plan and do not detract from the overall architectural, landscaping and site planning integrity of the proposed development.  
 b. The exceptions allow for a public benefit not otherwise obtainable through the strict application of the specified standard.  
 The proposed project will be the tallest in the City of Milpitas and will be identified as a Landmark to the city. The proposed building siting will serve as an example of an urban edge that complies with city's vision of an urban street. The project will provide additional public benefit by providing a new Tiller Fire Ladder Truck and equipment associated training to the Milpitas Fire Department. Refer to additional information on item number 4 below.
- PUBLIC ART**  
 The project will be subject to City's Public Art for Private Development project requirements. The project proposes publicly accessible art onsite.
- FIRE APPARATUS ACCESS - TILLER FIRE LADDER TRUCK**  
 After coordination meeting with the City of Milpitas Fire Department, the project is determined to need a Tiller Fire Ladder Truck that in order to meet the EVA Access Plan on sheet A7.3. The proposed project will provide monetary funds contributing to the acquisition and to fire staff training for such equipment. The funding will be provided to the City of Milpitas at the time of construction permit issuance.

### PROJECT INFORMATION

BICYCLE PARKING (TABLE 53.09-1)	NO. REQ'D	REQ'D	PROVIDED
BICYCLE	5% OF TOTAL REQ'D	74	74

\* 10% WILL BE ALLOCATED FOR VISITOR/PUBLIC USE

SITE COVERAGE (AT STREET LEVEL)	AREA	% SITE
BLDG. AREA @ STREET LEVEL	98,700 SF	75.5%

DENSITY	MIN. DU/ACRE	PROPOSED DU/ACRE	MAX. UNIT MIX:
1 BEDROOM	6		
2 BEDROOM	304		
3 BEDROOM	134		
3 BEDROOM + DEN	6		
TOTAL UNITS	450		

**PROPOSED USE:**

COMMERCIAL RETAIL GROSS FLOOR AREA = 42,000 SF  
 OFFICE: FLOOR GROSS FLOOR AREA = 8,000 SF

RESIDENTIAL CONDOMINIUMS UNITS = 450

**PROJECT STATISTICS:**

OFF-STREET PARKING REQUIREMENT:

SPACE/DU	#DU	REQ'D STALLS
1 BEDROOM	1.5/DU	6 /DU
2 BEDROOM	2/DU	304 /DU
3 BEDROOM	2/DU	140 /DU
TOTAL RESIDENTIAL		450

GUEST PARKING 15% OF TOTAL REQ'D 135  
 RETAIL 1 PER 250 SF 168  
 OFFICE 1 PER 240 SF 34

**TOTAL REQUIRED PARKING 1,234**

**AUTOMATED PARKING:**

LEVEL	TOTAL
LEVEL A	1,200
TOTAL	1,200

**SELF PARKING:**

LEVEL	ACCESSIBLE STALLS
LEVEL 1	11
LEVEL 2	85 (32 COMPACT & 6 TANDEM)
LEVEL 3	87 (23 COMPACT & 30 TANDEM)
TOTAL	183

**TOTAL PARKING PROVIDED: 1,383 (11 ACCESSIBLE STALLS 6% OF SELF-PARKING PROVIDED)**

**SCOPE OF WORK:**

THE PROPOSED PROJECT IS A MIXED-USE BUILDING WITH TWO 19-STORY RESIDENTIAL TOWERS OVER 4-STORY OF PARKING WITH OVERALL OF 22 STORIES WITH 1 TO 2 LEVELS OF SUBTERRANEAN PARKING STRUCTURE. THE BUILDING WILL BE HAVE 450 RESIDENTIAL UNITS WITH SUPPORTING RETAIL AND OFFICES.

ADDRESS: 600 BARBER LINE, MILPITAS, CA  
 ANP: 086-01-0334  
 SITE AREA : SITE AREA :3.00 GROSS AXRES +/- OR 130,728 SF+/-

GENERAL PLAN AND ZONING: MIXED USE, VERY HIGH DENSITY (MXD3) HIGHRISE OVERLAY (HR)

DENSITY: 150 UNIT/ACRE MAXIMUM  
 HEIGHT LIMITATION: 20 STORIES  
 PROPOSED AMENDED HEIGHT: 22 STORIES (SEE BUILDING ELEVATION)

PROPOSED FLOOR AREA RATIO (FAR): .39 (2.0 MAX) FOR COMMERCIAL ONLY AND EXCLUDES GARAGE)

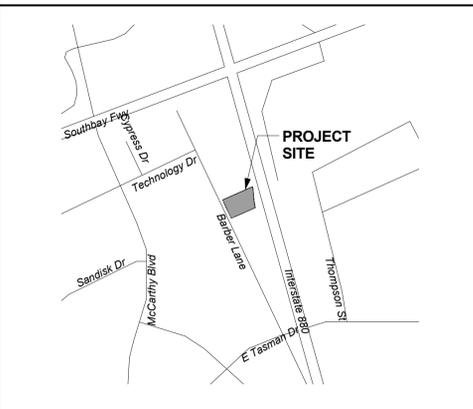
**SETBACKS REQUIREMENTS:**

FRONT: 12 FEET MIN. - 20 FEET MAX. (AS CLOSE TO EASEMENT AS POSSIBLE) 30 FEET - MODIFICATION TO CITY SETBACK REQ'D

SIDE: 20 FEET OVER 60 FEET OR 4 STORIES TALL 26 FEET @ NORTHERN BOUNDARY 0 FEET @ SOUTHERN BOUNDARY

REAR: 30 FEET OVER 60 FEET OR 4 STORIES TALL 0 FEET

### VICINITY MAP



### PROJECT TEAM

DEVELOPER	ARCHITECT
<b>BDK CAPITAL, LLC</b> 2 NORTH LAKE, 11th Floor PASADENA, CA 91106 PHONE (714) 832-5100	<b>MVE &amp; PARTNERS</b> 1900 MAIN STREET, SUITE 800 IRVINE, CA 92614 PHONE (949) 809-3388
CIVIL ENGINEER	LANDSCAPE ARCHITECTS
<b>MARK THOMAS &amp; COMPANY</b> 1960 ZANKER RD SAN JOSE, CA 95112 PHONE (408) 453-5373	<b>SWA GROUP</b> 570 GLENNEIRE STREET LAGUNA BEACH, CA 92651-2453 PHONE (949) 497-5471

**OPEN SPACE SUMMARY**

SPACE TYPE	LEVEL	AREA (SF)
PUBLIC OPEN SPACE	LEVEL 1	52,475 SF
PUBLIC LOUNGE	LEVEL 3	5,290 SF
CLUB ROOM	LEVEL 4	1,515 SF
PUBLIC OPEN SPACE	LEVEL 4	20,400 SF
POOL DECK 1	LEVEL 4	7,729 SF
PODIUM OPEN SPACE	LEVEL 4	12,669 SF
POOL DECK 2	LEVEL 8	6,320 SF
ROOF TOP SPACE	NORTH TOWER	8,290 SF
ROOF TOP SPACE	SOUTH TOWER	8,290 SF
BALCONIES/ PRIVATE SPACE		16,610 SF
TOTAL	REQUIREMENT NOT SPECIFIED	139,588 SF PROVIDED

\*INCLUDES OPEN SPACE, AMENITY SPACES & PRIVATE BALCONIES.

**NOTE:**

1. AUTOMATED PARKING LIFTS ARE HAVE ADA CLEARANCE AND CONSIDERED ACCESSIBLE STALLS  
 2. ANY ADDITIONAL PARKING OVER REQUIREMENT INDICATED IS PRELIMINARY

GENERAL DEVELOPMENT PLAN FOR:

Milpitas Landmark Towers

MILPITAS, CALIFORNIA

BDK Capital, LLC

SHEET TITLE  
TITLE/SHEET INDEX/PROJECT INFORMATION

SHEET NUMBER  
**A1.0**

JOB NO. 2014-10248  
DATE AS NOTED  
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS, INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS, INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET

# MILPITAS LANDMARK TOWERS

## A MIXED-USE DEVELOPMENT

### MILPITAS, CALIFORNIA

# TENTATIVE SUBDIVISION MAP

## ONE-LOT SUBDIVISION FOR CONDOMINIUM PURPOSES



VICINITY MAP  
NOT TO SCALE

**APPLICANT/DEVELOPER**

BDK CAPITAL, LLC  
2 NORTH LAKE, 11TH FLOOR  
PASADENA, CA 91106  
PHONE (714) 832-5100  
CONTACT:  
ROBERT RITNER  
714-832-5100 EXT. 102

**NOTES**

1. APN: 086-01-034
2. EXISTING PARCEL SIZE: 3.0 ACRES
3. ADDRESS: 600 BARBER LANE
4. EX. ZONING: C2 (GENERAL COMMERCIAL)
5. PROPOSED ZONING: MMD (MIXED USE)
6. SEWER: CITY OF MILPITAS
7. WATER: CITY OF MILPITAS (SVCWD ZONE 1)
8. ELECTRICAL: PG&E
9. GAS: PAC BELL
10. PHONE: PG&E
11. FIRE: MILPITAS FIRE DEPARTMENT
12. CABLE: COMCAST
13. UTILITIES: ALL UTILITIES WITHIN THE SUBDIVISION ARE PRIVATELY OWNED & MAINTAINED, UNLESS OTHERWISE SPECIFIED
14. DATUM: CITY OF MILPITAS
15. EXISTING WELLS ON SITE: NONE
16. PROPOSED USE:
  - CONDOMINIUM 450 UNITS
  - OFFICE 8,000 SF
  - COMMERCIAL 42,000 SF
17. ALL IMPROVEMENTS SHOWN ON MAP ARE CONCEPTUAL AND SUBJECT TO CHANGE TO THE CITY ENGINEER'S SATISFACTION.

**SHEET INDEX**

1. TENTATIVE SUBDIVISION MAP
2. CROSS-SECTIONS/ DETAILS
3. EXISTING TOPOGRAPHY/ DEMO PLAN

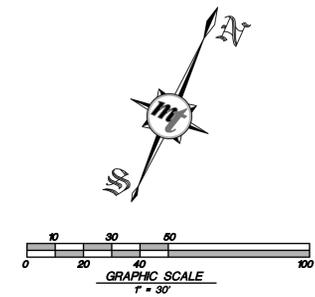
**SUBDIVISION TENTATIVE MAP**

This Map has been reviewed by the City Engineer.

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

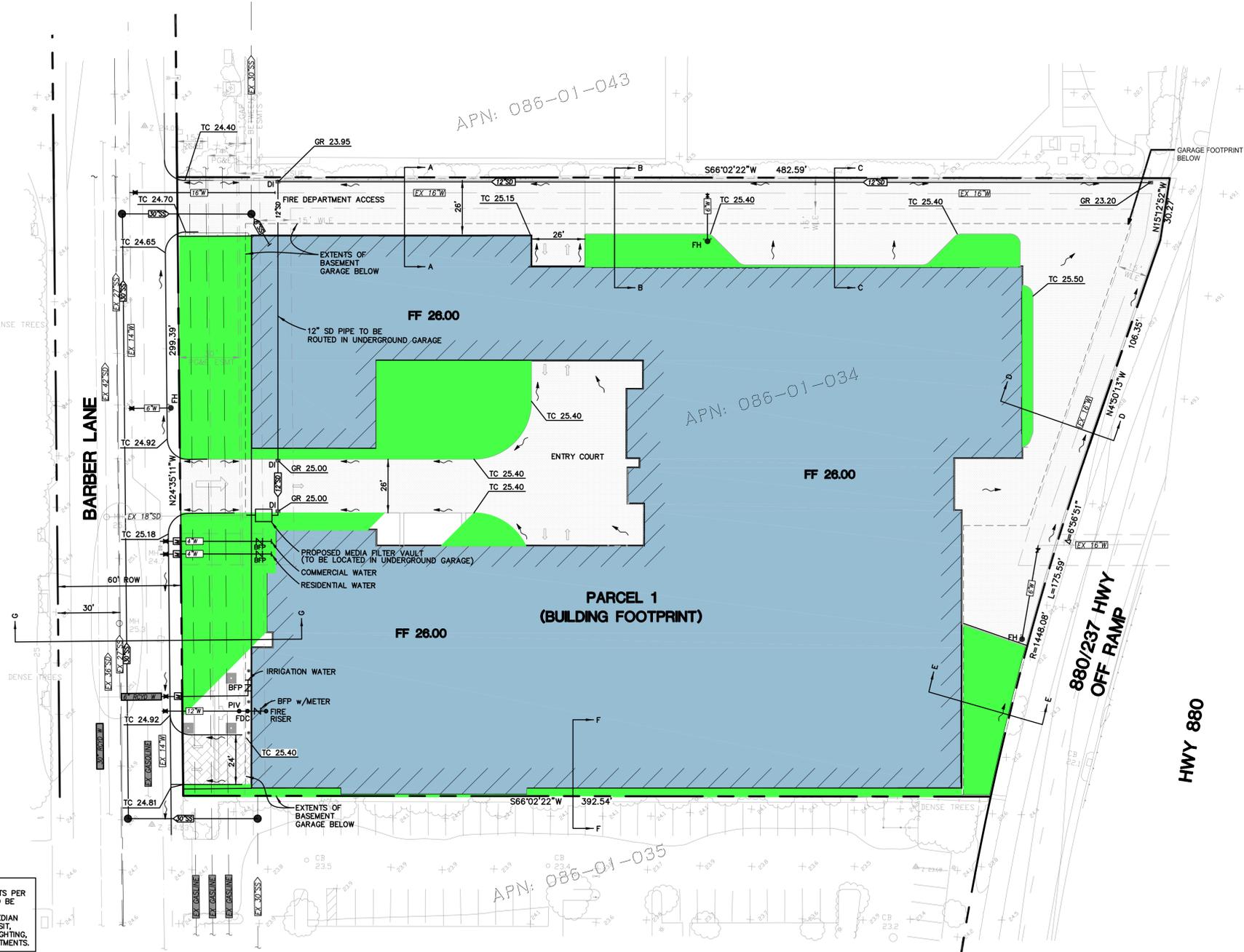
Recommended for Approval by the Milpitas Planning Commission, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and Approved by the Milpitas City Council this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Planning & Neighborhood Services Director \_\_\_\_\_ Date \_\_\_\_\_

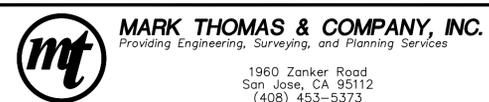


**LEGEND**

- STREET CENTER LINE
- PROPERTY LINE
- PROPOSED BUILDING
- EASEMENT
- PROPOSED 6" FIRE LINE, BURY, HYDRANT
- POST INDICATOR VALVE
- BACK FLOW PREVENTER
- DRAIN INLET
- PROPOSED CITY STANDARD MANHOLE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED RECYCLED WATER LINE
- EXISTING CITY STANDARD MANHOLE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING GASLINE
- LANDSCAPED SURFACE WATER FLOW
- PAVED SURFACE WATER FLOW
- CURB AND SIDEWALK
- PROPOSED BUILDING FOOTPRINT

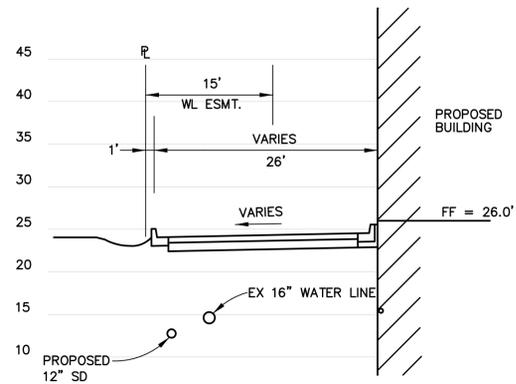


NOTE:  
OFF-SITE IMPROVEMENTS PER CITY REQUIREMENTS TO BE DETERMINED INCLUDING ROADWAY MARKING, MEDIAN ISLANDS, PUBLIC TRANSIT, LANDSCAPE, STREET LIGHTING, AND PEDESTRIAN TREATMENTS.

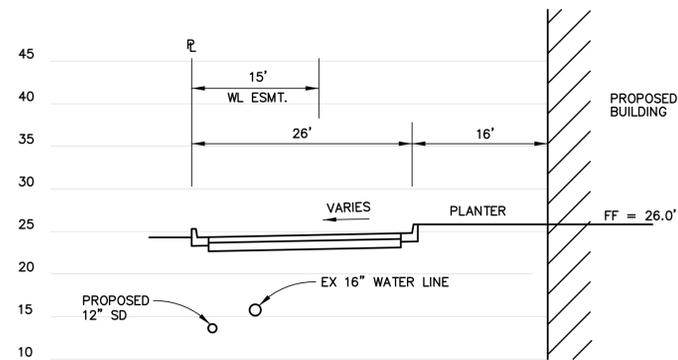


DESIGNED BY	NUM	DATE	BY	REVISIONS	CITY ENGINEER APPROVAL	DATE
CCC	▲					
CCC	▲					
MTF	▲	10/22/15				
MTF	▲					

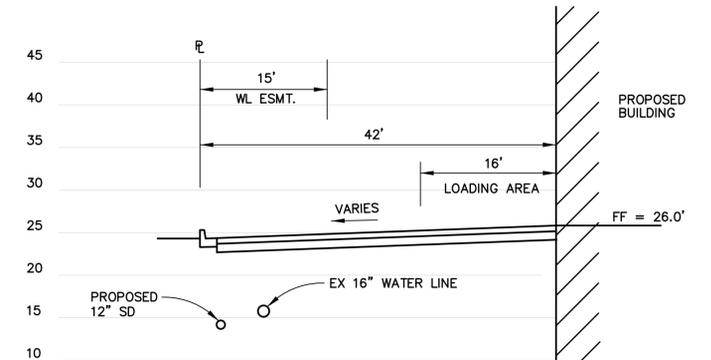
10/23/2015 - ENTITLEMENT REVISION SET



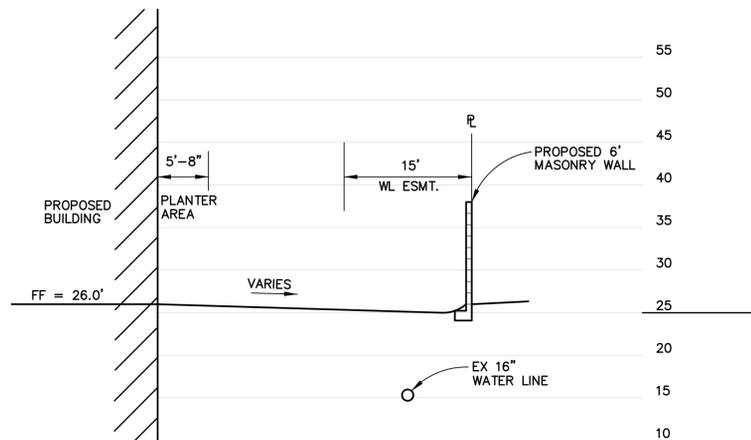
**SECTION A-A**  
NTS



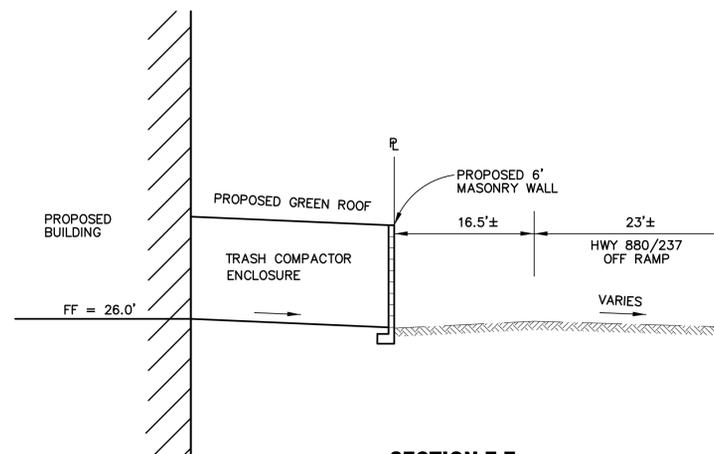
**SECTION B-B**  
NTS



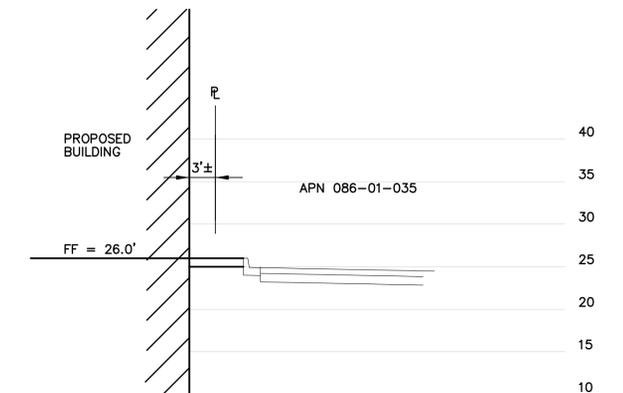
**SECTION C-C**  
NTS



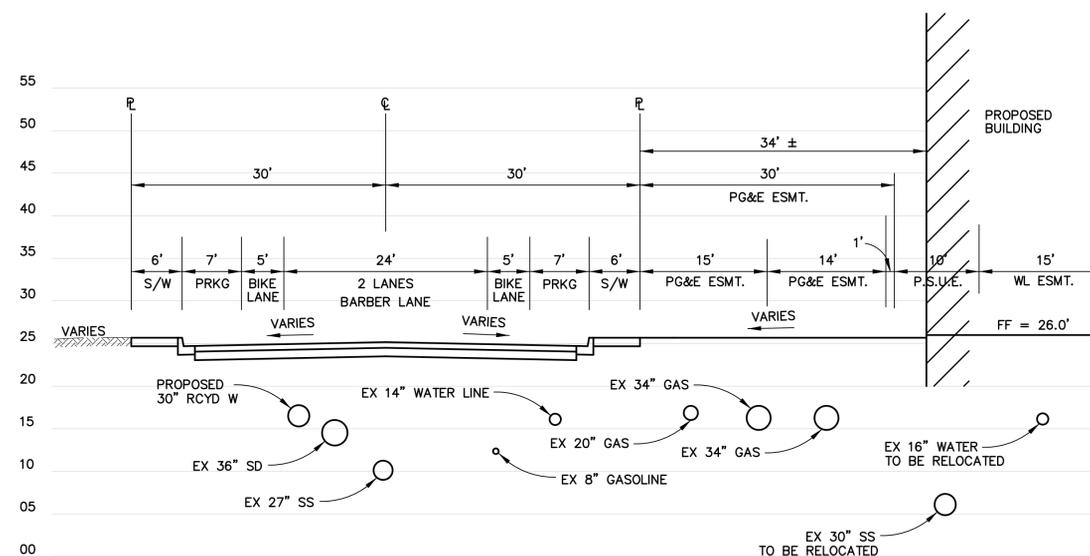
**SECTION D-D**  
NTS



**SECTION E-E**  
NTS



**SECTION F-F**  
NTS



**SECTION G-G**  
NTS

**NOTES:**

THESE DETAIL SKETCHES ARE FOR CONCEPTUAL PURPOSES ONLY AND NOT MEANT FOR DESIGN. ALL UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED ON THE SITE IMPROVEMENT PLANS.



**MARK THOMAS & COMPANY, INC.**  
Providing Engineering, Surveying, and Planning Services

1960 Zanker Road  
San Jose, CA 95112  
(408) 453-5373

DESIGNED BY :	NUM	DATE	BY	REVISIONS	CITY ENGINEER APPROVAL	DATE
CCC	▲					
CCC	▲					
MTF	▲					
10/22/15	▲					
NTS	▲					

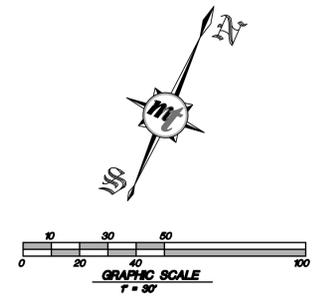
MILPITAS,

**MILPITAS LANDMARK TOWERS**  
**CROSS-SECTIONS/ DETAILS**

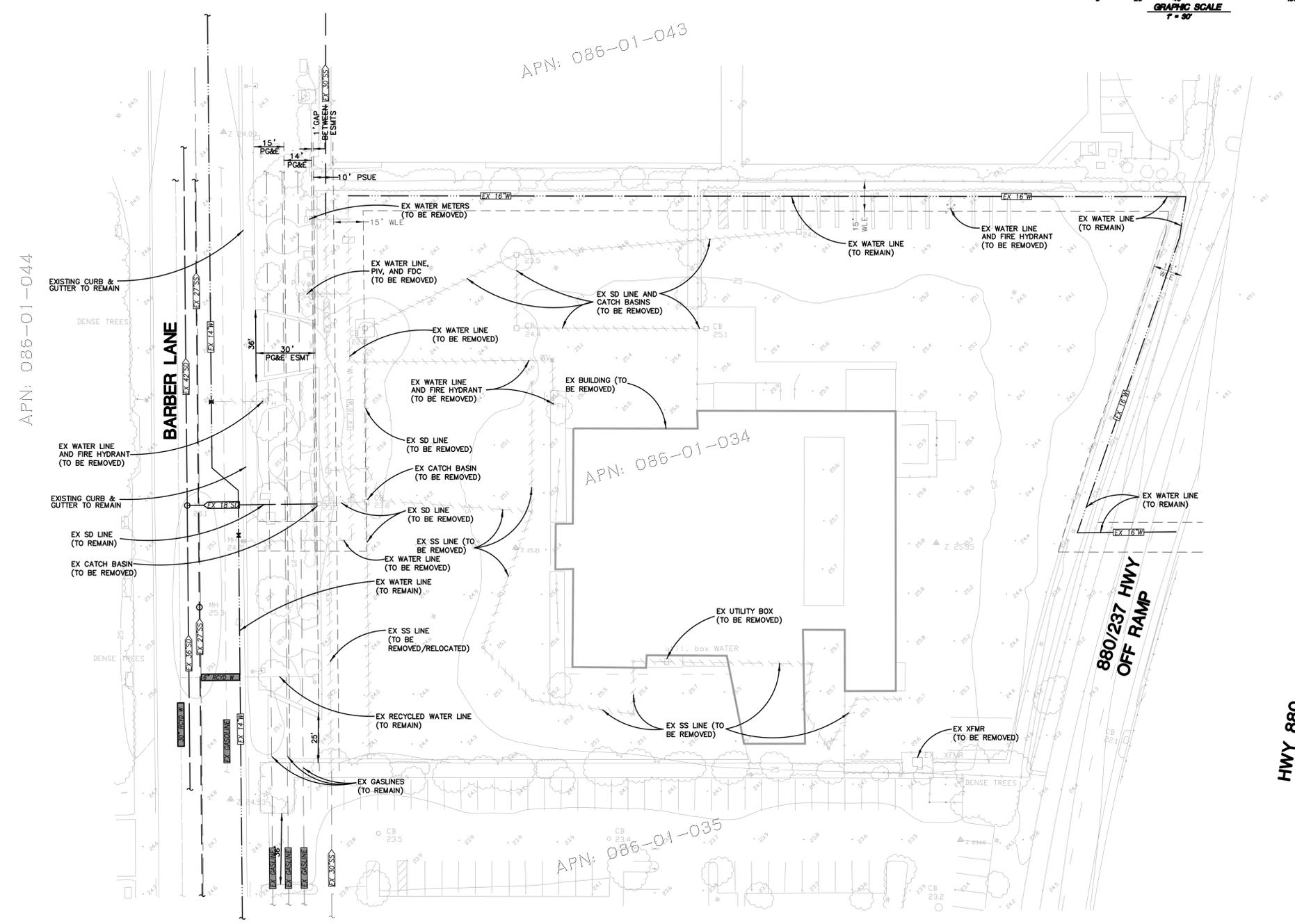
CALIFORNIA

**2**  
**OF 3**  
FILE NO.  
SJ-15115

10/23/2015 - ENTITLEMENT REVISION SET



**NOTES:**  
 ALL UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION. UTILITY LOCATIONS AND SIZES SHOWN ARE APPROXIMATE ONLY. CONTACT UTILITY COMPANIES AND USA NORTH FOR EXACT LOCATIONS. USA NORTH (1-800-227-2600 OR 811)

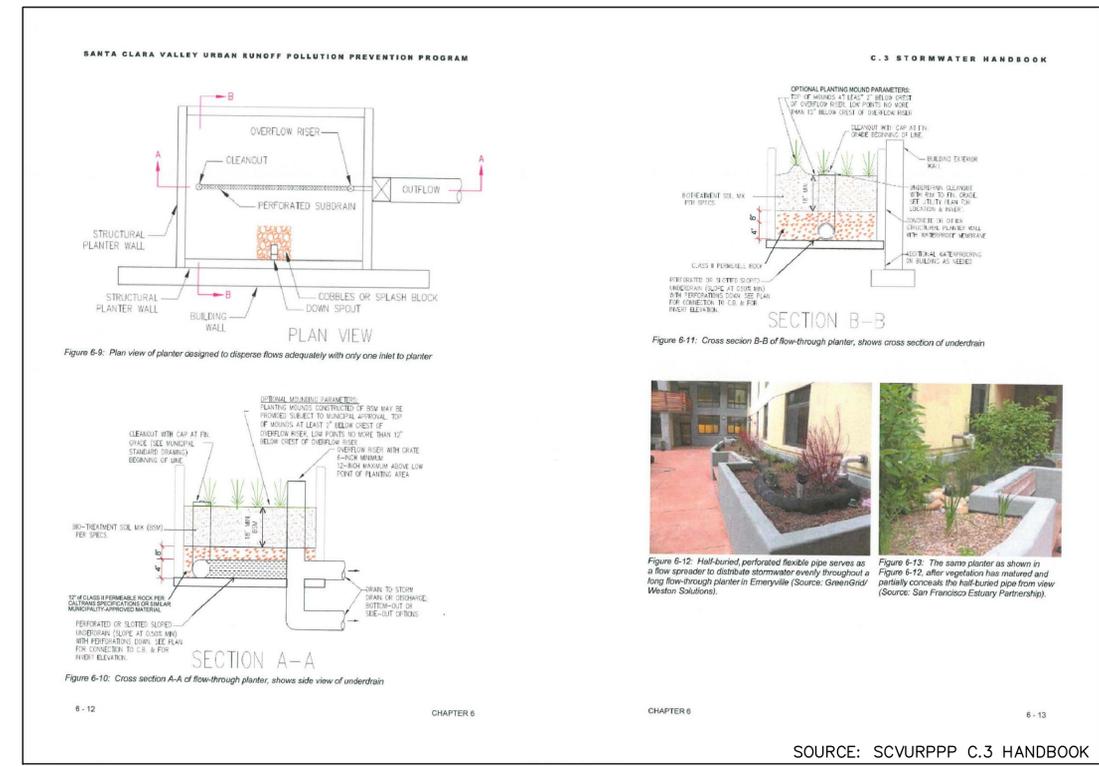
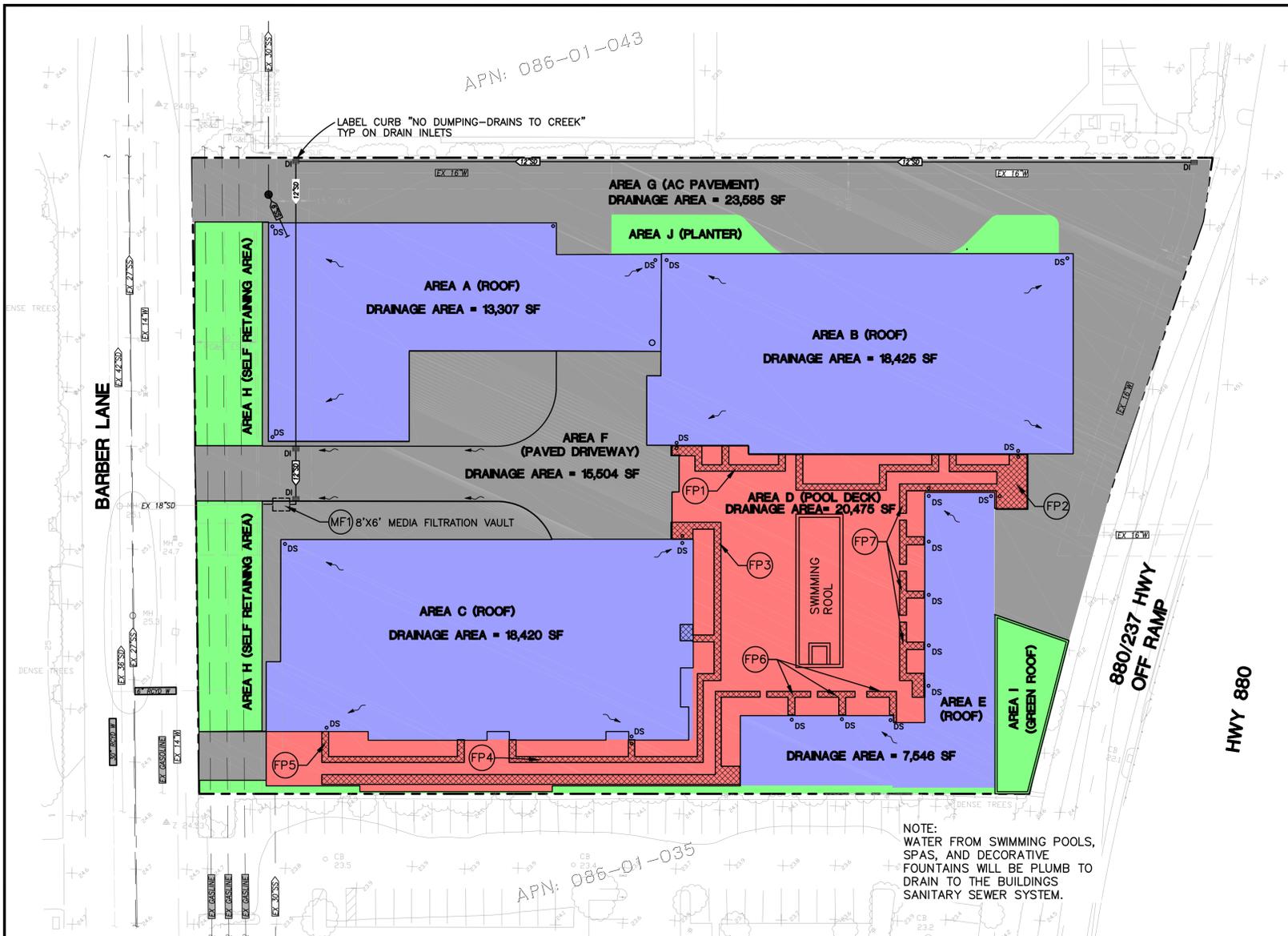


**LEGEND**

	STREET CENTER LINE
	PROPERTY LINE
	EX BUILDING
	EASEMENT
	EX FIRE HYDRANT
	EX CATCH BASIN
	EX MANHOLE
	EXISTING WATER LINE (TO REMAIN)
	EXISTING SANITARY SEWER LINE (TO REMAIN)
	EXISTING STORM DRAIN LINE (TO REMAIN)
	EXISTING GASLINE (TO REMAIN)
	EXISTING WATER LINE (TO BE REMOVED/RELOCATED)
	EXISTING SANITARY SEWER LINE (TO BE REMOVED/RELOCATED)
	EXISTING STORM DRAIN LINE (TO BE REMOVED)

DESIGNED BY :	NUM	DATE	BY	REVISIONS	CITY ENGINEER APPROVAL	DATE
CCC	▲					
CCC	▲					
MTF	▲					
10/22/15	▲					
1\"/>						

10/23/2015 - ENTITLEMENT REVISION SET



**RAISED FLOW-THROUGH PLANTER CONCEPT**

N.T.S.

IMPERVIOUS AREA ID	AREA (SF)	SURFACE AREA TREATED (SF)	TREATMENT MEASURE	LOCATION	SIZE REQ'D 4% RULE	SIZE DESIGNED
AREA A	13,307	(100%) 13,307	MEDIA FILTRATION VAULT	MF1	-	8'x6'
AREA B	18,425	(50%) 9,213	MEDIA FILTRATION VAULT	MF1	-	8'x6'
		(25%) 4,606	FLOW THROUGH PLANTER	FP1	185 SF	255 SF
AREA C	18,420	(25%) 4,605	MEDIA FILTRATION VAULT	MF1	-	8'x6'
		(25%) 4,605	FLOW THROUGH PLANTER	FP3	185 SF	430 SF
AREA D	20,475	(100%) 20,475	MEDIA FILTRATION VAULT	MF1	-	8'x6'
		(50%) 3,773	FLOW THROUGH PLANTER	FP6	151 SF	230 SF
AREA E	7,546	(50%) 3,773	FLOW THROUGH PLANTER	FP7	151 SF	380 SF
		(25%) 4,605	FLOW THROUGH PLANTER	FP4	185 SF	430 SF
AREA F	15,504	(100%) 15,504	MEDIA FILTRATION VAULT	MF1	-	8'x6'
AREA G	23,585	(100%) 23,585	MEDIA FILTRATION VAULT	MF1	-	8'x6'
TOTAL	117,262					

TOTAL IMPERVIOUS AREA TO BE TREATED UNDER C.3 REQUIREMENTS = 117,262 SF

NOTE: WATER FROM SWIMMING POOLS, SPAS, AND DECORATIVE FOUNTAINS WILL BE PLUMB TO DRAIN TO THE BUILDINGS SANITARY SEWER SYSTEM.

THIS PROJECT QUALIFIES AS A "SPECIAL PROJECT" UNDER CATEGORY C: TRANSIT ORIENTED DEVELOPMENT. THE CALCULATED ALLOWABLE LID TREATMENT REDUCTION CREDIT IS UP TO 75%.

TOTAL RUNOFF TO BE TREATED BY NON-LID FACILITY = (0.75) 117,262 = 87,947 SF

NON-LID TREATMENT FACILITY TO BE USED WILL BE MEDIA FILTRATION VAULT.

TOTAL DRAINAGE AREA ROUTED TO MEDIA FILTRATION VAULT:

FULL AREA A=13,307 SF  
 1/2 AREA B=18,425/2= 9,213 SF  
 1/4 AREA C=18,420/4= 4,605 SF  
 FULL AREA D=20,475 SF  
 FULL AREA F=15,504 SF  
 FULL AREA G=23,585 SF

TOTAL AREA = 86,689 SF = 2.00 Ac

DESIGN FLOW, Q

Q=CIA  
 Q=cfs  
 C=0.80 (Concrete)  
 I= 0.2 in/hr  
 A=area = 2.00

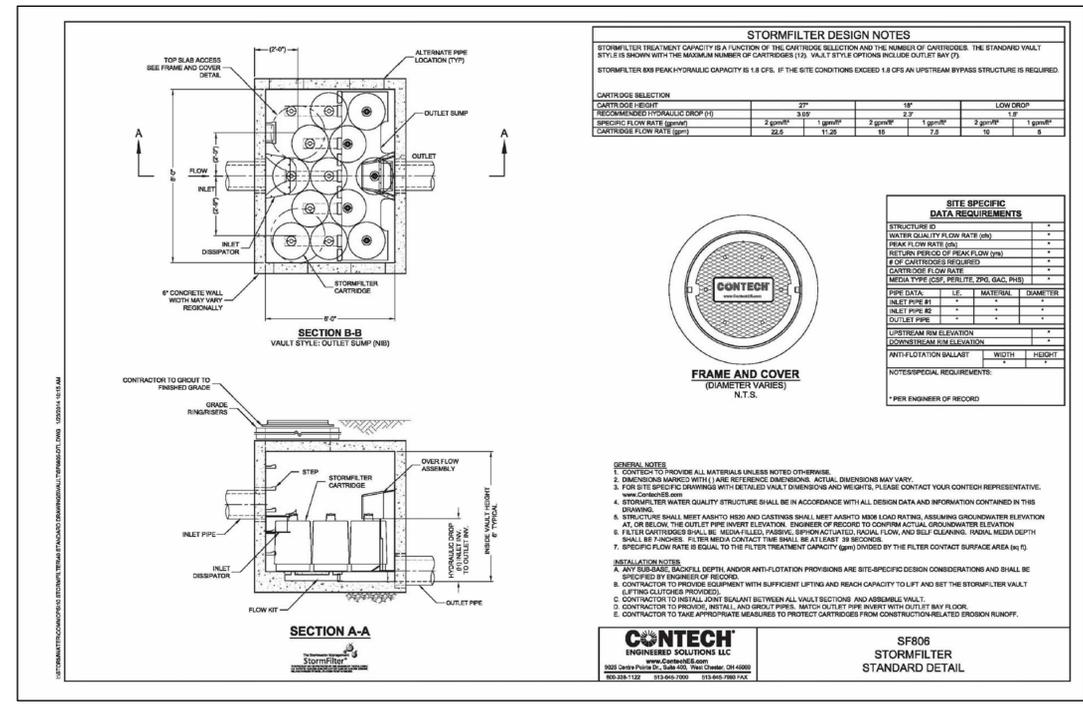
AN 18" CARTRIDGE CAN TREAT 15 gpm OF FLOW

THEREFORE:

NO. OF CARTRIDGE =144 gpm/15 gpm = 10 CARTRIDGES

Q=(0.8)(0.2)(2.00) = 0.32 cfs or 144 gpm

THIS PROJECT WILL USE AN 8'x6' MEDIA FILTRATION VAULT WITH 10-18" CARTRIDGES

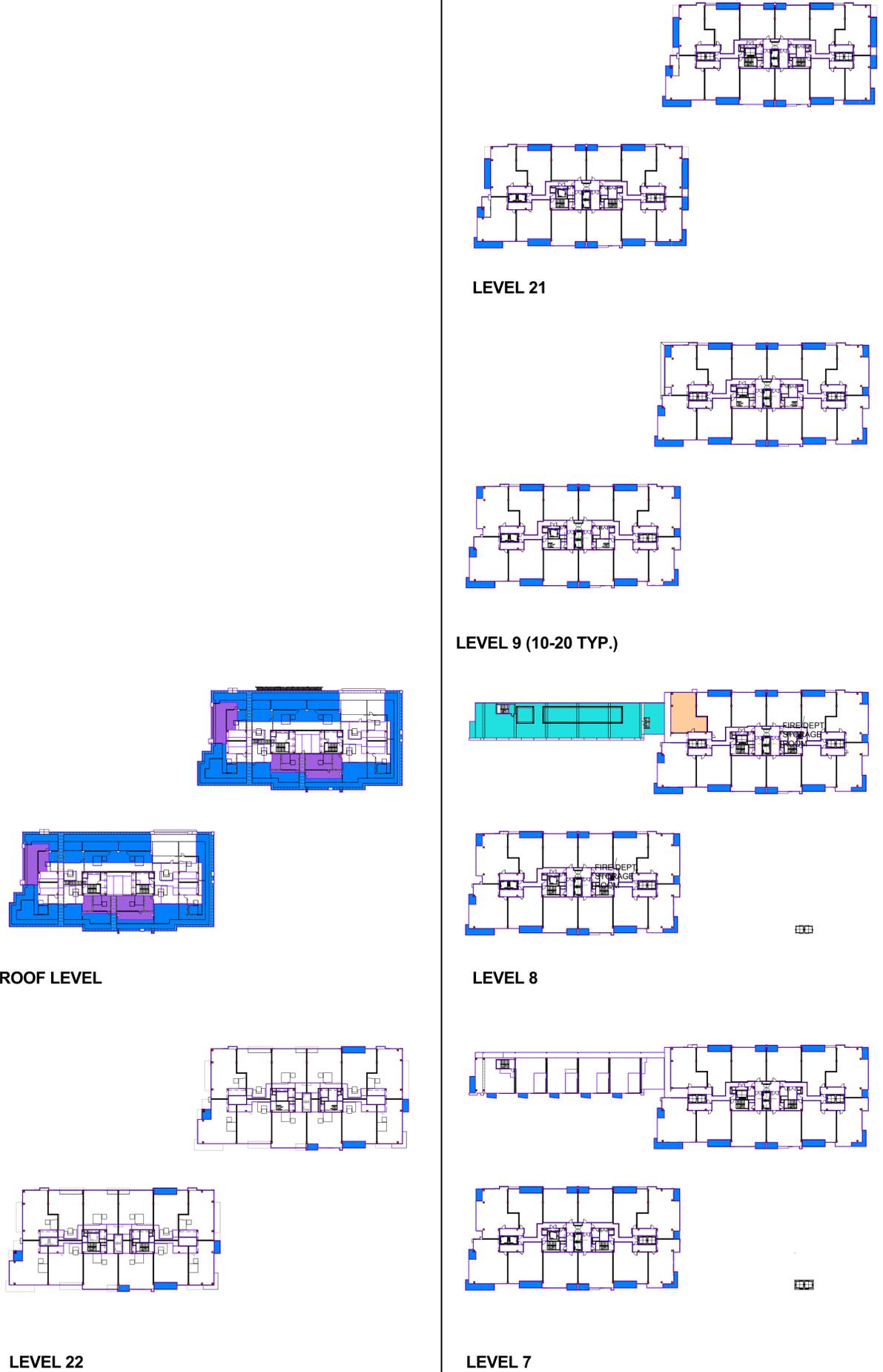


**MEDIA FILTRATION VAULT CONCEPT**

N.T.S.

DESIGNED BY	NUM	DATE	BY	REVISIONS	CITY ENGINEER APPROVAL	DATE
CCC	▲					
CCC	▲					
MTF	▲					
MTF	▲	10/22/15				
NONE	▲					

10/23/2015 - ENTITLEMENT REVISION SET



LEVEL 21

LEVEL 9 (10-20 TYP.)

LEVEL 8

LEVEL 7

ROOF LEVEL

LEVEL 22



LEVEL 6

LEVEL 5

LEVEL 4

LEVEL 1



BLDG FOOTPRINT COMPARISON

INDICATES EXTENT OF PREVIOUSLY ENTITLED BUILDING FOOTPRINT

AREA SUMMARY OPEN SPACE SCHEDULE			
Level	Area	Count	Comments
Level 1	9,778 SF	3	Exterior Area
Level 3	4,181 SF	6	Exterior Area
Level 4	24,883 SF	33	Exterior Area
Level 5	3,474 SF	41	Exterior Area
Level 6	10,011 SF	39	Exterior Area
Level 7	3,816 SF	34	Exterior Area
Level 8	7,878 SF	27	Exterior Area
Level 9	2,730 SF	29	Exterior Area
Level 10	2,687 SF	28	Exterior Area
Level 11	2,687 SF	28	Exterior Area
Level 12	2,687 SF	28	Exterior Area
Level 13	2,687 SF	28	Exterior Area
Level 14	2,687 SF	28	Exterior Area
Level 15	2,687 SF	28	Exterior Area
Level 16	2,687 SF	28	Exterior Area
Level 17	2,687 SF	28	Exterior Area
Level 18	2,687 SF	28	Exterior Area
Level 19	2,687 SF	28	Exterior Area
Level 20	2,687 SF	28	Exterior Area
Level 21	3,644 SF	26	Exterior Area
Level 22	1,021 SF	12	Exterior Area
100,970 SF			

OPEN SPACE SCHEDULE

GENERAL DEVELOPMENT PLAN FOR:

Milpitas Landmark Towers

MILPITAS, CALIFORNIA

BDK Capital, LLC

SHEET TITLE  
OPEN SPACE  
DIAGRAMS, CALCS  
& BLDG FOOTPRINT  
COMPARISON

SHEET NUMBER  
A1.1

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



## BUILDING DEPARTMENT NOTES

- Applicable codes shall be 2013 CBC, CMG, CEC, CPC, Green Building Standards Code, California Energy Code and 2014 Milpitas Municipal Code.
- Buildings shall meet LEED Silver threshold as per 2014 MMC sec. 11-20-3.01.
- Applicant shall apply for new building addresses prior to submitting for building permit.
- Condominium building shall be classified as group R2 occupancy as per 2013 CBC sec. 310. Garages exceeding 3,000 square feet shall be classified as S-2 occupancy as per sec.311.
- Residential high-rise buildings shall be Type IA construction minimum per 2013 CBC sec.503.1 and Table 503. Type of construction may be reduced to type 1B construction as per sec.403.2.1.1.
- In buildings with an occupied floor more than 120 feet above the lowest level of fire department vehicle access, a minimum of two fire service access elevators shall be provided in accordance with 2013 CBC sec. 3007 as per sec.403.6.1.
- The maximum area of protected and unprotected openings in exterior walls shall comply with 2013 CBC sec.705.8. At wall located 3 feet from property line only 15% of unprotected openings in a wall per floor are permitted.
- Wall and floor separating units in the same building and separating units from other occupancies are required to be one-hour fire resistive construction minimum per 2013 CBC, section 420, 708 and 711 or as required by Table 601, whichever is larger.
- Corridor with occupant load over 10 shall be one-hour rated with 20-minute doors leading to it per 2013 CBC section 1018.1.
- Minimum no. of exits shall be provided per 2013 CBC Table 1021.1 and the exits provided shall comply with 2013 CBC sec. 1019 through 1027. The required number of exits from any story shall be maintained until arrival at grade or public way per 2013 CBC sec. 1021.1. Elevator shall not be used as a component of a required means of egress per 2013 CBC sec. 1003.7, unless it is a required accessible exit as per sec.1007.1.
- Exit stair enclosures shall not provide exit through corridor as per 2013 CBC sec. 1022.1.
- Exit from exit courts shall not reenter exit access as per 2013 CBC sec. 1027.1 and sec. 1027.2.
- Required exit courts to which escape bedroom windows are open, shall be provided with exiting as per 2013 CBC sec.1027.1.
- Elevators opening into corridor shall be provided with an elevator lobby as per 2013 CBC section 713.14.1. The lobby shall completely separate the elevator from corridor by fire or smoke partition.
- Elevator shall be enclosed in a 2-hr shaft enclosure per 2013 CBC section 713.4. 16.An enclosed elevator lobby shall be provided at each floor without exception for fire sprinklered building per 2013 CBC sec. 713.14.1.
- Interior stairway shall be enclosed in a rated enclosure as per 2013 CBC section 1022.2.
- All required stairway in a high rise building shall have an approved hatch openable to the exterior per 2013 CBC section 1009.16.
- Roofing material shall be Class B minimum as per 2013 CBC, Table 1505.1
- In the assembly occupancies, such as restaurants, clubhouses, etc. doors shall swing in the direction of exit per 2013 CBC sec. 1008.1.2. Exit doors from assembly occupancy shall be provided with panic hardware per section 1008.1.10 and exit signs per section 1011.1.
- Building that house group A occupancy shall front directly on or discharge to a public street not less than 20 feet in width per 2013 section 1028.2 and 1028.3. The main entrance to the building shall be located on a public street or on the exit discharge.
- Required separation in buildings with mixed occupancies shall be per 2013 CBC sec.508.
- Occupant load factor for assembly and multi-use room without fixed seats shall be 1 occupant per 7 sq. ft as per 2013 CBC, Table 1004.1.2.
- At least one stairway shall extend to the roof surface as per 2013 CBC section 1009.16.
- Exterior openings required for natural light shall open directly onto a public way, yard or court as set forth in 2013 CBC sec. 1205.1.
- Provide acoustical report to determine sound insulation requirements for at least exterior walls. Interior sound insulation shall be as per 2013 CBC sec.1207 or as per acoustical report.
- Dwelling units, which has non-openable windows as required by acoustical report shall be provided with mechanical ventilation as per 2013 CBC sec.1203.1 and 2013 CMC sec.402.3. As per City policy BDP-ME05, City does not allow the use of exhaust only fans to achieve the fresh outside air requirement through infiltration.
- Mechanical ventilation in the units shall not be provided through infiltration by use of exhaust fans only as per City Policy BDP-ME05.
- If cloth dryer exhaust exceeds 14 feet as per mitted by 2013 CMC, booster fan is permitted to be used under "Alternate Method and Materials application" when conditions described in City Policy BDP-ME02 satisfied.
- Bicycle short term and long term parking shall be provided as per 2013 California Green Building Standards Code sec.5.106.4.1.
- Clean air vehicle parking shall be provided as per 2013 California Green Building Standards Code sec.5.106.5.2. As per City policy BDP-BLG17 if EV charging stations are provided at least one such parking space shall be accessible and accessible EV charging parking space shall not be counted as one of the required accessible parking spaces as required by CBC, because the space is allowed to be used by non-disabled people.

### ACCESSIBILITY

- People with disabilities accessible parking shall be provided per 2013 CBC, section 1109A.3 (2% shall be accessible of the covered dwelling units). Signage is not required.
- Each type of parking shall be accessible as per 2013 CBC sec. 1009A.3 and 1009A.4.
- If visitor parking is provided, a minimum of 5% parking stalls shall be accessible and shall be provided with signage as per 2013 CBC sec. 1009A.5.
- Accessible parking spaces shall be located closest to the accessible entrances as per 2013 CBC per sec. 1009A.7.
- One in every eight accessible parking spaces shall be "Van accessible", but not less than one per 2013 CBC section 1109A.8.6.
- An accessible route of travel shall be provided to all accessible building entrances. At least one accessible route shall be providing station stop, accessible parking and public street to building entrance per 2013 CBC section 1110A.1.
- Accessibility signs shall be provided at every primary public entrance and at every major junction along or leading to an accessible route of travel and at building entrance that are accessible per 2013 CBC, section 1110A.2.
- All primary entrances and required exit doors to building and facilities shall be accessible to people with disabilities per 2013 CBC, section 1117A.2.
- At least one accessible means of egress shall be an elevator as per 2013 CBC sec.1007.2.1, unless building is provided with both approved automatic fire sprinkler system and horizontal exit at each floor.
- All entrances to and vertical clearances within parking structures shall have a minimum of 8 feet 2 inches where required for persons with disabilities per 2010 CBC section 1109A.8.1.
- Each accessible portion of the space shall be served by accessible means of egress in at least the same number as required by 2013 CBC sec. 1015.1 or 1021.1 per sec. 1007.1.
- Areas of refuge shall be provided with a 2-way communication system between the area of refuge and a central control point per 2013 CBC sec. 1007.6.3.
- All elevators shall be accessible as per 2013 CBC section 1124A.
- All elevators in high-rise buildings shall be provided with not less than one medical emergency service to all landings meeting the provisions of 2013 CBC sec. 3002.4a.
- If an elevator is considered as part of an accessible means of egress, it shall comply with the emergency operation, signaling device and standby power requirements and shall be accessed from an area of refuge per 2013 CBC sec. 1007.4.
- Bathing and toilet facilities within covered multifamily dwelling units shall comply with 2013 CBC sec. 1134A.
- Provide maneuvering clearance at all interior doors per 2013 CBC sec. 1132A.5 and at each unit entrance, doors and exit doors per 2013 CBC sec. 1128A.3.
- Kitchens within covered multifamily dwelling units shall comply with 2013 CBC sec. 1133A.
- Covered multifamily dwellings served by an elevator shall be designed and constructed to provide at least one accessible entrance on an accessible route per 2013 CBC sec. 1106A.1 and the units shall be adaptable and accessible into and throughout the dwelling unit as provided in Division IV per 2013 CBC sec. 1128A.

### PUBLIC AND COMMON AREA

- Public-use and common-use areas shall be accessible per 2013 CBC section 1127A.
- Clubhouse, swimming pools and all common facilities shall be fully accessible to people with disabilities per 2013 CBC sections 1102A.4, sec.1141A and sec.1127A.

### ENGINEERING

- A soil report shall be provided when applying for grading, site improvement and building permit. Geotechnical report shall be reviewed and approved by City consultant.
- Paving of driveways and parking lot shall comply with 2014 MMC section 11-13-18.
- Non-structural concrete flat work shall be as per 2014 Milpitas Municipal Code, section 11-13-17.05.
- Erosion and sediment control plan shall be submitted when applying for grading permit as per 2014 Milpitas Municipal Code sec. 11-13-10.

### ELECTRICAL

- All new electrical services shall be underground per 2014 Milpitas Municipal Code section 11-6-2.02.
- The main services disconnect shall be located in the first floor of the building per 2014 Milpitas Municipal Code 11-6-2.03.
- Grounding system shall comply with 2014 Milpitas Municipal Code sec.11-6-2.04.

- 1-Rapid Intervention Pack (RIT) (location to be determined by Fire agency)
- 1-Evacuation Chair (Stynger Model 6253 (per side)
- Air Bottles: Fixed SCBA bottle storage rack, number of bottles to be determined by the fire agency. A minimum capacity for 8 bottles per alcourt shall be provided. Individual rack slots should be positioned for horizontal storage, and be oversized to accommodate changes in bottle sizes. Product Brand and Model shall be approved by the Fire Department.

- Equipment maintenance, inspection and required certification(s) shall be the responsibility of the building owner.

"When required, an air bottle filling system shall have the fill access port located at a reasonable distance from each structure that takes into account debris fall out & collapse zones. A 'monument-type' fill station port should be located near a public roadway, not adjacent to the structure. The underground piping system, designed and installed with stainless steel welded fittings and piping, should terminate at this monument. A weather tight access panel with Knox- box key entry should also be provided. The storage system should be designed to provide enough air @ 4500 psig for up to fifty 45 minute bottles, prior to augmentation by an outside air source.

### Emergency Helicopter Landing Facilities (EHLF)

- General. Proplanning emergency landing areas will result in safer and more effective air-support operations. These facilities comprise rooftop emergency facilities and medical emergency sites. Use the following as a guide for developing emergency helicopter landing facilities (EHLF).
- Notification and coordination. In addition to any requirements to provide notice under part 157, advise the local Terminal Approach Radar Control or the local Air Traffic Control facility manager in writing of the EHLF.
- Rooftop emergency facilities. Review local building codes to determine if they require structures over a specified height to provide a clear area on the roof capable of accommodating a helicopter to facilitate fire fighting or emergency evacuation operations.

- Building code requirements. State and local building code requirements apply to rooftop facilities. Develop the landing surface to the local fire department requirements based on the size and weight of the helicopter(s) expected to engage in fire or rescue operations (see Figure A-1). Find additional information in various National Fire Protection Association (NFPA) publications. For more reference material, see Appendix D.
- FATO.

- Size. Design the FATO to be square, rectangular or circular in configuration and centered within the EHLF. Design the length and width or diameter to be at least 40 feet (12.2 m)

- Weight capacity. Design the TLOF to accept a 13,500-pound gross weight (GW) helicopter plus an impact load of 1.5 times GW.
- Access. Provide two pedestrian access points to the TLOF at least 90 degrees apart with a minimum of 60 feet (18 m) TLOF perimeter separation.
- Drainage. Design the surface so drainage flows away from pedestrian access points, with a maximum slope of 1.5 percent.

- FATO. Design the FATO to be at the same level as the TLOF.
- Size. Design the FATO to extend a distance of at least 45 feet (13.7 m) in all directions from the center of the EHLF. For safe operation, provide clearance of one third of the rotor diameter (RD) of the largest helicopter expected but not less than 20 feet (6.1 m) between the helicopter's main and tail rotor blades and any object that could be struck by these blades.
- Obstructions. As mo tpoion, design the FATO to be an imaginary surface outside the TLOF and extending beyond the structure edge. Design the FATO to be unobstructed and without penetration of obstacles such as parapets, window washing equipment, penthouses, handrails, antennas, vents, etc.

- Safety area. Provide a clear, unobstructed area, a minimum of 12 feet (3.7 m) wide, on all sides, outside and adjacent to the FATO.
- Safety net. If the platform is elevated 4 feet (1.2 m) or more above its surroundings, Title 29 CFR Part 1910.23 Guarding Floor and Wall Openings and Holes, requires the provision of fall protection. The FAA recommends such protection for all platforms elevated 30 inches (76 cm) or more. However, do not use pennant railings or fences, since they would be safety hazards during helicopter operations. As an option, install a safety net, meeting state and local regulations but not less than 5 feet (1.5 m) wide. Design the safety net to have a load carrying capability of 25 lbs/sq ft (122 kg/sq m). Make sure the net does not project above the level of the TLOF. Fasten both the inside and outside edges of the safety net to a solid structure. Construct nets of materials that are resistant to environmental effects.

## FIRE DEPARTMENT NOTES

### 1. FIRE ACCESS GENERAL REQUIREMENTS

- Adjacent Access. No source of access from lands adjoining a property to be developed shall be considered unless there is obtained the irrevocable and unobstructed right to use same. This includes public utility easements and such. CFC Section 508.3, added by MMC Section V-300-2.57

- Fire apparatus access road width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm) in the immediate vicinity of any building or portion of building more than 30 feet (9144) in height. 2012 International Fire Code, Section D105.2, adopted and amended by MMC Section V-300-2.156

- Building/structure set back, proximity to fire access roads. At least one of the required access routes meeting the Fire Dept. conditions shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to the entire side of the building. 2012 International Fire Code, Section D105.3, adopted by MMC Section V-300-1.01

- Fire access roads shall be paved (concrete and/or asphalt cement, no other material is accepted). Fire apparatus access roads/lanes and emergency vehicle roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather capabilities. Design criteria shall be based on City of Milpitas fire apparatus Sutphen S95 Aerial Platform unit. Please contact the Fire Prevention Division if specifications are needed. CFC Section 503.2.3

- Dead end conditions over 150' in length shall be provided with an approved area for turning around fire apparatus. CFC Section 503.2.5

- No parking in fire access roads. The required access road shall be designated and clearly marked as a fire lane. The designated fire lane shall be identified as set forth in Section 22500.1 of the Vehicle Code. The designation shall be indicated (1) by a sign posted immediately adjacent to, and visible from, the designated place clearly stating in letters not less than one inch in height that the place is a fire lane, (2) by outlining or painting the place in red and, in contrasting color, marking the place with the words "FIRE LANE", which are clearly visible from a vehicle, or (3) by a red curb or red paint on the edge of the roadway upon which is clearly marked the words "FIRE LANE". CFC Section 503.3

- New above ground structure(s), including trees and other landscape, shall not encroach or impede fire apparatus access. Projections into Fire Dept. access roads/driveway (or any other roadway) are not permitted. Fire apparatus access roads shall remain clear and unobstructed. CFC Section 503.4

### 2. FIRE COMMAND CENTER

The fire command center shall be located at the front of the building, forming Barber Lane, with direct access from the exterior wall. The fire command center shall meet all the requirements of the CFC Section 508.

### 3. STAIRS TO ROOF

Applicable to both towers. Not less than 2 stairs wells shall provide direct access to the roof. CFC Section 504.3.1, Section added to the CFC by MMC V-300-2.49

### 4. ACCESS CONTROL DEVICES.

When access control devices including bars, grates, gates, electric or magnetic locks or similar devices, which would inhibit rapid fire department emergency access to the building, are installed, such devices shall be approved by the fire code official. All access control devices shall be provided with an approved means for deactivation or unlocking by the fire department. Access control devices shall also comply with Chapter 10 Egress. CFC Section 504.5, added by MMC V-300-2.581

### 5. ELEVATORS.

All elevators shall meet the medical service elevator requirements in the CBC Chapter 30. CFC Section 607.1 I hereby added to the CFC by the MMC Section V-300-2.59

### 6. FIRE SERVICE ELEVATORS

Provide fire service access elevators for each tower to meet the requirements of the CBC Section 403.6.1.

### 7. EMERGENCY RESPONDERS RADIO COVERAGE WITHIN THE STRUCTURE(S)

All buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communications system of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communications system. Emergency responder radio coverage systems shall be installed in accordance with the CFC Section 510.

Emergency responder radio coverage in buildings - obstruction by new building. When in the opinion of the fire code official, a new structure obstructs the line of sight emergency radio communications to existing buildings or to any other location, the developer of the new structure shall provide and install the radio transmission equipment necessary to restore communications capabilities. The equipment shall be located in an approved space or area within the new structure. CFC Section 510.1.1, added by MMC V-300-2.566

The emergency radio system shall be supervised per the CFC Section 510.64. CFC Section added by MMC V-300-2.57.

Dedicated equipment room(s) with the appropriate supporting mechanical systems, shall be provided to meet the emergency communication needs. California Fire Code Section I 02.9

HELICOPTER PAD(S). Provide detailed layouts with dimensions for the proposed helicopter pads. CFC Section 914.3.9, added to the CFC Section 2013 by MMC Section V-300-2.73

The helicopter pad shall meet the criteria and requirements listed within the attachment "Appendix A" and the NFPA 41 8 (applicable conditions for roof top facilities). See attachment for Appendix A.

FIRE PROTECTION SYSTEMS, HI-RISE STRUCTURE. The fire protection system shall meet the requirements listed in the CFC Section 914.3 and the CBC Section 403.

FIRE PROTECTION SYSTEMS, UNDERGROUND STRUCTURE (and above parking structure if not an "open parking garage"). The fire protection system shall meet the requirements listed under the CFC Section 914.5 and the CBC Section 405.

STANDPIPE SYSTEM. Standpipe system shall be installed in accordance with the CFC Section 905.2 and NFPA 14. When stairs are provided with intermediate landings, the standpipes shall be located at the bottom floor level, at the top floor level and at all intermediate landings. CFC Section 905

FIRE PUMP SYSTEM. The fire pump system shall meet the requirements of the CFC Section 913.

ANCHOR REPELLING. Anchor repelling devices meeting the Fire department requirements shall be placed on the roof for Fire department use. CFC Section 914.3.8, added by Milpitas Municipal Code V-300-2.72

SPECIAL REQUIREMENTS FOR BUILDING OVER 4-STORIES. CFC Section 914.12, added by MMC V-300-2.76. Special Provisions For Group B office Buildings and Group R Division 1 and 2 Occupancies. All Group B office buildings and Group R, Division 1 & 2 Occupancies, each having floor used for human occupancy located more than 60 feet above the lowest level of Fire Department vehicle access, or more than 4 stories in height shall provide the following. (Prior to the purchase of materials, a materials list shall be submitted to the Fire Department for review and approval. The Fire Dept. reserves the right to make changes due to obsolete equipment or operation changes).

Equipment cache rooms shall be located on the 1st floor above the ground floor, and every other floor thereafter, or as directed by the fire agency. Cache rooms shall be located within the rated stair enclosures.

Each equipment storage room size should be a minimum of 4' deep, full height (8' to 9'), with a door the minimum width of 43". A roll-up door can be used provided it has a 43" minimum width and unobstructed access. It shall have a power outlet to provide electricity, a light (connected to a timer), be sprinklered, and be locked with a "break-away" type lock. Fixed shelving (shelving shall be every 16" after ladder placement is determined) shall be provided in a configuration approved by the fire agency to store items that may include, but not be limited to:

- 2- Hotel Hose pack (double jacketed hose) with 100 feet of 1 3/4"-inch fire hose and a 1 1/2" variable fog nozzle (Task Force Tip, 1 3/4") with a detachable ball, both having National Standard threads. Each pack to have 1 -spanner wrench, 1- 2 1/2" x 1 1/2" gated wye, and 1-2 1/2" x 1 1/2" reducer coupling Red Head Brass 2 1/2" x 1 1/2" reducer
- 2- 50' banded hose rolls (North American Hose)
- 2- 2- 1/2" 10' hose with one male end connector & female end connector both with National Standard threads (Stynger)
- 1-Hooligan tool (Paratech Hooligan, 11 pound)
- 2- pick-head axe (Council Axe, Pick head)
- 1-Little Giant Ladder, or 1- attic ladder; Fire agency to determine type.
- 1- 3' Ames Tru Temper Wrecking bar,
- 12 -Open Door Industries, door stops
- 4- salvage covers (blue tarps) measuring 18' X 24' with grommets every 16"
- 3-Spare sprinkler heads, for each type used (these are in addition to those required in the riser room)
- 1-each Sprinkler head wrench(es), one for each type of head used
- 1-Push type cart for use to move air bottles (type subject to Fire agency approval)

GENERAL DEVELOPMENT PLAN FOR:

Milpitas Landmark Towers

MILPITAS, CALIFORNIA

BDK Capital, LLC

## SHEET TITLE

## GENERAL NOTES

## SHEET NUMBER

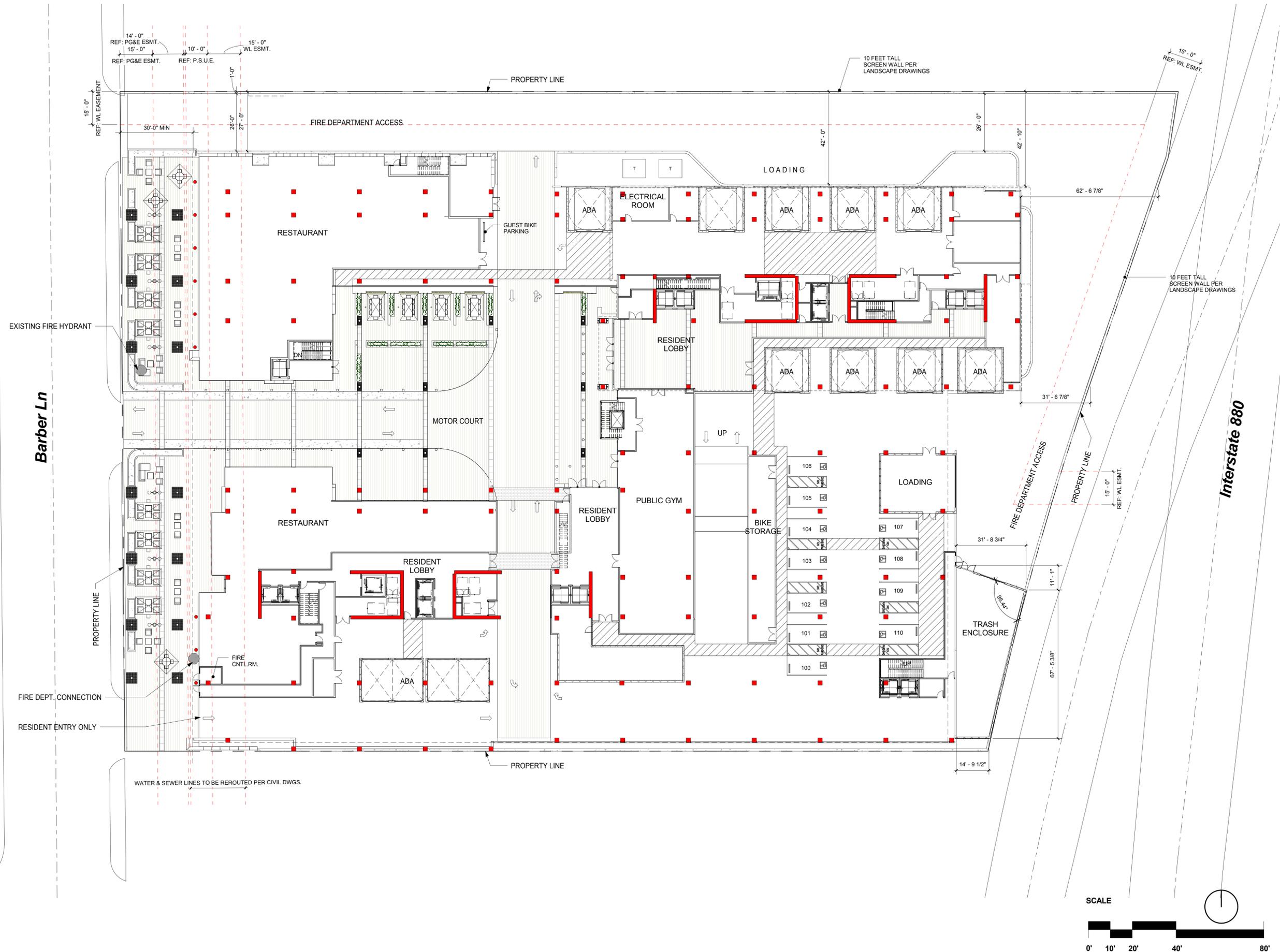
# A1.2

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT AND ITS CONTENTS MAY NOT BE REPRODUCED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.

# MVE

+ PARTNERS

10/23/2015 - ENTITLEMENT REVISION SET



GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE  
**CONCEPTUAL SITE PLAN**

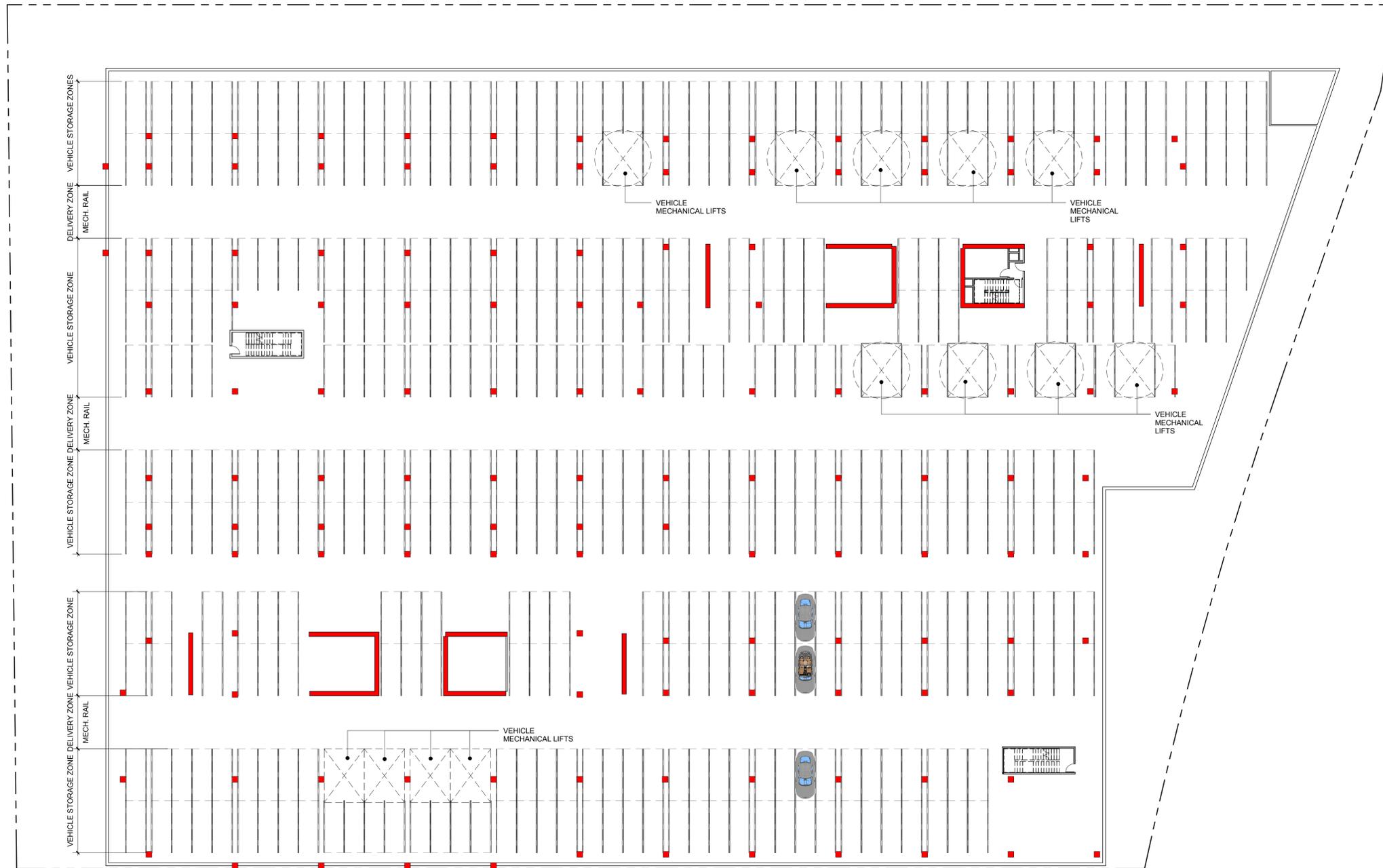
SHEET NUMBER  
**A2.0**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

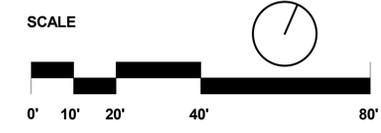
THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET



NOTE:  
 VEHICLE STORAGE LEVEL FOR  
 AUTOMATED PARKING SYSTEM  
 NO VEHICLE WILL BE IN OPERATION



GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

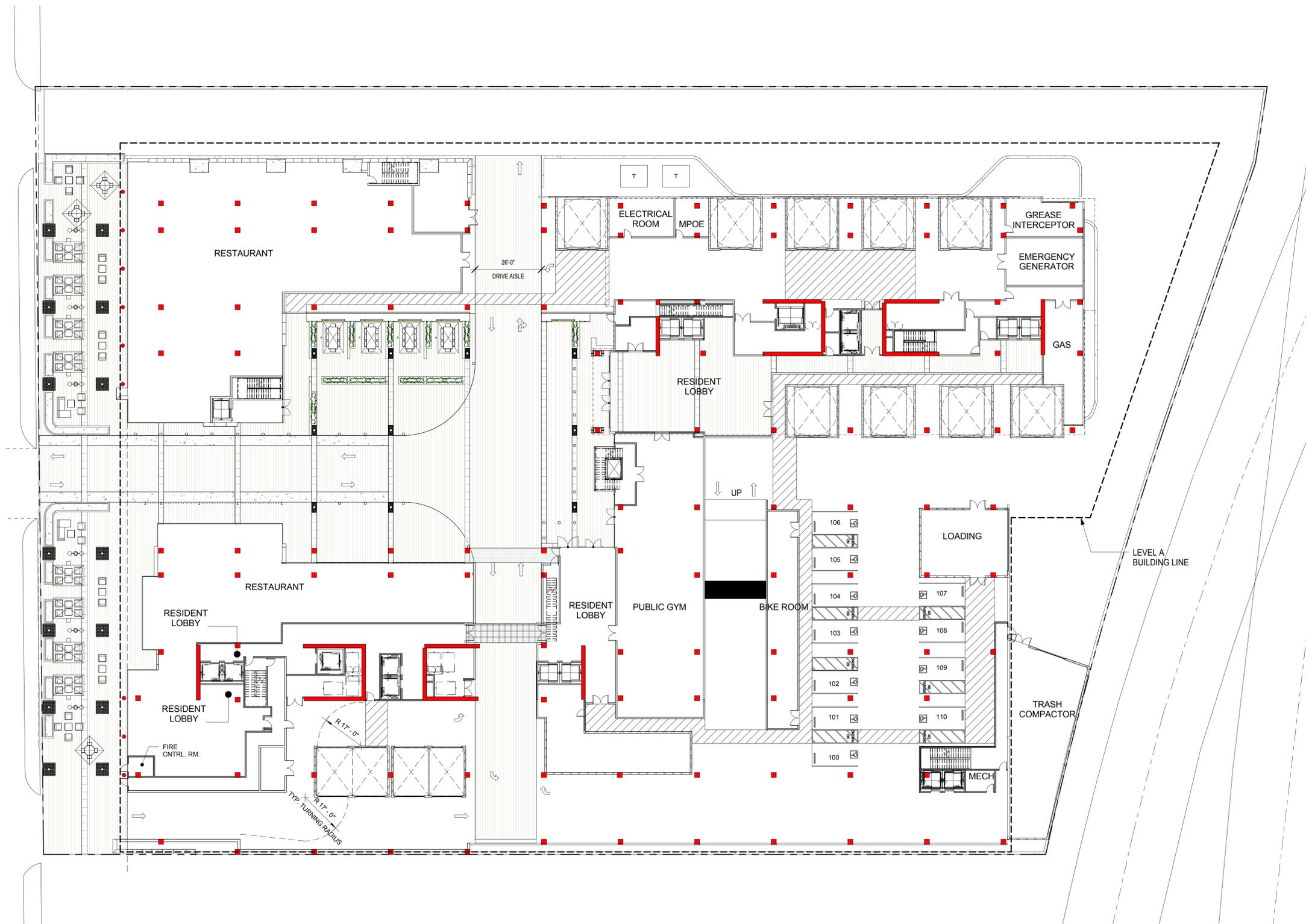
SHEET TITLE  
**CONCEPTUAL  
 GARAGE PLAN  
 (SUBTERRANEAN A)**

SHEET NUMBER  
**A3.0**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE  
**CONCEPTUAL BUILDING PLAN (STREET LEVEL)**

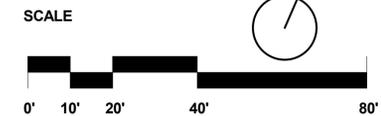
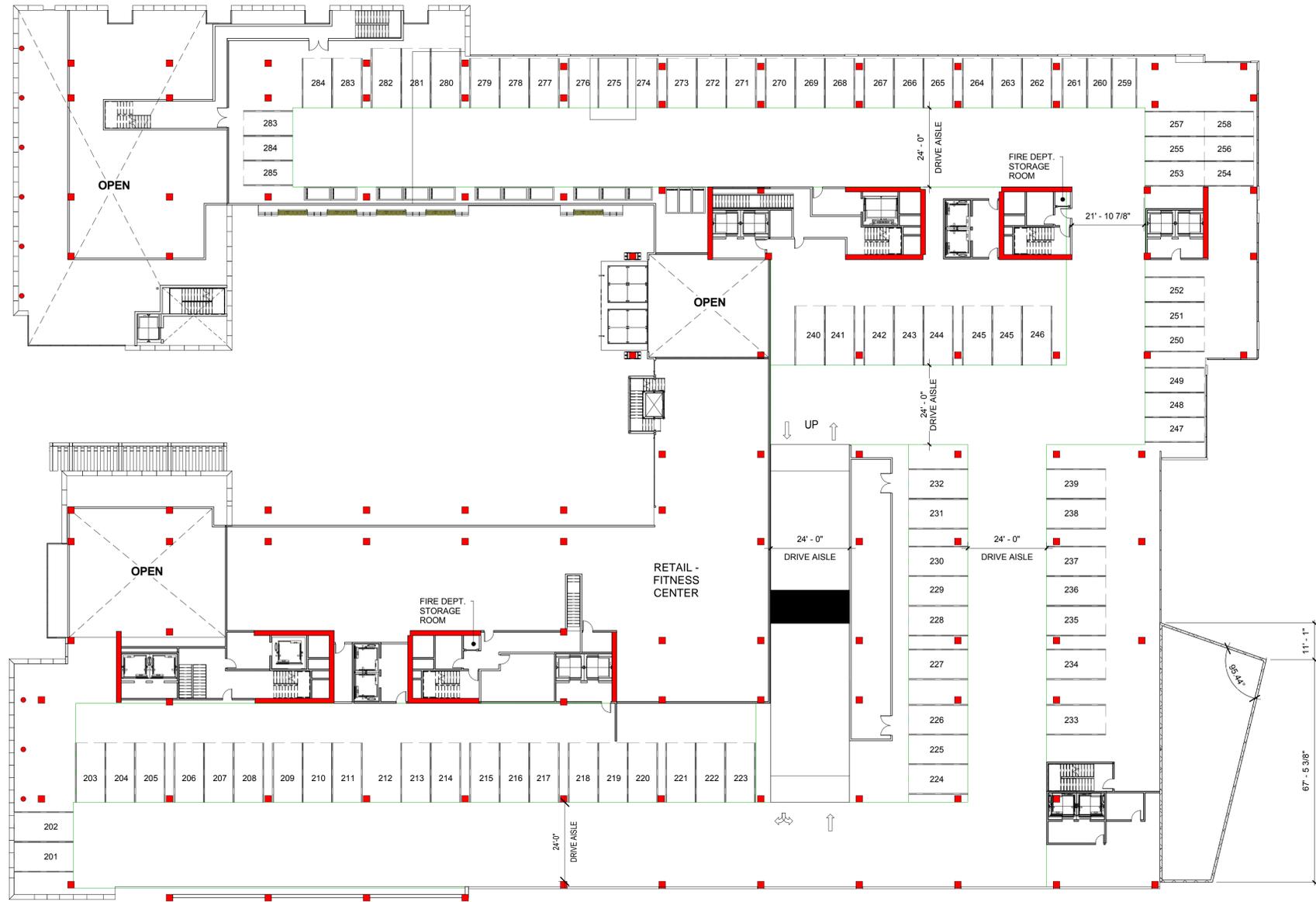
SHEET NUMBER  
**A3.1**

JOB NO. 2014-10248
DATE AS NOTED
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET



GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

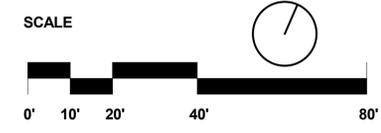
SHEET TITLE  
**CONCEPTUAL  
BUILDING PLAN 2ND  
LEVEL**

SHEET NUMBER  
**A3.2**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**CONCEPTUAL  
BUILDING PLAN 3RD  
LEVEL**

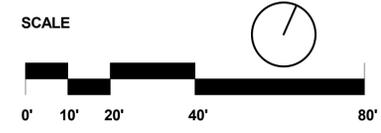
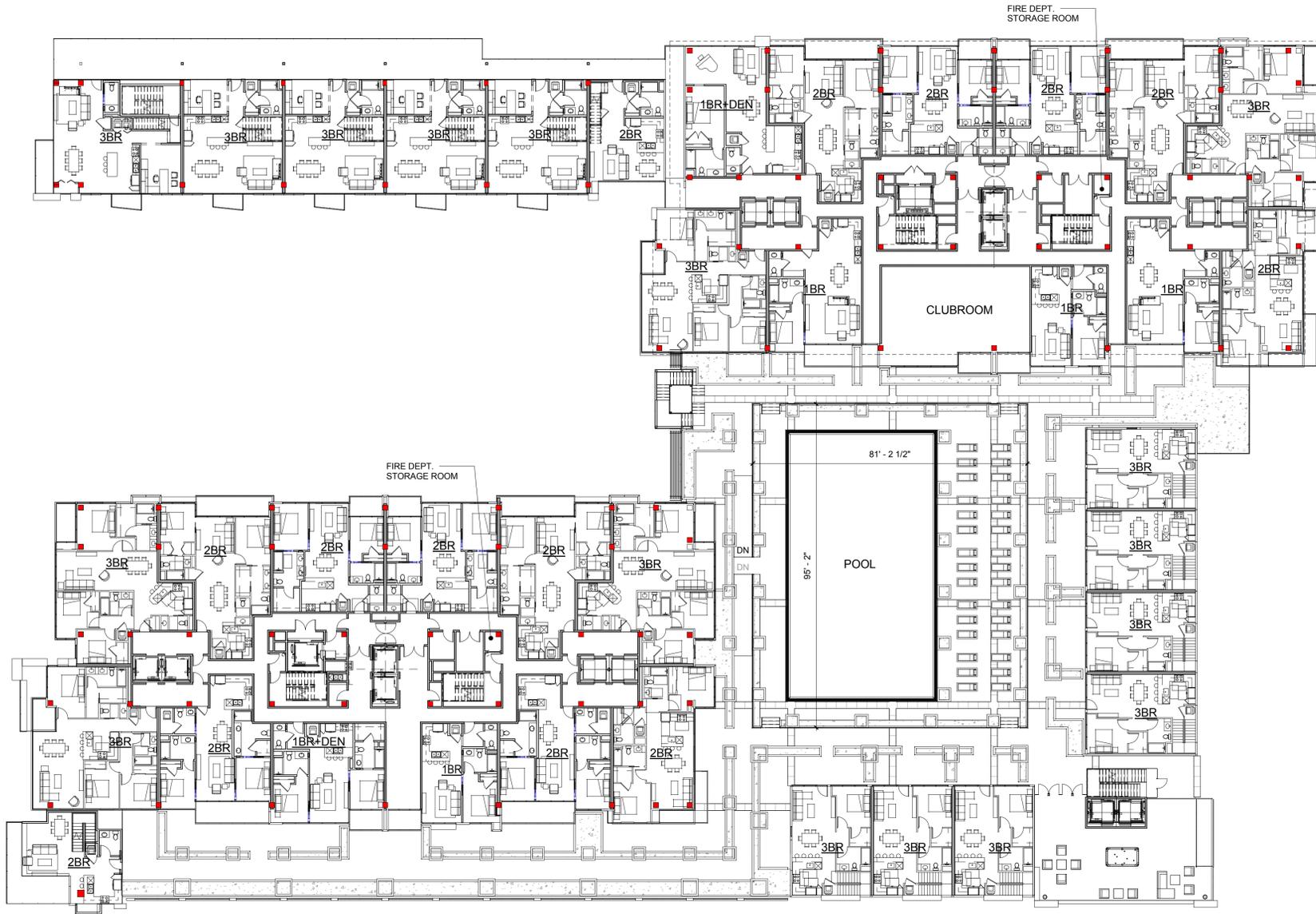
SHEET NUMBER  
**A3.3**

JOB NO. 2014-10248
DATE AS NOTED
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET



GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**CONCEPTUAL  
BUILDING PLAN 4TH  
LEVEL**

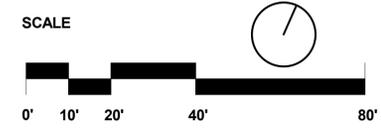
SHEET NUMBER  
**A3.4**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET



GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

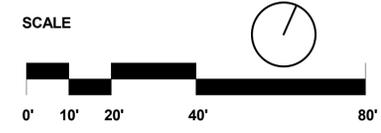
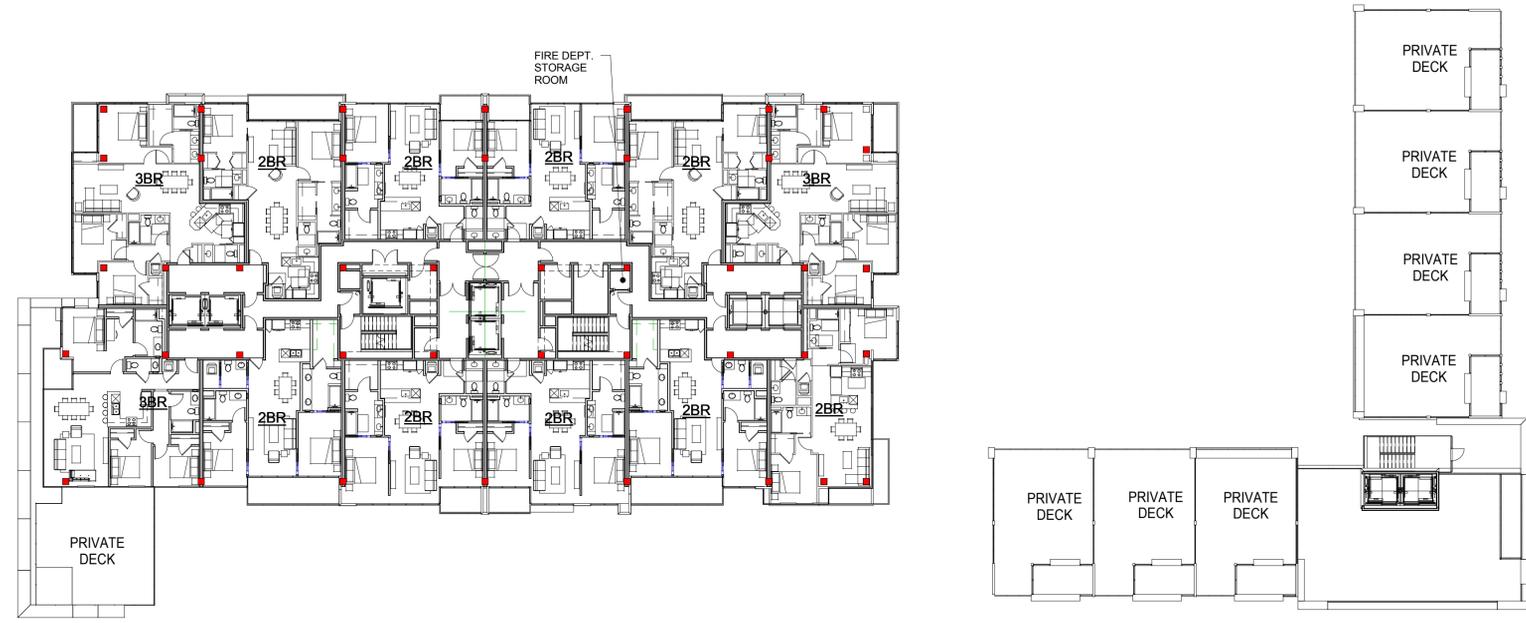
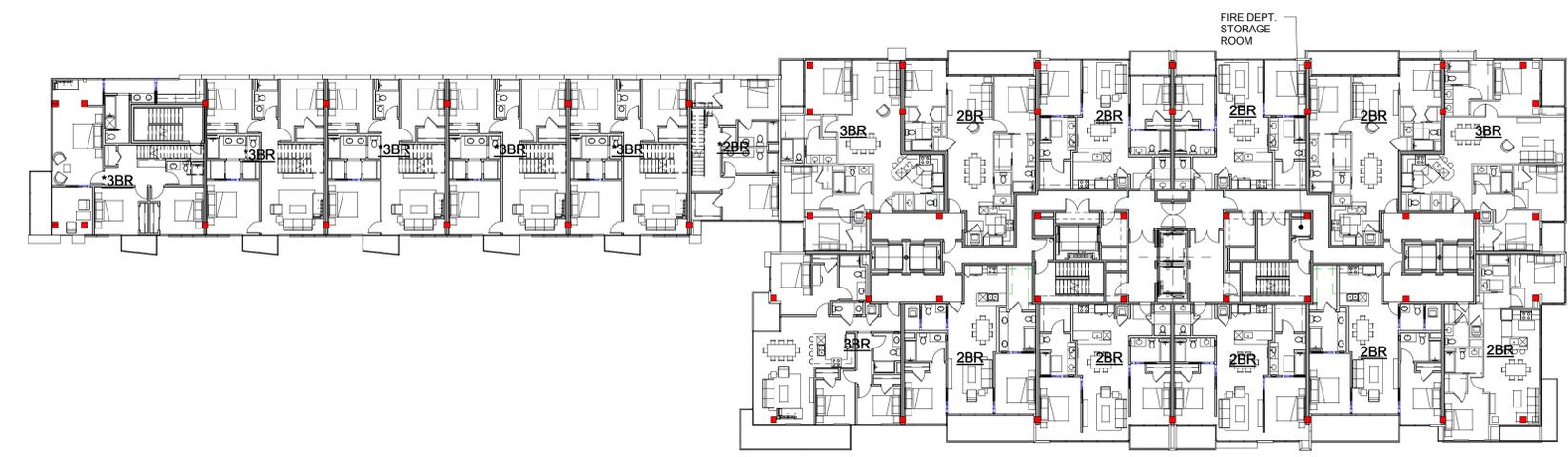
SHEET TITLE  
**CONCEPTUAL  
BUILDING PLAN 5TH  
LEVEL**

SHEET NUMBER  
**A3.5**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE  
**CONCEPTUAL  
 BUILDING PLAN 6TH  
 LEVEL**

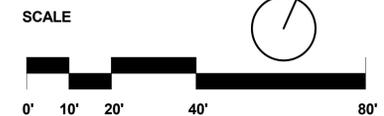
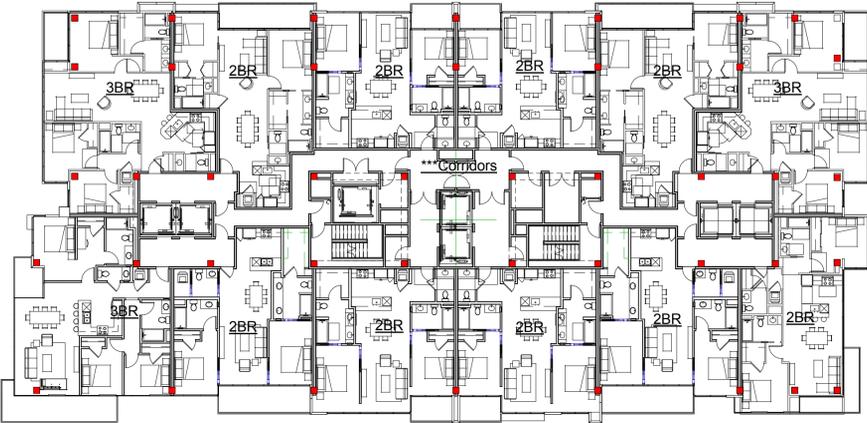
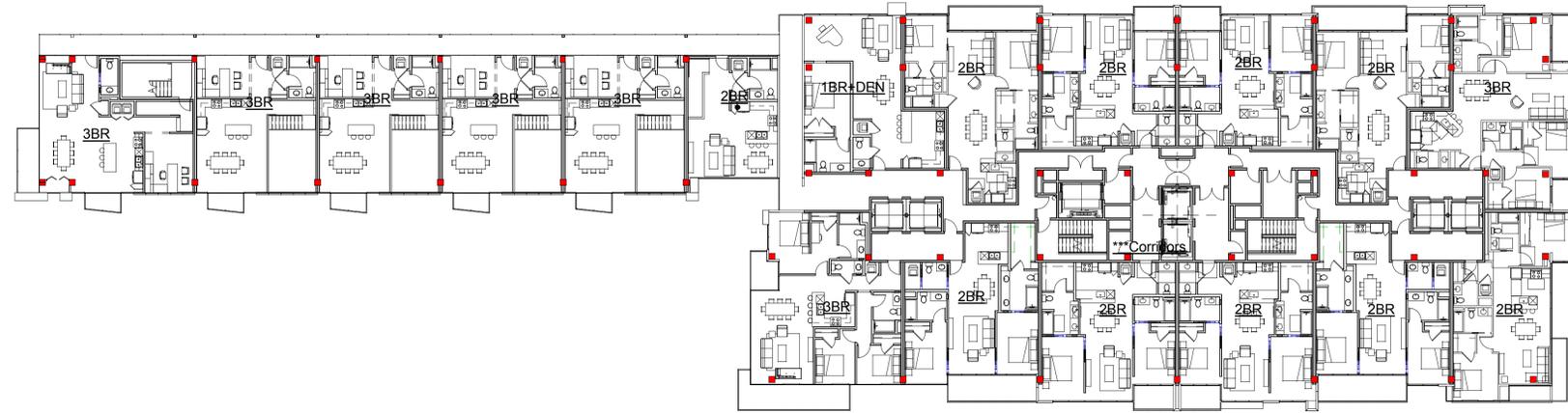
SHEET NUMBER  
**A3.6**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET



GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

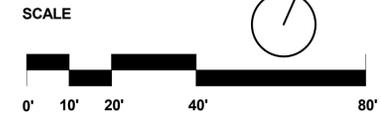
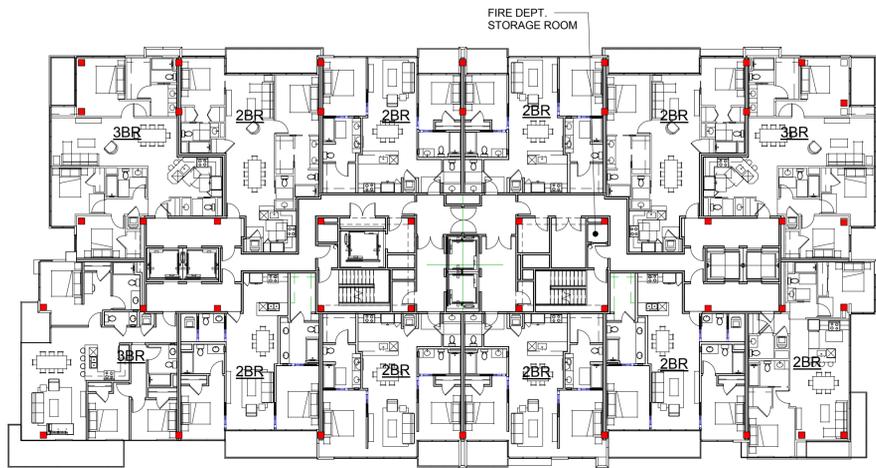
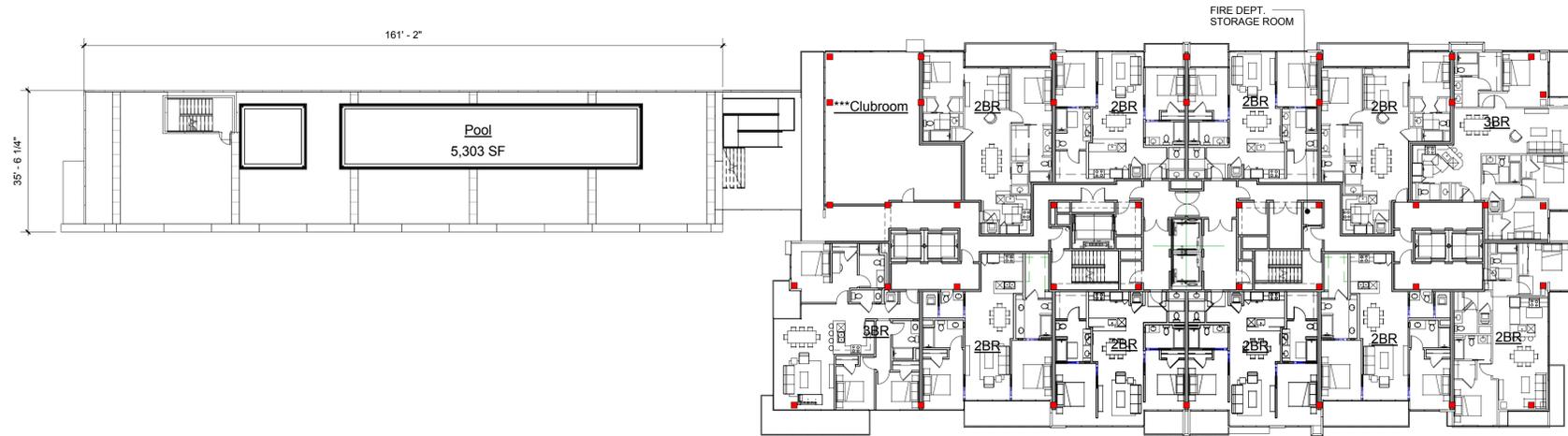
SHEET TITLE  
**CONCEPTUAL  
 BUILDING PLAN 7TH  
 LEVEL**

SHEET NUMBER  
**A3.7**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

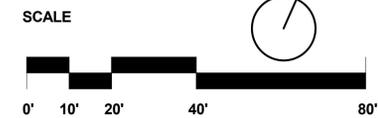
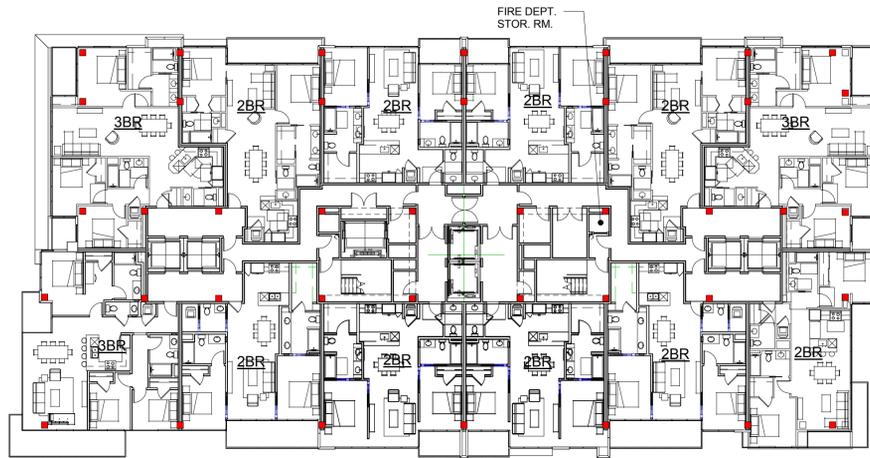
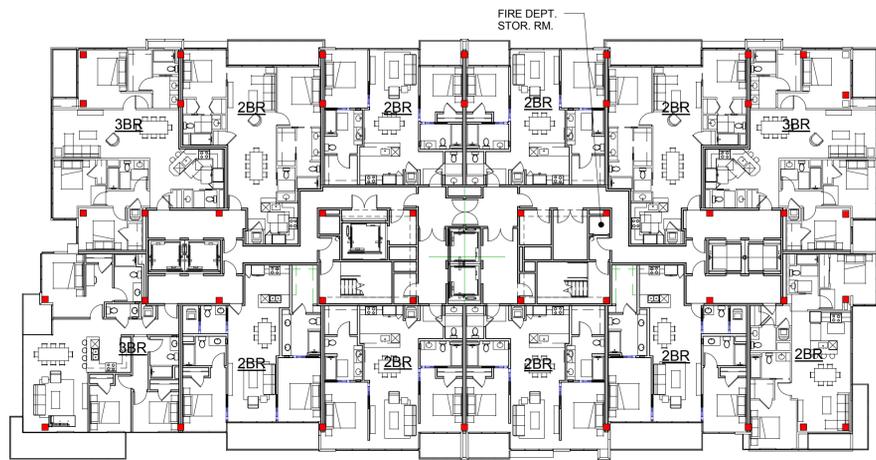
SHEET TITLE  
**CONCEPTUAL  
BUILDING PLAN 8TH  
LEVEL**

SHEET NUMBER  
**A3.8**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

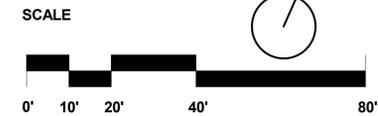
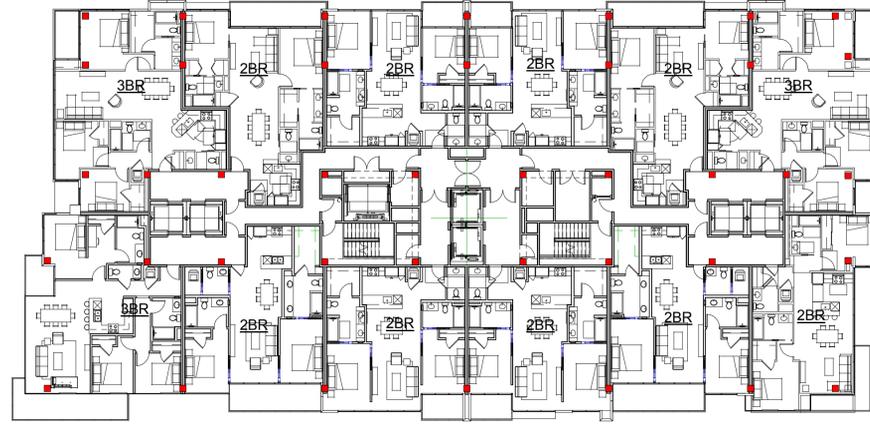
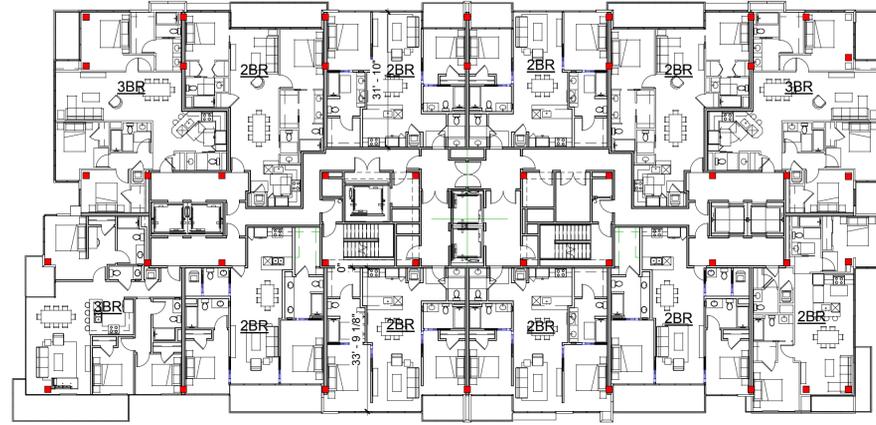
SHEET TITLE  
**CONCEPTUAL  
 BUILDING PLAN 9TH  
 LEVEL (10-19 TYP.)**

SHEET NUMBER  
**A3.9**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

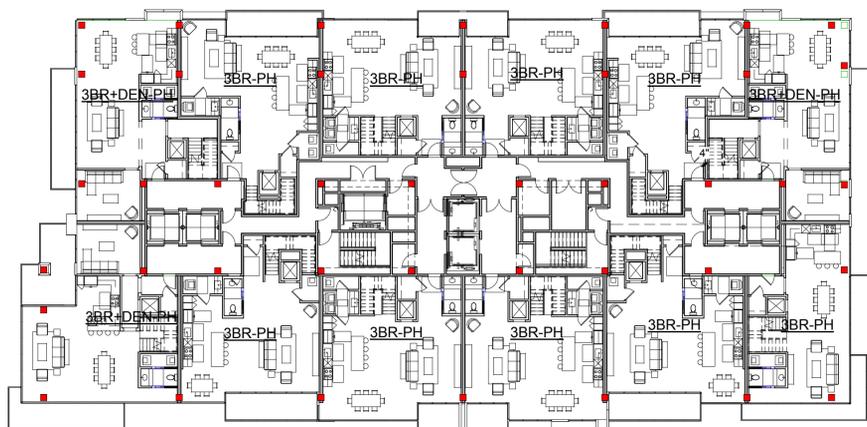
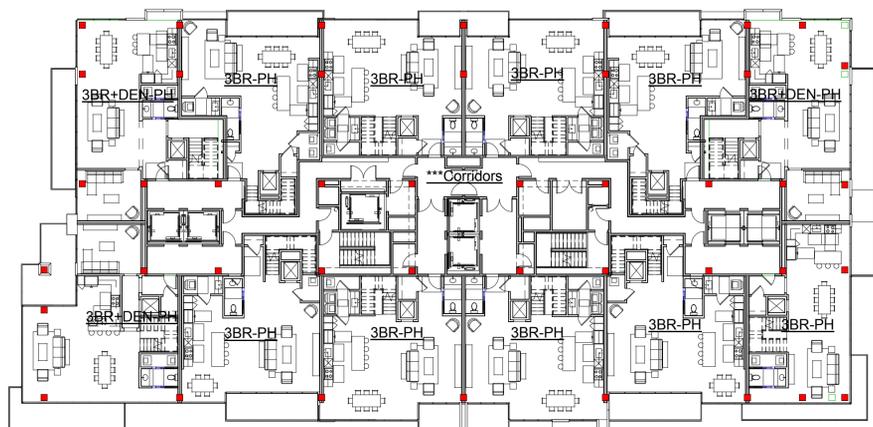
SHEET TITLE  
**CONCEPTUAL  
 BUILDING PLAN  
 20TH LEVEL**

SHEET NUMBER  
**A3.10**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





SCALE



GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE

**CONCEPTUAL  
BUILDING PLAN  
21ST LEVEL**

SHEET NUMBER

**A3.11**

JOB NO.

2014-10248

DATE

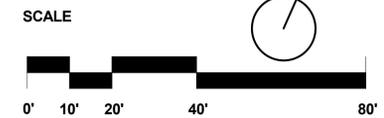
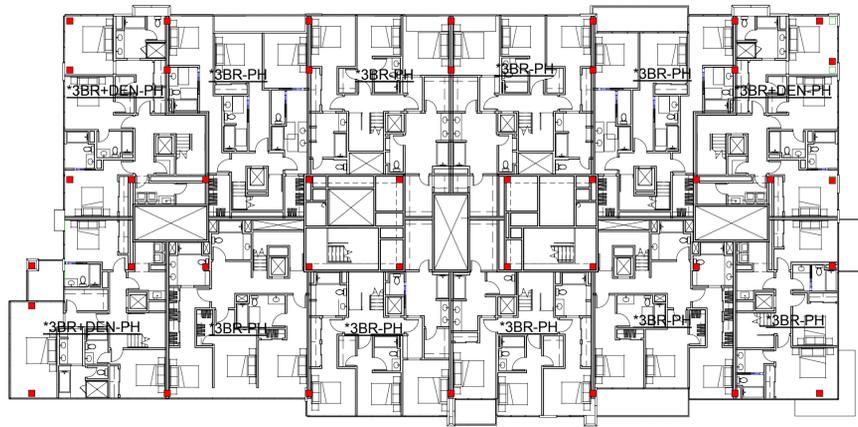
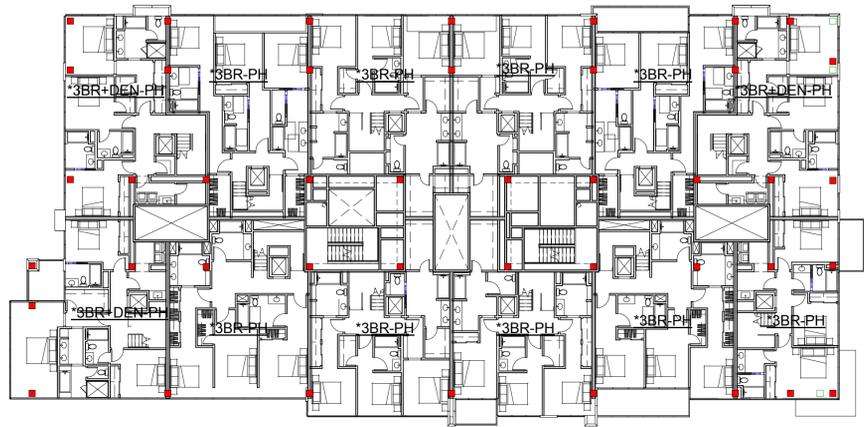
AS NOTED

SCALE

AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

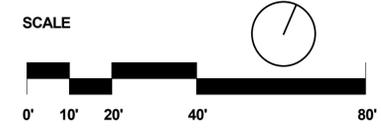
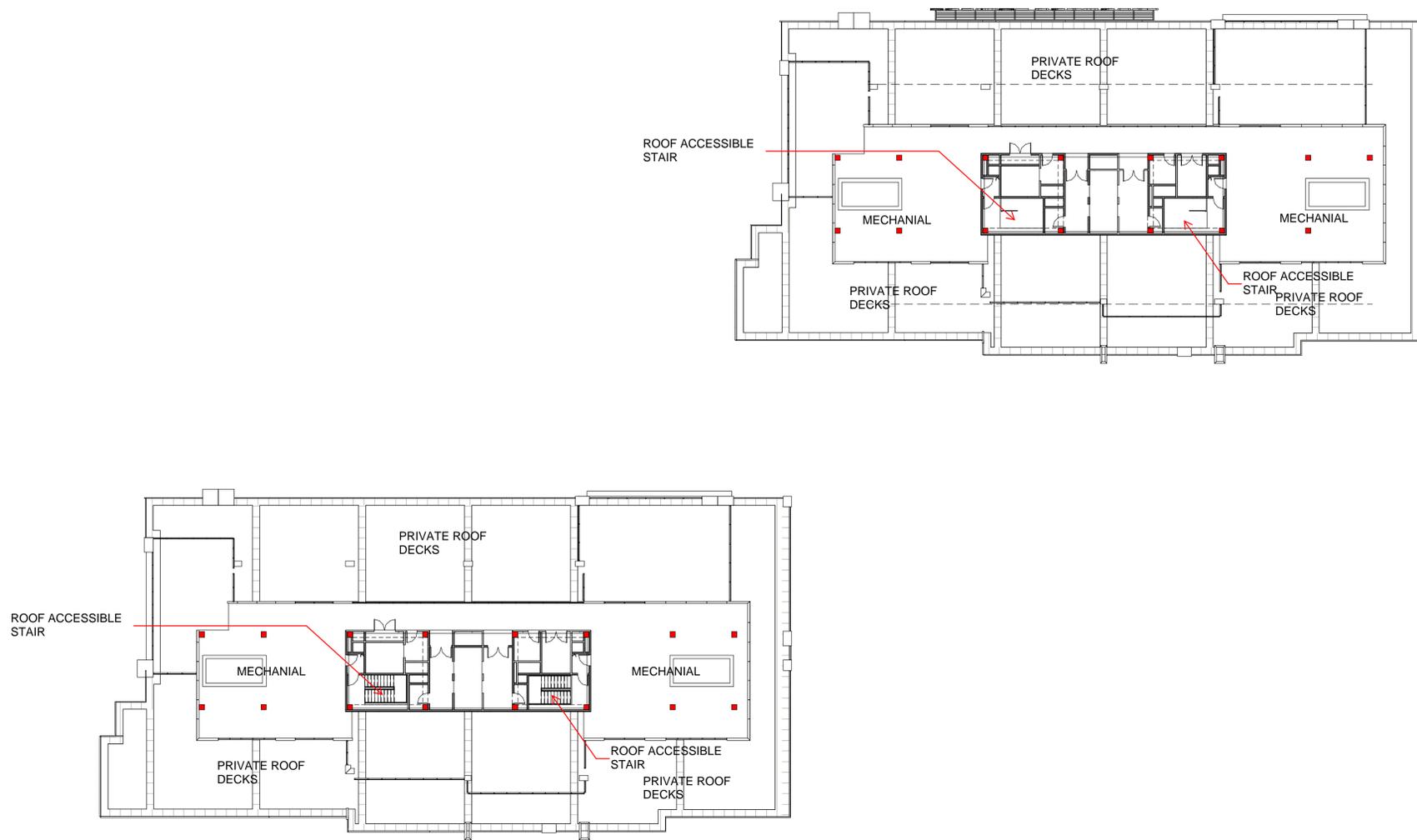
SHEET TITLE  
**CONCEPTUAL  
 BUILDING PLAN  
 22ND LEVEL**

SHEET NUMBER  
**A3.12**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

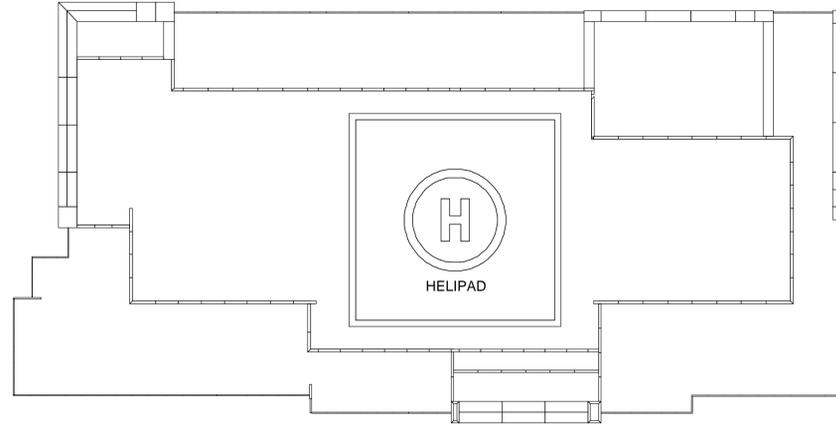
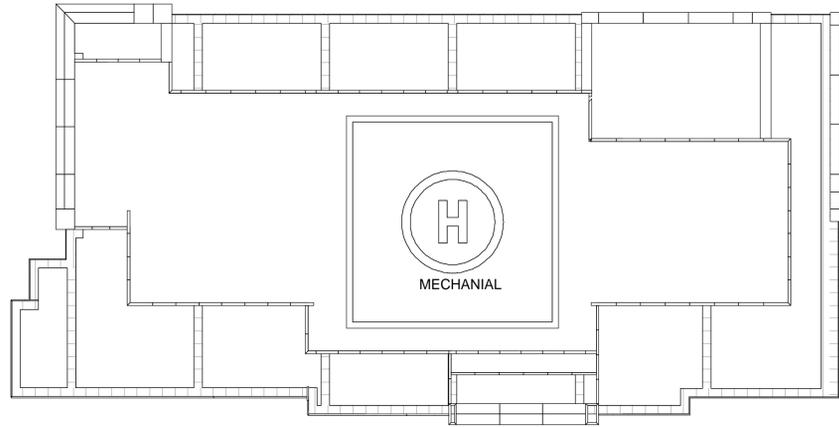
**SHEET TITLE**  
**CONCEPTUAL ROOF PLAN**

**SHEET NUMBER**  
**A3.13**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





SCALE

0'



GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

**SHEET TITLE**  
**CONCEPTUAL**  
**UPPER ROOF PLAN**

**SHEET NUMBER**  
**A3.14**

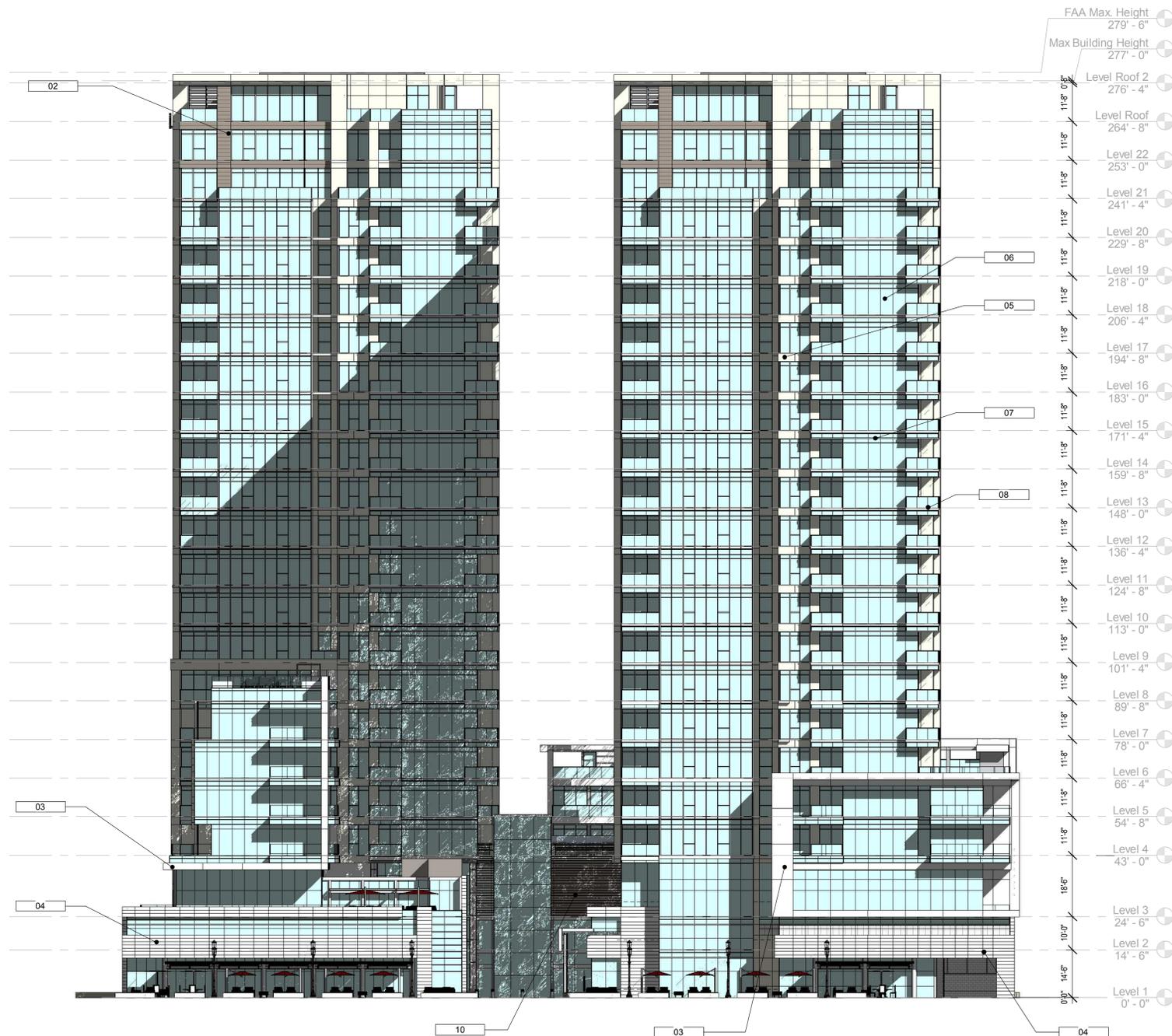
JOB NO.  
2014-10248

DATE  
AS NOTED

SCALE  
AS INDICATED

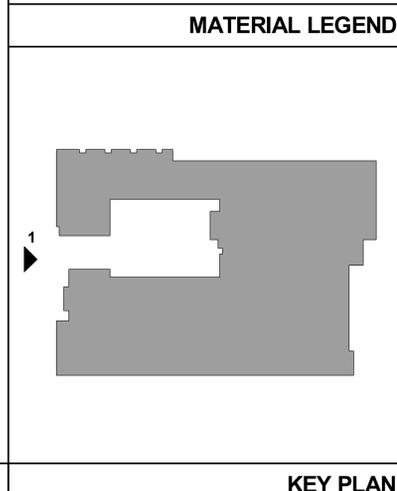
THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





Level	Elevation
Level 22	253' - 0"
Level 21	241' - 4"
Level 20	229' - 8"
Level 19	218' - 0"
Level 18	206' - 4"
Level 17	194' - 8"
Level 16	183' - 0"
Level 15	171' - 4"
Level 14	159' - 8"
Level 13	148' - 0"
Level 12	136' - 4"
Level 11	124' - 8"
Level 10	113' - 0"
Level 9	101' - 4"
Level 8	89' - 8"
Level 7	78' - 0"
Level 6	66' - 4"
Level 5	54' - 8"
Level 4	43' - 0"
Level 3	24' - 6"
Level 2	14' - 6"
Level 1	0' - 0"
Level Roof	264' - 8"
Level Roof 2	276' - 4"
Max Building Height	277' - 0"
FAA Max. Height	279' - 6"

PROJECT MATERIALS	
Key Value	Keynote Text
01	TYPICAL CAST PANEL
02	METAL PANEL HORIZONTAL ORIENTED
03	ALUMINUM WALL CLADDING
04	STONE COMPOSITE PANELS
05	TYPICAL CAST SPANDREL
06	CLEAR GLAZING SYSTEM
07	OPAQUE SPANDREL GLASS
08	TYPICAL GLASS RAILING
09	ALUMINUM SCREEN LOUVERS
10	METAL LOUVER SYSTEM
11	PAINTED CEMENT PLASTER



WEST ELEVATION 1" = 20'-0" 1

KEY PLAN

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

### SHEET TITLE EXTERIOR ELEVATIONS

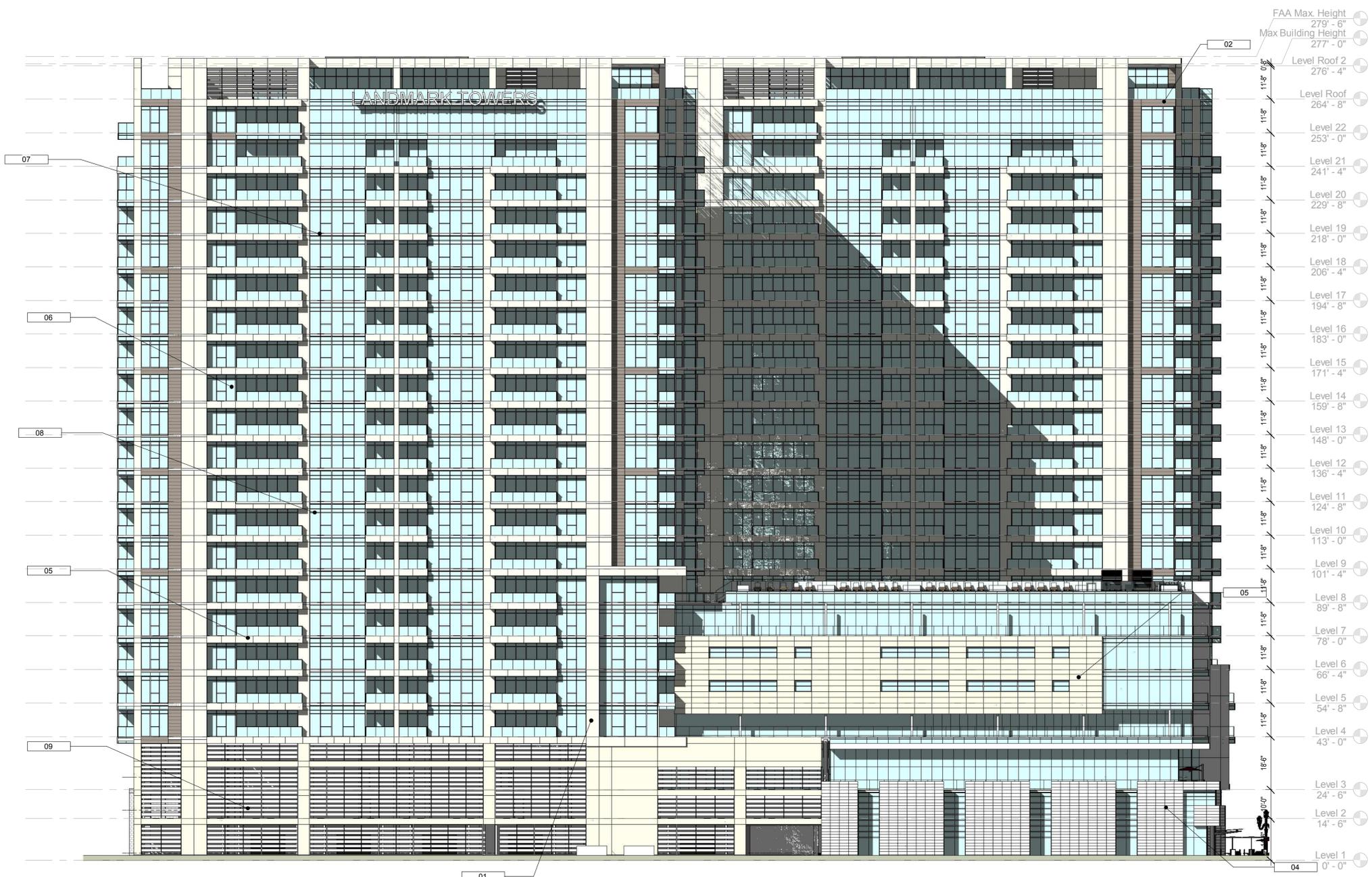
SHEET NUMBER  
**A4.0**

JOB NO. 2014-10248
DATE AS NOTED
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.

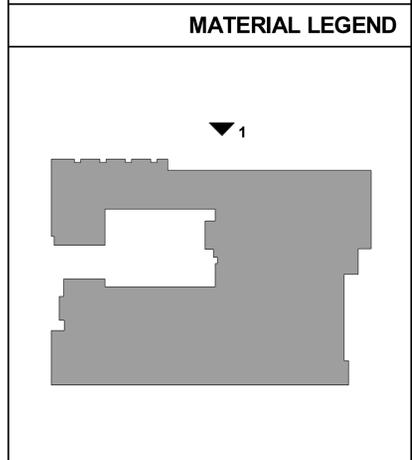


10/23/2015 - ENTITLEMENT REVISION SET



**NORTH ELEVATION** 1" = 20'-0" 1

PROJECT MATERIALS	
Key Value	Keynote Text
01	TYPICAL CAST PANEL
02	METAL PANEL HORIZONTAL ORIENTED
03	ALUMINUM WALL CLADDING
04	STONE COMPOSITE PANELS
05	TYPICAL CAST SPANDREL
06	CLEAR GLAZING SYSTEM
07	OPAQUE SPANDREL GLASS
08	TYPICAL GLASS RAILING
09	ALUMINUM SCREEN LOUVERS
10	METAL LOUVER SYSTEM
11	PAINTED CEMENT PLASTER



**KEY PLAN**

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

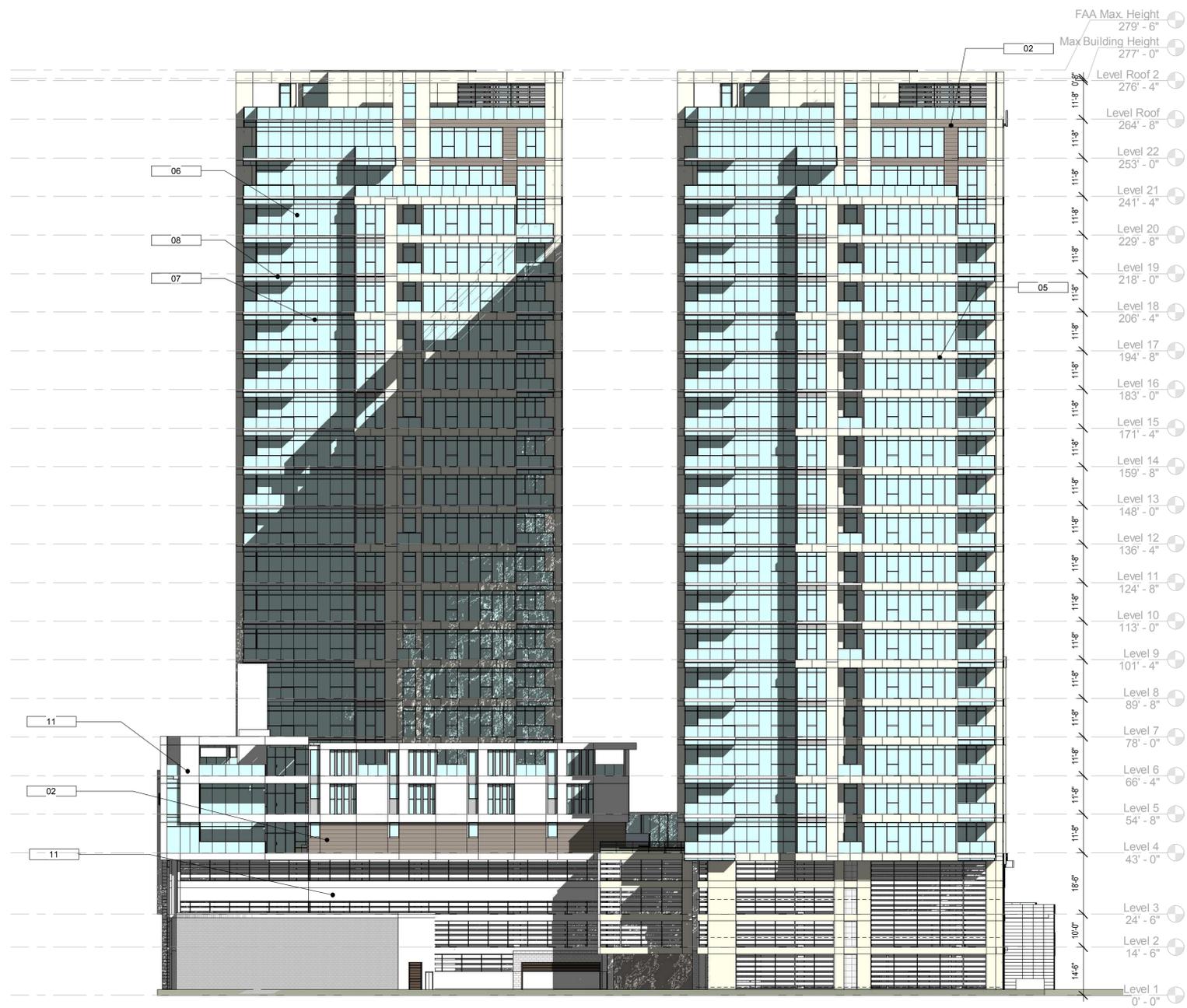
**SHEET NUMBER**  
**A4.1**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.

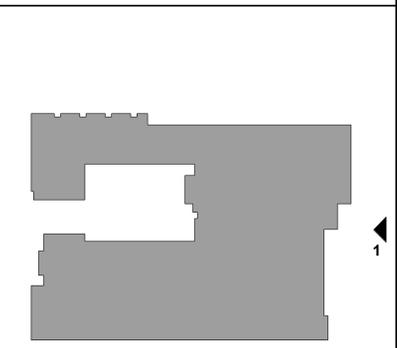


10/23/2015 - ENTITLEMENT REVISION SET



PROJECT MATERIALS	
Key Value	Keynote Text
01	TYPICAL CAST PANEL
02	METAL PANEL HORIZONTAL ORIENTED
03	ALUMINUM WALL CLADDING
04	STONE COMPOSITE PANELS
05	TYPICAL CAST SPANDREL
06	CLEAR GLAZING SYSTEM
07	OPAQUE SPANDREL GLASS
08	TYPICAL GLASS RAILING
09	ALUMINUM SCREEN LOUVERS
10	METAL LOUVER SYSTEM
11	PAINTED CEMENT PLASTER

**MATERIAL LEGEND**



**EAST ELEVATION**

1" = 20'-0"

2

**KEY PLAN**

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

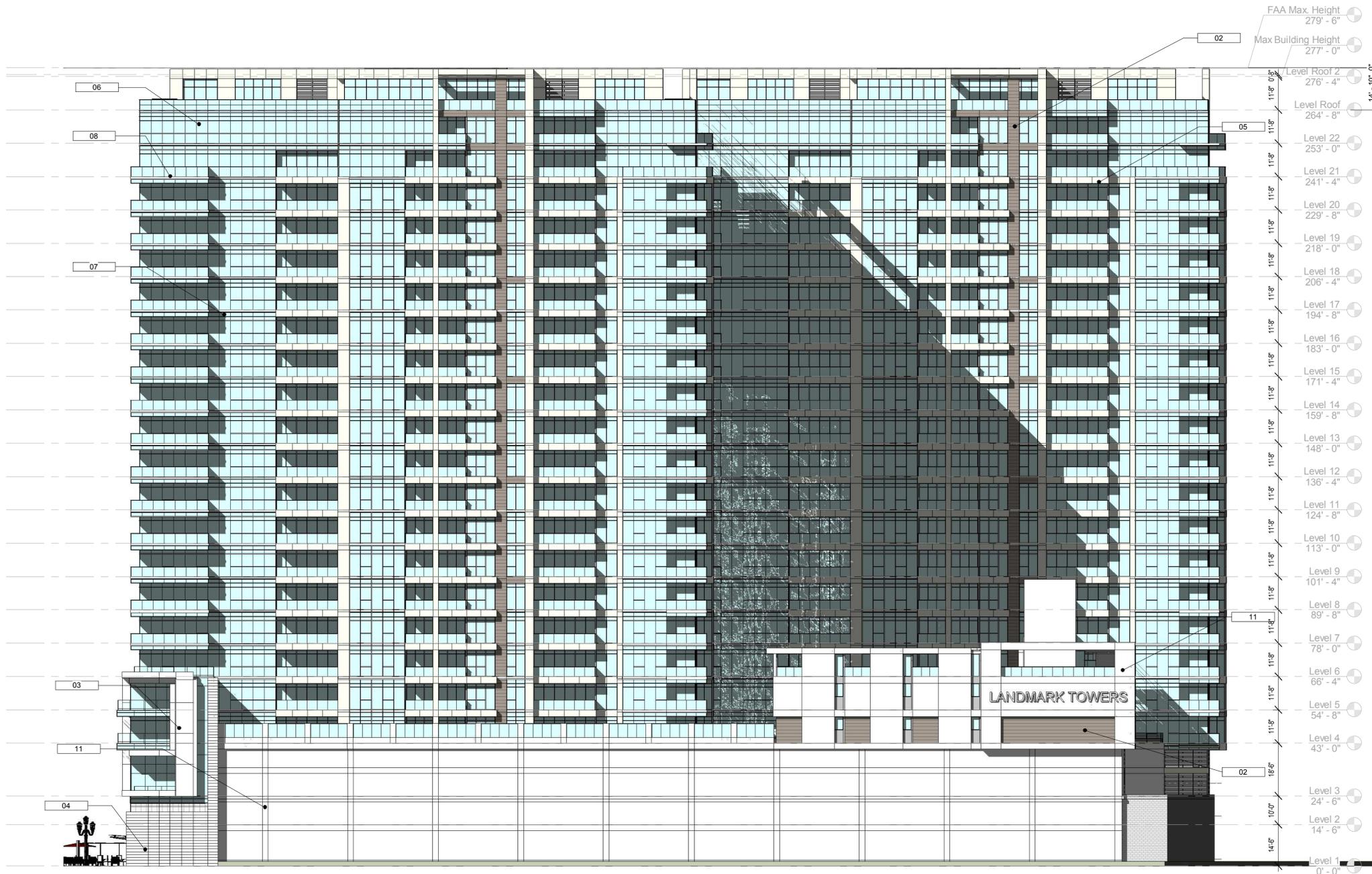
**SHEET NUMBER**  
**A4.2**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.

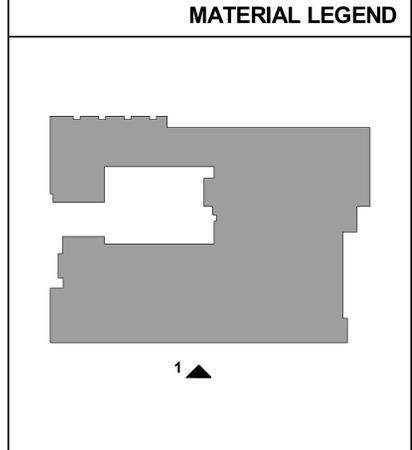


10/23/2015 - ENTITLEMENT REVISION SET



SOUTH ELEVATION 1" = 20'-0" 2

PROJECT MATERIALS	
Key Value	Keynote Text
01	TYPICAL CAST PANEL
02	METAL PANEL HORIZONTAL ORIENTED
03	ALUMINUM WALL CLADDING
04	STONE COMPOSITE PANELS
05	TYPICAL CAST SPANDREL
06	CLEAR GLAZING SYSTEM
07	OPAQUE SPANDREL GLASS
08	TYPICAL GLASS RAILING
09	ALUMINUM SCREEN LOUVERS
10	METAL LOUVER SYSTEM
11	PAINTED CEMENT PLASTER



KEY PLAN

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

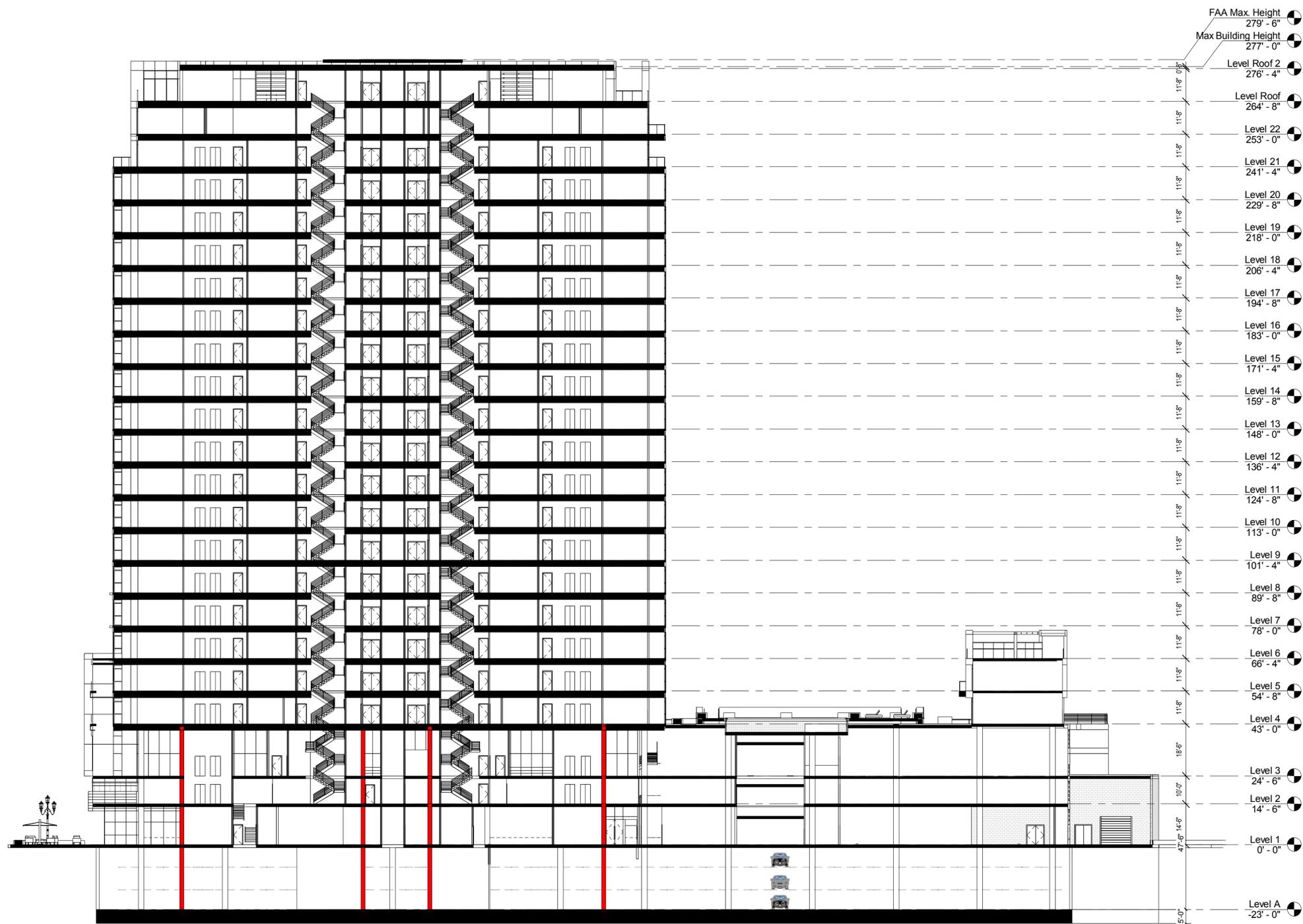
**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

**SHEET NUMBER**  
**A4.3**

JOB NO.  
2014-1008  
DATE  
AS NOTED  
SCALE  
AS INDICATED

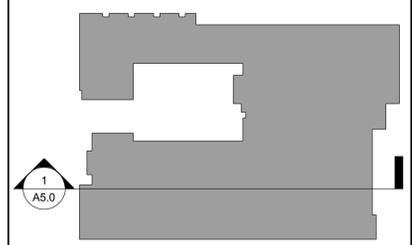
THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





- FAA Max. Height 279' - 6"
- Max Building Height 277' - 0"
- Level Roof 2 276' - 4"
- Level Roof 264' - 8"
- Level 22 253' - 0"
- Level 21 241' - 4"
- Level 20 229' - 8"
- Level 19 218' - 0"
- Level 18 206' - 4"
- Level 17 194' - 8"
- Level 16 183' - 0"
- Level 15 171' - 4"
- Level 14 159' - 8"
- Level 13 148' - 0"
- Level 12 136' - 4"
- Level 11 124' - 8"
- Level 10 113' - 0"
- Level 9 101' - 4"
- Level 8 89' - 8"
- Level 7 78' - 0"
- Level 6 66' - 4"
- Level 5 54' - 8"
- Level 4 43' - 0"
- Level 3 24' - 6"
- Level 2 14' - 6"
- Level 1 0' - 0"
- Level A -23' - 0"

**MATERIAL LEGEND**



**BUILDING SECTION 1** 1" = 20'-0" 1

**KEY PLAN**

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

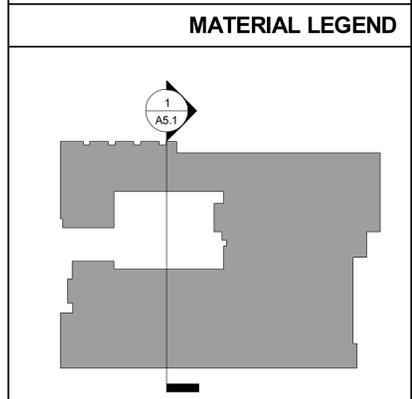
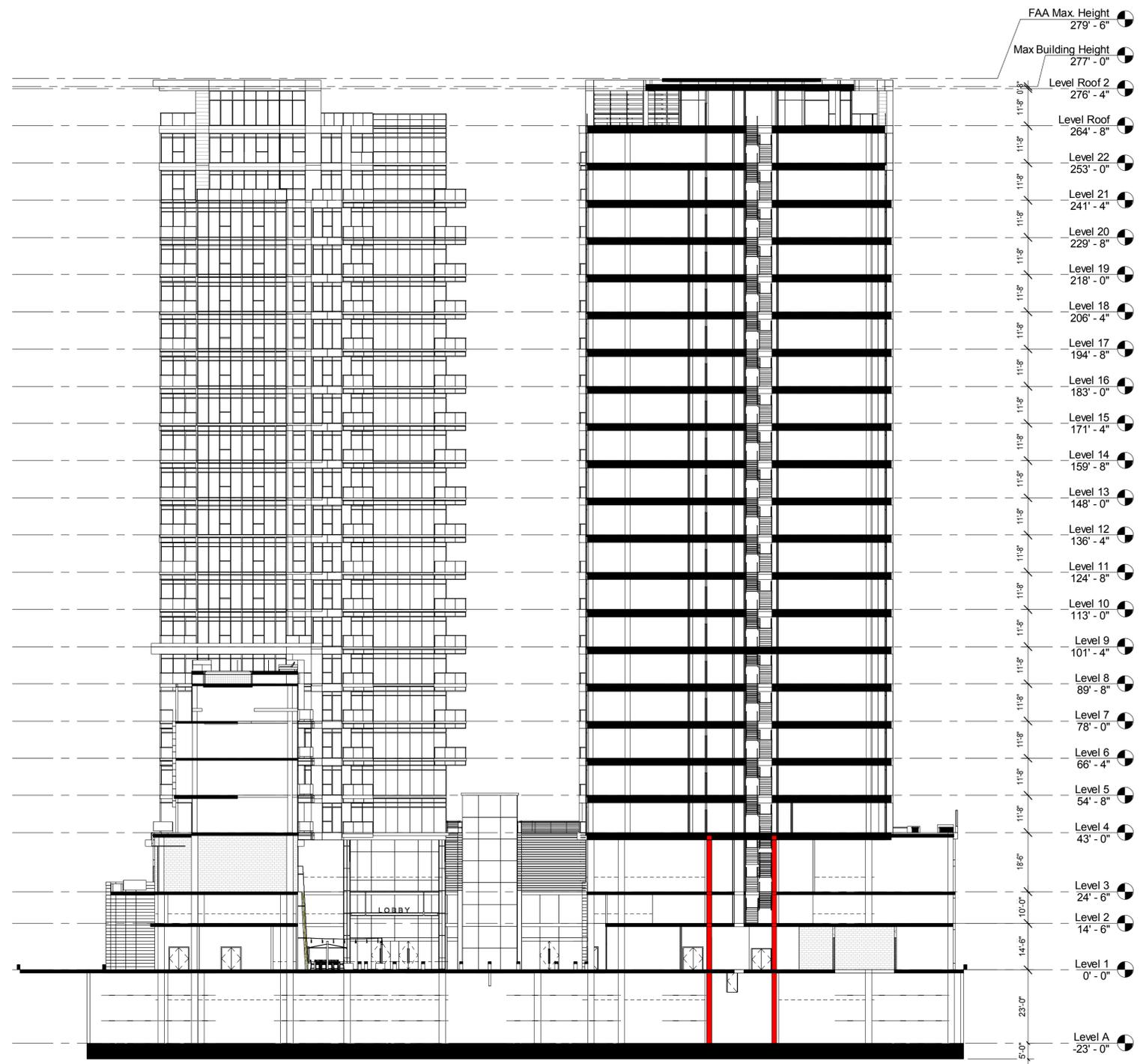
**SHEET TITLE**  
**BUILDING SECTIONS**

**SHEET NUMBER**  
**A5.0**

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET



**BUILDING SECTION 2** 1" = 20'-0" 1

**KEY PLAN**

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**  
MILPITAS, CALIFORNIA

**BDK Capital, LLC**

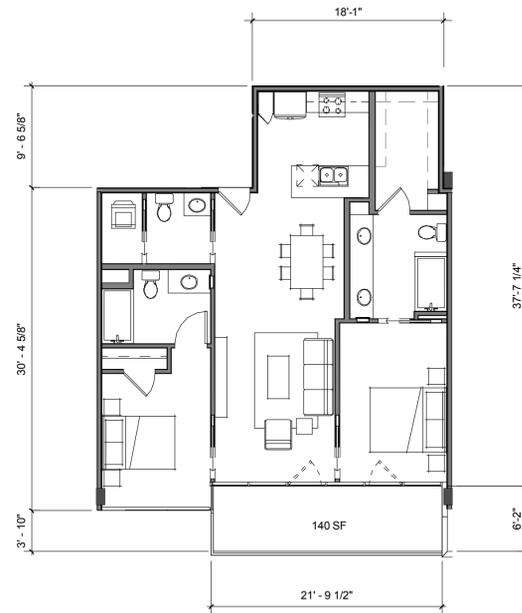
**SHEET TITLE**  
**BUILDING SECTIONS**

**SHEET NUMBER**  
**A5.1**

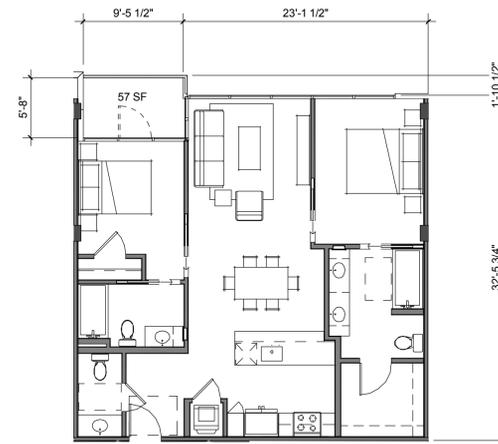
JOB NO. 2014-10248  
 DATE AS NOTED  
 SCALE AS INDICATED  
THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



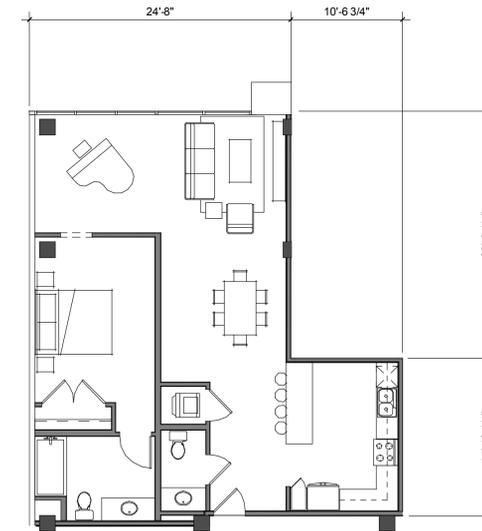
10/23/2015 - ENTITLEMENT REVISION SET



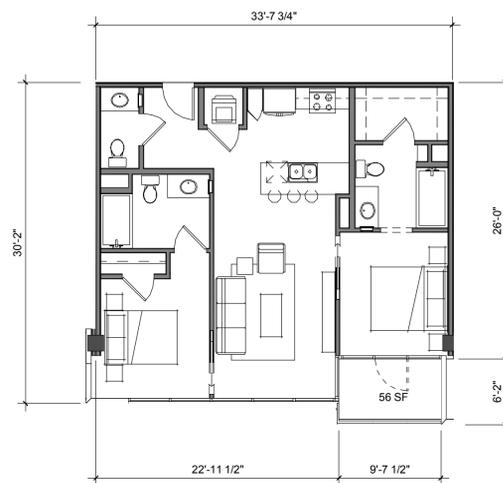
**B3 - 2 BEDROOM - 1075 SF**



**B1 - 2 BEDROOM - 993 SF**



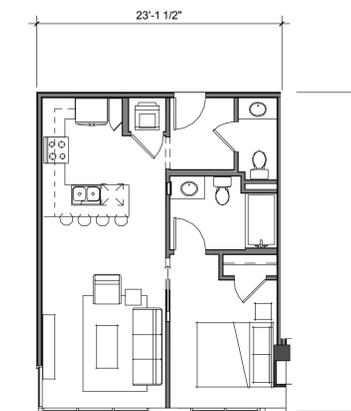
**A2 - 1 - BEDROOM + DEN - 1044 SF**



**B2 - 2 BEDROOM - 918 SF**



**A3 - 1 - BEDROOM - 888 SF**



**A1 - 1 - BEDROOM - 654 SF**

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

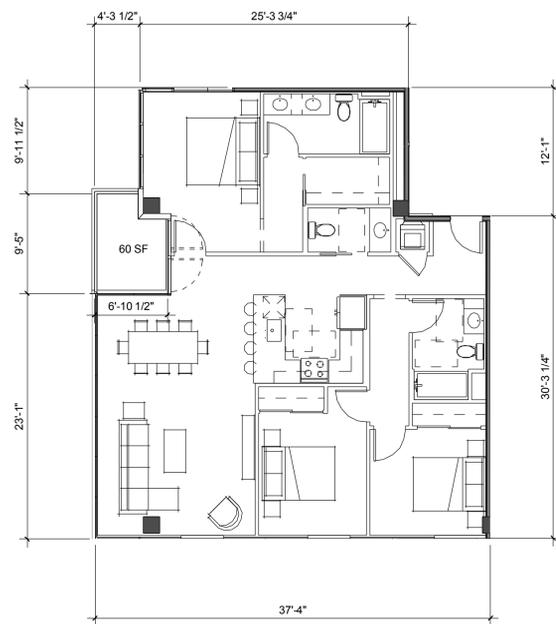
SHEET TITLE  
**CONCEPTUAL UNIT PLANS**

SHEET NUMBER  
**A6.0**

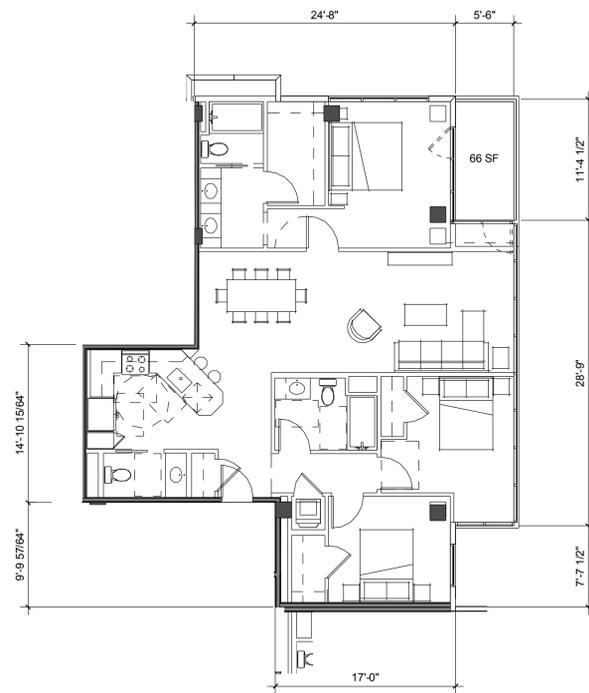
JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.

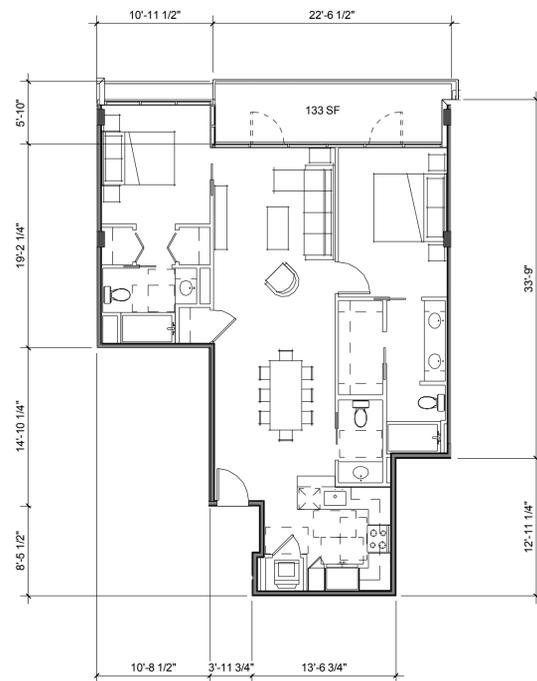




**C2 - 3 BEDROOM - 1340 SF**



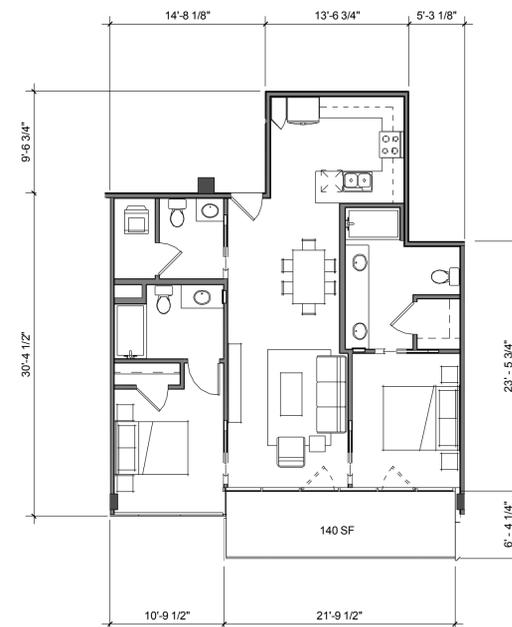
**C1 - 3 BEDROOM - 1370 SF**



**B6 - 2 BEDROOM - 1050 SF**



**B5 - 2 BEDROOM - 1035 SF**



**B4 - 2 BEDROOM - 1008 SF**

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**CONCEPTUAL UNIT PLANS**

SHEET NUMBER  
**A6.1**

JOB NO.  
2014-1028  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE  
**CONCEPTUAL UNIT PLANS**

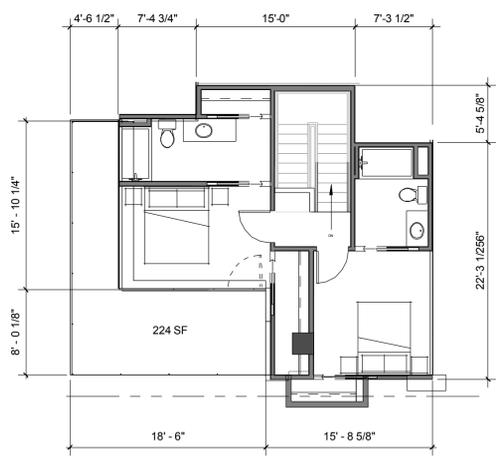
SHEET NUMBER  
**A6.2**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

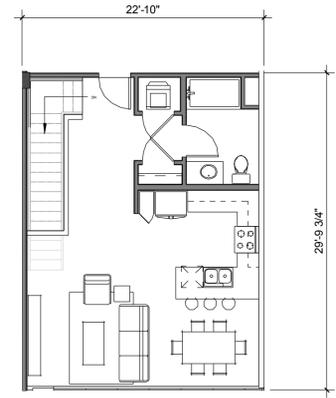
THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



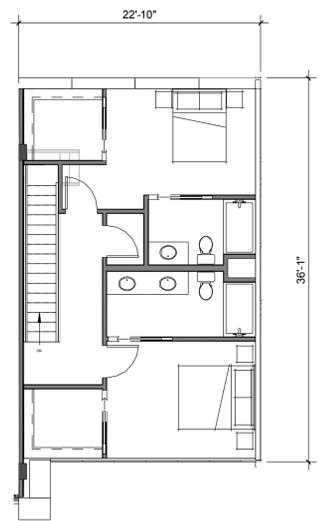
10/23/2015 - ENTITLEMENT REVISION SET



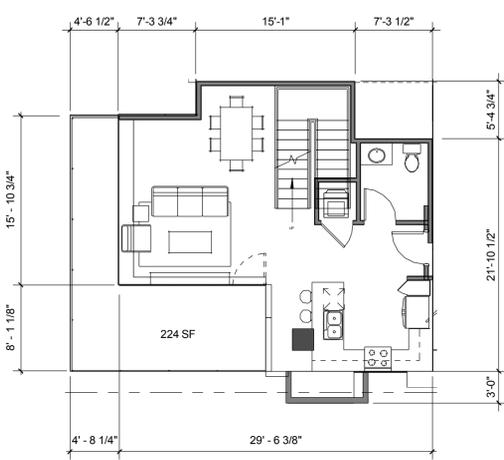
TH2-3 - 2 BEDROOM UPPER 608 SF



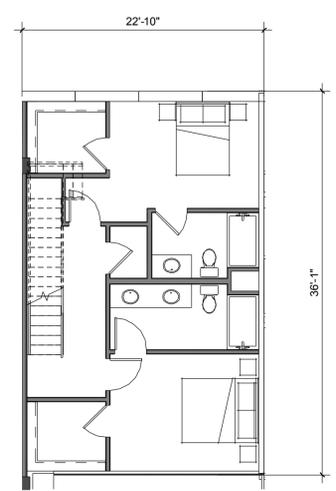
TH2-2 - 2 BEDROOM UPPER 648 SF



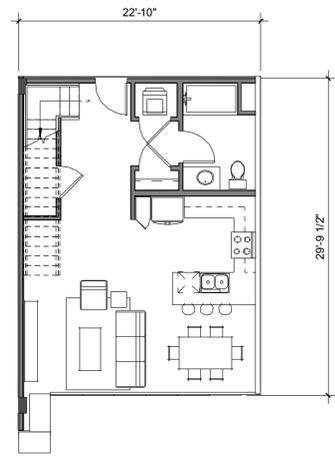
TH2-1 - 2 BEDROOM UPPER 707 SF



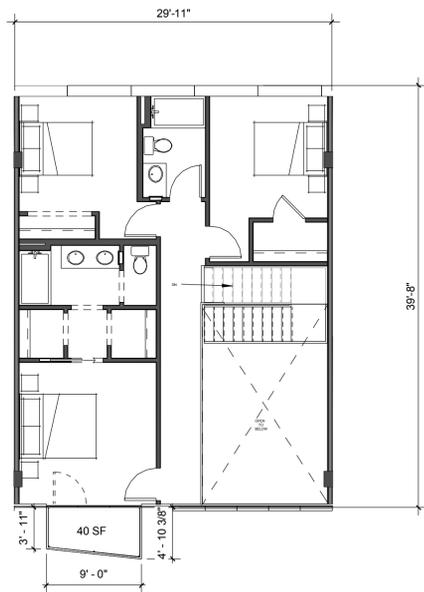
TH2-3 - 2 BEDROOM LOWER 608 SF



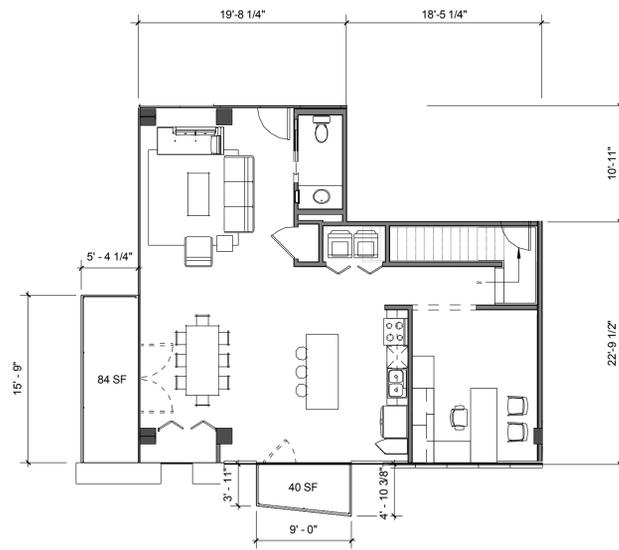
TH2-2 - 2 BEDROOM LOWER 707 SF



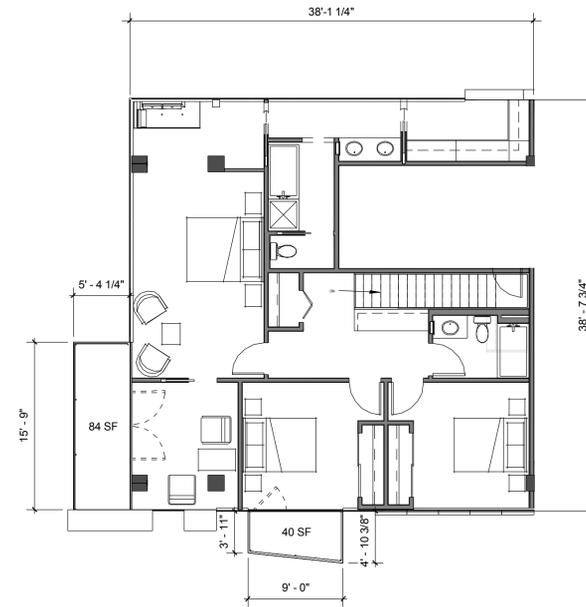
TH2-1 - 2 BEDROOM LOWER 648 SF



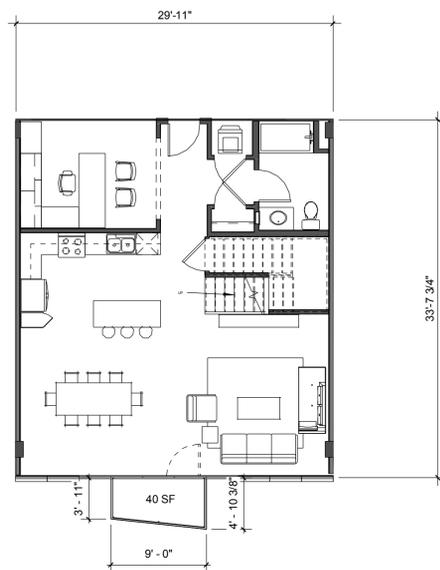
TH3-3 - 3 BEDROOM UPPER 1034 SF



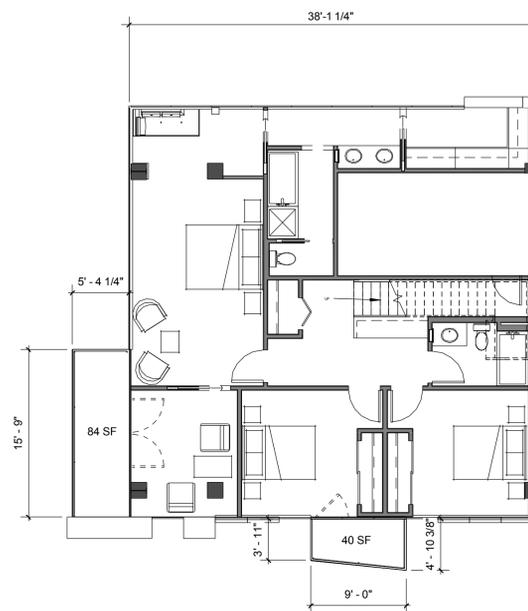
TH3-2 - 3 BEDROOM UPPER 1085 SF



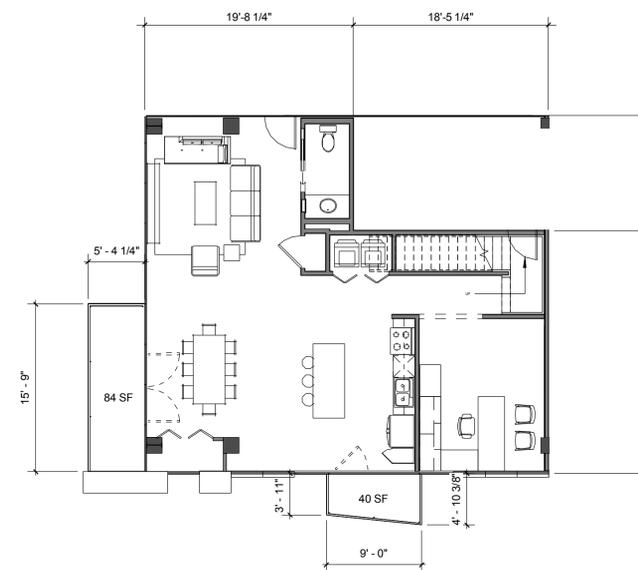
TH3-1 - 3 BEDROOM UPPER 1210 SF



TH3-3 - 3 BEDROOM LOWER 968 SF



TH3-2 - 3 BEDROOM LOWER 1214 SF



TH3-1 - 3 BEDROOM LOWER 1085 SF

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

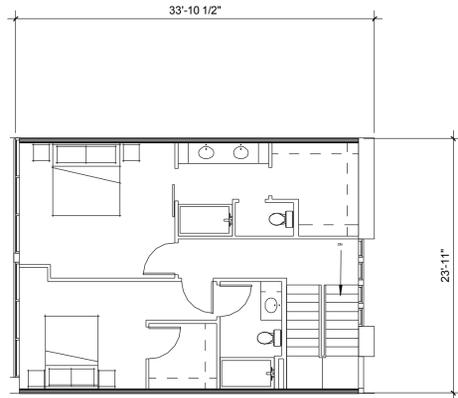
SHEET TITLE  
CONCEPTUAL UNIT  
PLANS

SHEET NUMBER  
**A6.3**

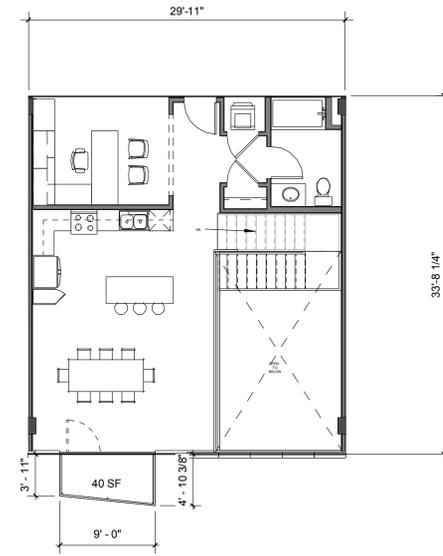
JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.

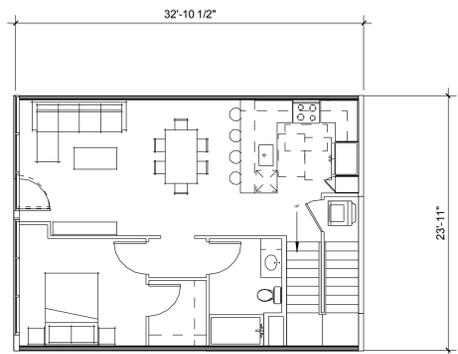




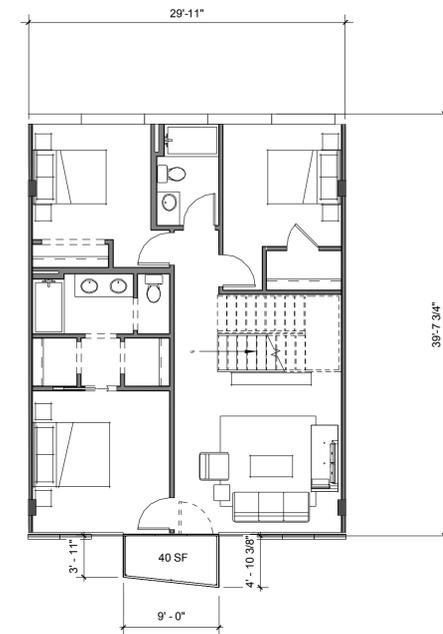
TH3-5 - 3 BEDROOM UPPER 670 SF



TH3-4 - 3 BEDROOM UPPER 968 SF



TH3-5 - 3 BEDROOM LOWER 658 SF



TH3-4 - 3 BEDROOM LOWER 1034 SF

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE  
**CONCEPTUAL UNIT  
 PLANS**

SHEET NUMBER  
**A6.4**

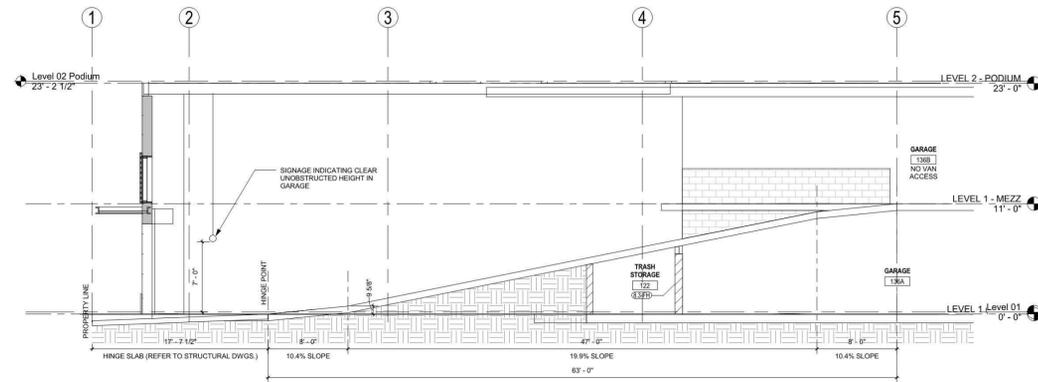
JOB NO.  
2014-10248

DATE  
AS NOTED

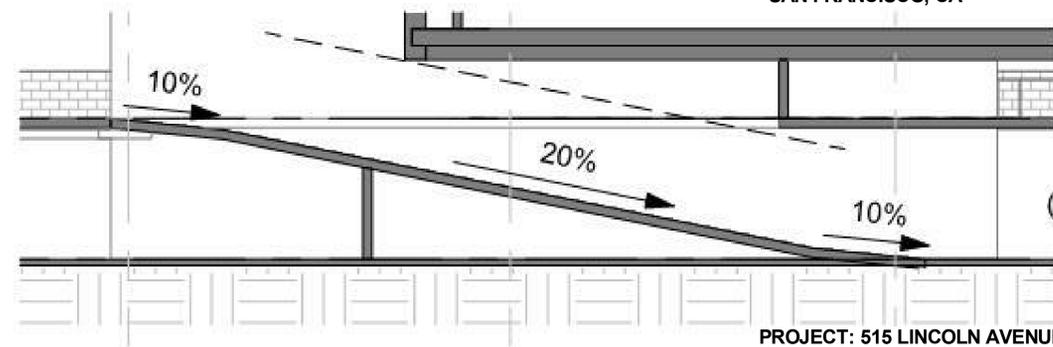
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



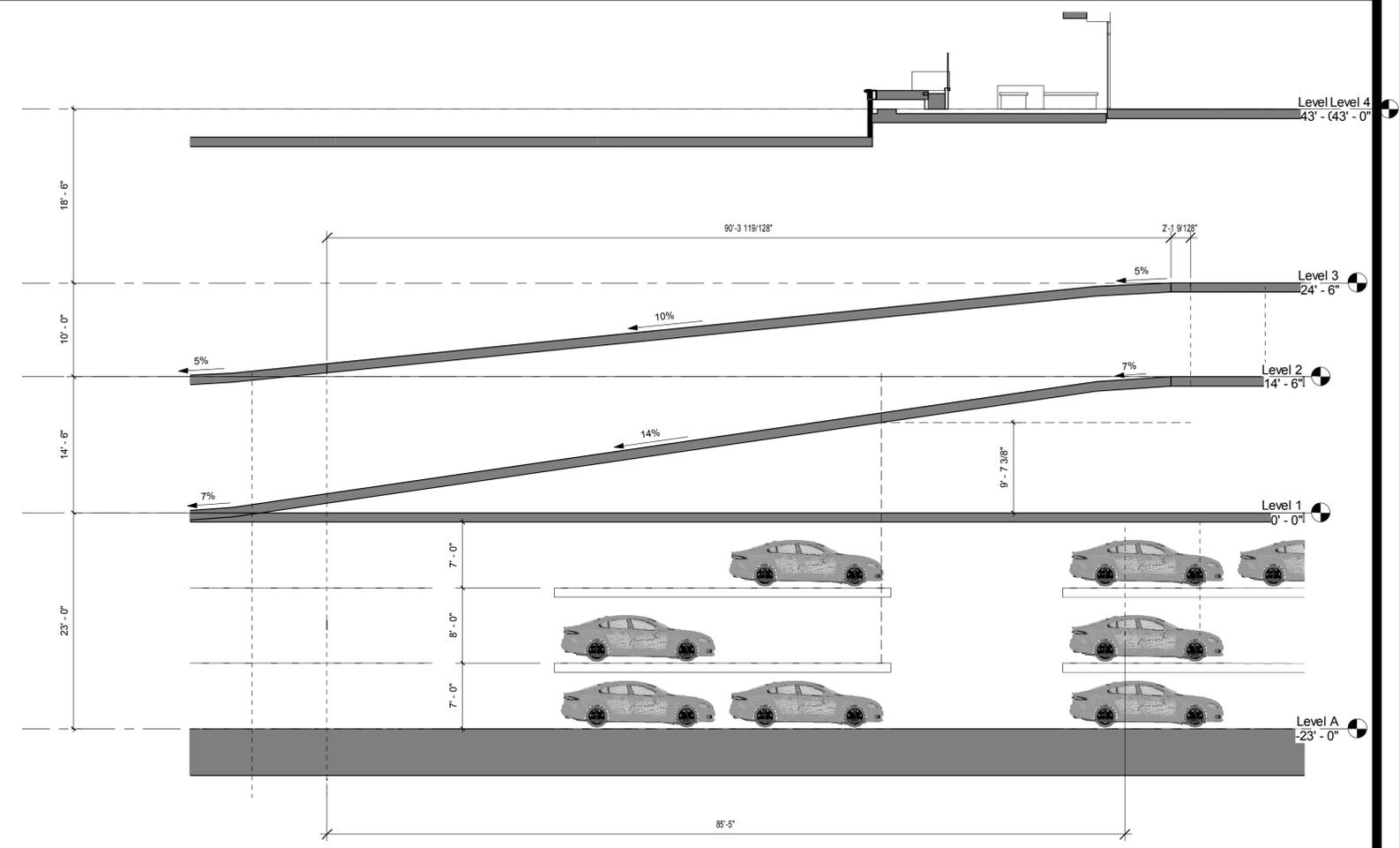


PROJECT: MB 360, BLOCK 11  
LOCATION: 701 CHINA BASIN ST  
SAN FRANCISCO, CA



PROJECT: 515 LINCOLN AVENUE  
LOCATION: SAN JOSE, CA

SPEED RAMP CASE STUDIES



PARKING RAMP / PARKING SYSTEM SECTION

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE  
**PARKING & RAMP DATA**

SHEET NUMBER  
**A7.0**

JOB NO. 2014-10248
DATE AS NOTED
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





10 AM



11 AM



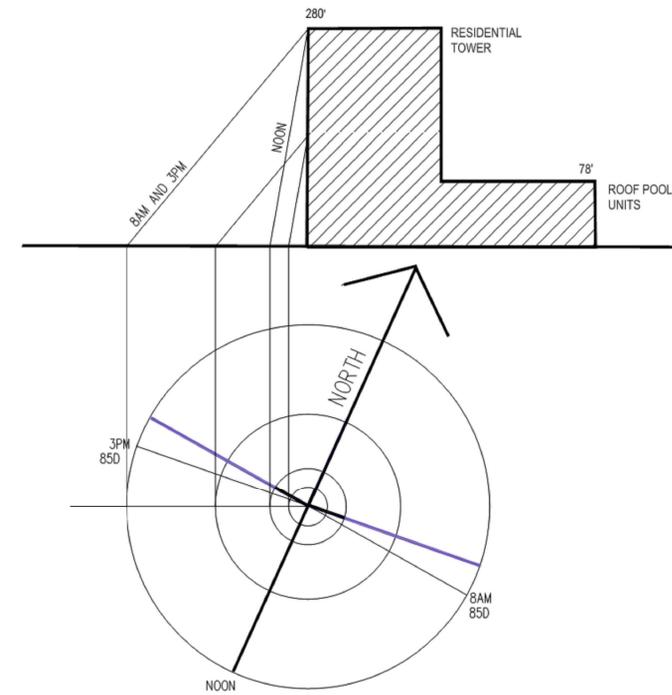
12 PM



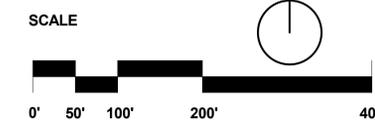
1 PM



2 PM



SUN ANGLE AND SHADOW LENGTH DIAGRAM (MONTH OF JUNE)



GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

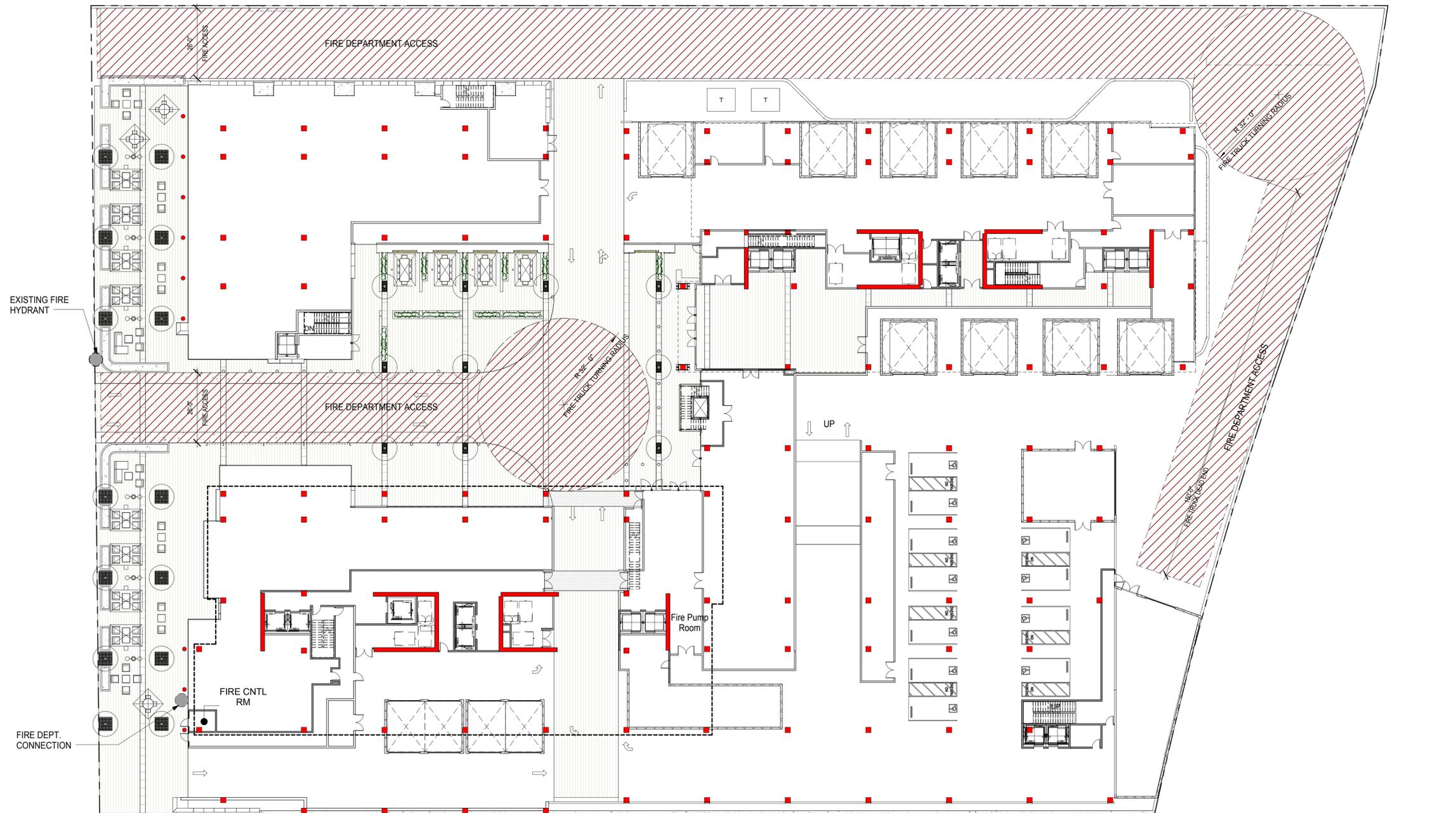
SHEET TITLE  
**SHADOW STUDIES**

SHEET NUMBER  
**A7.1**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





EXISTING FIRE HYDRANT

FIRE DEPT. CONNECTION

FIRE CNTL RM

Fire Pump Room

FIRE DEPARTMENT ACCESS

FIRE DEPARTMENT ACCESS

SCALE



GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**EVA ACCESS PLAN**

SHEET NUMBER  
**A7.2**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET





VIEW 1 McCARTHY BOULEVARD AND 237

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**STREET VIEW  
(REFERENCE ONLY)**

SHEET NUMBER  
**A9.0**

JOB NO. 2014-10248
DATE AS NOTED
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





VIEW 2 CALAVERAS BOULEVARD AND RAILROAD OVERPASS

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**STREET VIEW  
(REFERENCE ONLY)**

SHEET NUMBER  
**A9.1**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





VIEW 3 SOUTH ABEL STREET AT GREAT MALL PARKWAY

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**  
MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**STREET VIEW  
(REFERENCE ONLY)**

SHEET NUMBER  
**A9.2**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





VIEW 4 TASMAN DRIVE AT MCCARTHY BOULEVARD

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**STREET VIEW  
(REFERENCE ONLY)**

SHEET NUMBER  
**A9.3**

JOB NO. 2014-10248
DATE AS NOTED
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





VIEW 5 880 NORTHBOUND AT GREAT MALL PARKWAY

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**STREET VIEW  
(REFERENCE ONLY)**

SHEET NUMBER  
**A9.4**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET



VIEW 6 BARBER LANE AT BELLEW DRIVE

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**STREET VIEW  
(REFERENCE ONLY)**

SHEET NUMBER  
**A9.5**

JOB NO. 2014-10248
DATE AS NOTED
SCALE AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





VIEW 7 880 SOUTHBOUND AT 237

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

**SHEET TITLE**  
**STREET VIEW**  
**(REFERENCE ONLY)**

**SHEET NUMBER**  
**A9.6**

JOB NO.  
2014-10248  
 DATE  
AS NOTED  
 SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.





VIEW 8 BARBER LANE

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE  
**STREET VIEW  
(REFERENCE ONLY)**

SHEET NUMBER  
**A9.7**

JOB NO.  
2014-10248  
DATE  
AS NOTED  
SCALE  
AS INDICATED

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MVE + PARTNERS INC. AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRIOR WRITTEN CONSENT OF MVE + PARTNERS INC. ALL RIGHTS RESERVED. © COPYRIGHT 2015.



10/23/2015 - ENTITLEMENT REVISION SET

**NOTES:**

1. The Plant Palette in this Document is a working Plant Palette. The intention of this Document is to list the possible plants that will be used in each Plant Designation Type; Hedge, Shrub, Groundcover, and Soft Succulent Mix. Not all plants may be used in the final Plan.
2. The irrigation system is to be fully automatic and conform to the City of Milpitas Landscape Guidelines.
3. Sub-surface in-line drip tubing irrigation will be used for all planting areas.
4. The finished Planting Plan will be designed so the Estimated Total Water Use (ETWU) will be less than the Maximum Applied Water Allowance (MAWA) as indicated in the City of Milpitas Landscape Guidelines.
5. The grades and wall heights indicated in this Document are preliminary and are subject to change.
6. Paving types indicated in this Document are preliminary and are subject to change.

**ABBREVIATIONS**

<b>ABBREVIATION</b>	<b>EXTENSION</b>	<b>IE</b>	<b>INVERT ELEVATION</b>
ADA	AMERICANS WITH DISABILITIES ACT	LA or L.A.	LANDSCAPE ARCHITECT
ADJ.	ADJACENT (LAYOUT, MEASUREMENT)	LED or L.E.D.	LIGHT-EMITTING DIODE (ELECTRICAL FIXTURE)
AM	APICAL MERISTEM (PALM TREE REFERENCE)	LOW or L.O.W.	LIMIT OF WORK
ARCH	ARCHITECT	LP	LOW POINT (GRADIENT)
ADJ.	ADJACENT	MAX.	MAXIMUM
BS	BOTTOM OF STEP	MIN.	MINIMUM
BW	BOTTOM OF WALL	NAP or N.A.P	NOT A PART
CAD	COMPUTER-AIDED DESIGN	OC or O.C.	ON-CENTER (LAYOUT, MEASUREMENT)
CIP or C.I.P.	CAST-IN-PLACE (CONCRETE APPLICATIONS)	OD or O.D.	OUTSIDE DIAMETER (LAYOUT, MEASUREMENT)
CIVIL	CIVIL ENGINEER	PA or P.A.	PLANTING AREA
CL	CENTERLINE (LAYOUT, MEASUREMENT)	PERF.	PERFORATED
CLS	CENTER LINE OF SWALE (GRADIENT)	PL	POINT OF BEGINNING (LAYOUT, MEASUREMENT)
CLR	CLEAR	POB or P.O.B.	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PL	POUNDS PER SQUARE INCH (IRRIGATION)
CONC.	CONCRETE	PSI	PRESSURE-TREATED DOUGLAS FIR
DIA	DIAMETER (LAYOUT, MEASUREMENT)	PTDF	RADIUS (LAYOUT, MEASUREMENT)
EJ	EXPANSION JOINT (CONCRETE APPLICATIONS)	R	REFERENCE OR REFER TO
EQ	EQUAL (LAYOUT, MEASUREMENT)	REF	REINFORCEMENT
EXT.	EXTERIOR	SE	STRUCTURAL ENGINEER
F.O.B.	FACE OF BUILDING	SPECS	CONTRACT SPECIFICATIONS
FG or F.G.	FINISHED GRADE (TOP SOIL GRADIENT)	S/S	STAINLESS STEEL
FS or F.S.	FINISHED SURFACE (HARD SURFACES)	TB	TO BE DETERMINED
GALV.	GALVANIZED	TC	TOP OF CURB (GRADIENT ELEVATION)
GEOTECH	GEOTECHNICAL ENGINEER	TG	TOP OF GRATE (GRADIENT ELEVATION)
GPH	GALLONS PER HOUR (IRRIGATION)	TS	TOP OF STEP (GRADIENT ELEVATION)
GPM	GALLONS PER MINUTE (IRRIGATION)	TW	TOP OF WALL (GRADIENT ELEVATION)
HEX.	HEXAGONAL	TYP	TYPICAL
HP	HIGH POINT (GRADIENT)	W/	WITH
HSS	HOLLOW STRUCTURAL SECTION		
HEY.			

**SHEET INDEX:**

**GENERAL SHEETS**

<u>REFERENCE</u>	<u>SHEET NAME</u>
L0.01	NOTES AND LEGENDS
L0.02	AMENITY AND LIGHTING LEGENDS
L0.03	PLANTING LEGEND

**MATERIALS AND LAYOUT PLANS**

<u>REFERENCE</u>	<u>SHEET NAME</u>
L1.01	LEVEL 1 LAYOUT PLAN
L1.02	LEVEL 4 LAYOUT PLAN
L1.03	LEVEL 8 LAYOUT PLAN

**PLANTING PLANS**

<u>REFERENCE</u>	<u>SHEET NAME</u>
L2.01	LEVEL 1 PLANTING PLAN
L2.02	LEVEL 3 PLANTING PLAN
L2.03	LEVEL 4 PLANTING PLAN

**LIGHTING PLANS**

<u>REFERENCE</u>	<u>SHEET NAME</u>
L3.01	LEVEL 1 LIGHTING PLAN
L3.02	LEVEL 4 LIGHTING PLAN
L3.03	LEVEL 8 LIGHTING PLAN

PAVING SCHEDULE (P)							
SYMBOL	KEY	DESCRIPTION	MATERIAL	COLOR	FINISH	REMARK	DETAIL
	P1	LINEAR PARK PAVING	DIMENSIONAL UNIT PAVER, MATERIAL TBD	TBD	TBD	NO BEVEL DIMENSIONAL UNIT PAVER OVER PEDESTRIAN RATED BASE MATERIAL.	--
	P2	LINEAR PARK PAVING BAND	DIMENSIONAL UNIT PAVER, MATERIAL TBD	TBD	TBD	NO BEVEL DIMENSIONAL UNIT PAVER OVER PEDESTRIAN RATED BASE MATERIAL.	--
	P3	ENTRY PAVING	DIMENSIONAL UNIT PAVER, MATERIAL TBD	TBD	TBD	4"X4" NO BEVEL NON-PERMEABLE DIMENSIONAL UNIT PAVER OVER VEHICULAR RATED BASE MATERIAL.	--
	P4	ENTRY PAVING BAND	DIMENSIONAL UNIT PAVER, MATERIAL TBD	TBD	TBD	4"X4" NO BEVEL NON-PERMEABLE DIMENSIONAL UNIT PAVER OVER VEHICULAR RATED BASE MATERIAL.	--
	P5	PUBLIC SIDEWALK PAVING	C.I.P. CONCRETE	NATURAL GRAY	BROOM	PAVING TYPE, COLOR, AND FINISH TO MATCH EXISTING CONCRETE SIDEWALK.	--
	P6	PAVING BAND	C.I.P. CONCRETE	TBD	TBD	INTEGRAL COLOR CONCRETE W/ ENHANCED FINISH TBD. NON-PERMEABLE. SAW CUT JOINTS. VEHICULAR THICKNESS.	--
	P7	FORECOURT PLAZA WALKWAY PAVING	CONCRETE UNIT PAVER	TBD	TBD	PRE-CAST CONCRETE UNIT PAVER. MORTAR SET TO C.I.P. SUB-SLAB.	--
	P8	FORECOURT PLAZA CARPET PAVING	DIMENSIONAL UNITE PAVER, MATERIAL TBD	TBD	TBD	NO BEVEL DIMENSIONAL UNIT PAVER OVER VEHICULAR RATED BASE MATERIAL.	--
	P9	FORECOURT PLAZA METAL PAVING BAND	BRUSHED STAINLESS STEEL	NATURAL	NATURAL	WIDTH AND THICKNESS TBD. BAND SET TO C.I.P. SUB-SLAB.	--
	P10	WOOD DECKING	IPE TROPICAL HARDWOOD	TBD	TBD	PEDESTAL SYSTEM ON SUB-SURFACE C.I.P. CONCRETE SLAB.	--
	P11	TRUNCATED DOMES	TBD	TBD	TBD	ADA AND CBC COMPLIANT TRUNCATED DOME WARNING STRIP.	--
WALL AND STAIR SCHEDULE (W)							
SYMBOL	KEY	DESCRIPTION	MATERIAL	COLOR	FINISH	REMARK	DETAIL
	W1	LINEAR PARK SEATWALL	C.I.P. CONCRETE W/ CLADDING AND TOP SURFACE TBD	TBD	TBD	18" TALL SEAT WALL.	--
	W2	SEATING PLATFORMS	C.I.P. CONCRETE W/ CLADDING AND TOP SURFACE TBD	TBD	TBD	18" TALL SEAT WALL.	--
	W3	PERFORATED SCREENING WALL	DOUBLE PANEL, PERFORATED ALUMINUM	SILVER	POWDERCOATED	10' TALL SCREENING WALL FIXED TO TUBULAR STEEL POSTS 8' O.C.	--
	W4	C.I.P. CONCRETE STEPS	C.I.P. CONCRETE WITH ENHANCED FINISH	TBD	TBD	INTEGRAL COLOR CONCRETE W/ ENHANCED FINISH TBD.	--
WATER FEATURE AND FOUNTAIN SCHEDULE (F)							
SYMBOL	KEY	DESCRIPTION	MATERIAL	COLOR	FINISH	REMARK	DETAIL
	F1	FORECOURT PLAZA WATERWALL	TBD	TBD	TBD		--
	F2	CLUB POOL AND JACUZZI	TBD	TBD	TBD		--
	F3	RESIDENTS POOL	TBD	TBD	TBD		--
	F4	RESIDENTS JACUZZI	TBD	TBD	TBD		--
RAIL AND FENCE SCHEDULE (R)							
SYMBOL	KEY	DESCRIPTION	MATERIAL	COLOR	FINISH	REMARK	DETAIL
	R1	CLUB POOL PERIMETER FENCE	H.S.S. STAINLESS STEEL W/ GLASS PANELS AND ATTACHING HARDWARE	TBD	TBD		--
	R2	CLUB POOL PERIMETER FENCE GATE	H.S.S. STAINLESS STEEL W/ GLASS PANELS AND ATTACHING HARDWARE	TBD	TBD		--

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

**SHEET TITLE**

NOTES AND LEGENDS

**SHEET NUMBER**

**L0.01**

JOB NO. MVESS01
DATE
ISSUE DATE
SCALE 1" = 20'

**swa**

570 Glenneyre Street  
Laguna Beach, California  
92651-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471 o

NOT FOR CONSTRUCTION

AMENITY SCHEDULE (A)							
SYMBOL	KEY	DESCRIPTION	MATERIAL	COLOR	FINISH	REMARK	DETAIL
	A1	CAFE TABLE AND CHAIRS	TBD	TBD	TBD	--	--
	A2	FORECOURT BENCH	TBD	TBD	TBD	--	--
	A3	SCULPTURAL COVERED LOUNGE	TBD	TBD	TBD	--	--
	A4	POOL DECK BENCH	TBD	TBD	TBD	--	--
	A5	CABANA	TBD	TBD	TBD	--	--
	A6	CHAISE LOUNGE CHAIR	TBD	TBD	TBD	--	--
	A7	SIDE TABLE	TBD	TBD	TBD	--	--
	A8	CLUB POOL DECK PERIMETER TRELLIS	TBD	TBD	TBD	--	--
	A9	CLUB POOL DECK CANOPY	TBD	TBD	TBD	--	--
	A10	TRELLIS	TBD	TBD	TBD	--	--
	A11	RESIDENTS BANQUETS	TBD	TBD	TBD	--	--
	A12	DINING TABLE AND UMBRELLA	TBD	TBD	TBD	--	--
	A13	RESIDENTS JACUZZI ARMATURE	TBD	TBD	TBD	--	--
	A14	OUTDOOR BARBEQUE	TBD	TBD	TBD	--	--
	A15	LARGE RECTANGULAR POT	TBD	TBD	TBD	--	--
	A16	LOUNGE FURNITURE	TBD	TBD	TBD	--	--
	A17	ROOF COMMONS DINING TABLE	TBD	TBD	TBD	--	--
	A18	BOLLARD	TBD	TBD	TBD	--	--
	A19	UMBRELLA	TBD	TBD	TBD	--	--
LIGHTING SCHEDULE (L)							
SYMBOL	KEY	DESCRIPTION	SUPPLIER	COLOR	FINISH	REMARK	DETAIL
⊕	L1	BOLLARD LIGHT	TBD	TBD	TBD	--	--
●	L2	GROUND LIGHT	TBD	TBD	TBD	--	--
⊖	L3	FOUNTAIN LIGHT	TBD	TBD	TBD	--	--
◐	L4	INSET PAVING LIGHT	TBD	TBD	TBD	--	--
○	L5	TREE UPLIGHT	TBD	TBD	TBD	--	--
▼	L6	WALL UPLIGHT	TBD	TBD	TBD	--	--

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

**SHEET TITLE**

AMENITY AND LIGHTING LEGENDS

**SHEET NUMBER**

**L0.02**

JOB NO.  
MVESS01  
DATE  
ISSUE DATE  
SCALE  
1" = 20'

**swa**

570 Glenneyre Street  
Laguna Beach, California  
92651-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471

NOT FOR CONSTRUCTION

PLANTING SCHEDULE									
SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	MINIMUM SIZE	FORM	SPACING	DETAIL	REMARKS/COMMENTS
TREES									
--	GIN BIL	GINKGO BILOBA	GINKGO	72" BOX	TBD	STANDARD	PER PLAN	--	FULL, DENSE GROWTH, PREMIUM SELECT GRADE, SPECIMEN QUALITY, SYMMETRICAL, WELL-ROOTED, AS NURSERY TAGGED AND FIELD ACCEPTED BY LANDSCAPE ARCHITECT.
	GLE TRI	GLEDITSIA TRICANTHOS	HONEY LOCUST	72" BOX	TBD	STANDARD	PER PLAN	--	FULL, DENSE GROWTH, PREMIUM SELECT GRADE, SPECIMEN QUALITY, SYMMETRICAL, WELL-ROOTED, AS NURSERY TAGGED AND FIELD ACCEPTED BY LANDSCAPE ARCHITECT.
SHRUBS									
	BUX MIC	BUXUS MICROPHYLLA JAPONICA	JAPANESE BOXWOOD	15 GAL	TBD	STANDARD	TBD	--	FULL/SYMMETRICAL IN NURSERY CONTAINER, PREMIUM SLECT GRADE, DENSE GROWTH, WELL-ROOTED, AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT.
	ESC FRA	ESCALLONIA FRADESII	ESCALLONIA	15 GAL	TBD	STANDARD	TBD	--	
	HEU GEN	HEUCHERA 'GENEVIEVE'	GENEVIEVE CORAL BELLS	15 GAL	TBD	STANDARD	TBD	--	
	POD GRA	PODOCARPUS GRACILIOR	FERN PINE	15 GAL	TBD	STANDARD	TBD	--	
	TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	15 GAL	TBD	STANDARD	TBD	--	
GRASSES									
	BAU RUB	BAUMEA RUBIGINOSA 'VARIEGATA'	VARIEGATED STRIPED RUSH	5 GAL	TBD	ORNAMENTAL GRASS	TBD	--	FULL/SYMMETRICAL IN NURSERY CONTAINER, PREMIUM SLECT GRADE, DENSE GROWTH, WELL-ROOTED, AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT.
	CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	TBD	ORNAMENTAL GRASS	TBD	--	
	MIS TRA	MISCANTHUS TRANSMORRISONENSIS	EVERGREEN EULALIA	5 GAL	TBD	ORNAMENTAL GRASS	TBD	--	
GROUNDCOVERS									
	FES RUB	FESTUCA RUBRA	CREEPING RED FESCUE	1 GAL	TBD	SPREADING GRASS	TBD	--	FULL/SYMMETRICAL IN NURSERY CONTAINER, PREMIUM SLECT GRADE, DENSE GROWTH, WELL-ROOTED, AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT.
STORMWATER TREATMENT									
	CAR CAL	CARPENTERIA CALIFORNICA	BUSH ANEMONE	15 GAL	TBD	STANDARD	TBD	--	FULL/SYMMETRICAL IN NURSERY CONTAINER, PREMIUM SLECT GRADE, DENSE GROWTH, WELL-ROOTED, AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT.
	FES CAL	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	5 GAL	TBD	STANDARD	TBD	--	
VINES									
	DIS BUC	DISTICTIS BUCCINATORIA	RED TRUMPET VINE	5 GAL	TBD	STAKED VINE	TBD	--	FULL/SYMMETRICAL IN NURSERY CONTAINER, PREMIUM SLECT GRADE, DENSE GROWTH, WELL-ROOTED, AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT.

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE

PLANTING LEGEND

SHEET NUMBER

L0.03

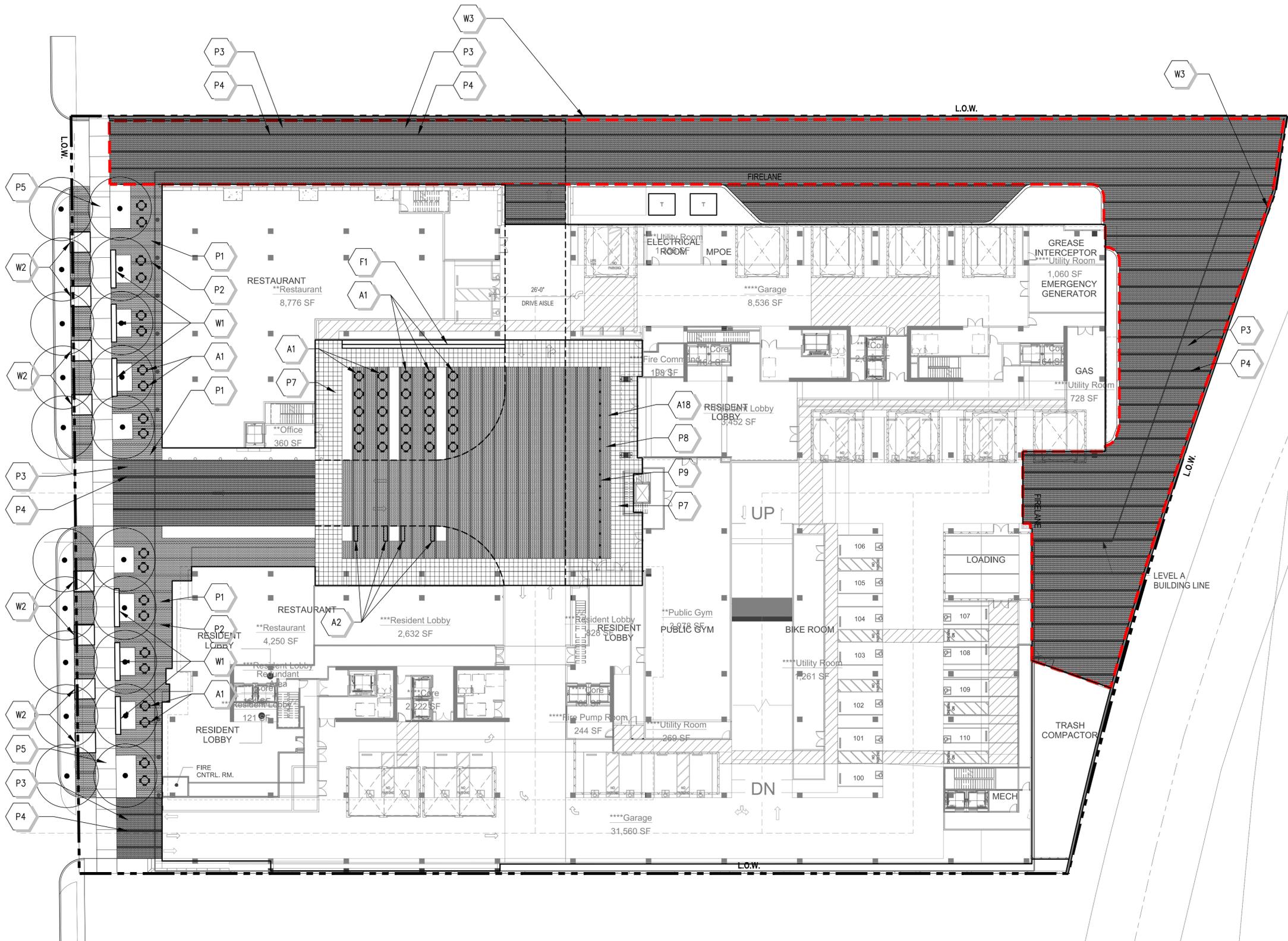
JOB NO.  
MVESS01  
DATE  
ISSUE DATE  
SCALE  
1" = 20'

**swa**

570 Glenneyre Street  
Laguna Beach, California  
92651-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471 o

NOT FOR CONSTRUCTION

10/23/2015 - ENTITLEMENT REVISION SET



PAVING SCHEDULE (P)		
SYMBOL	KEY	DESCRIPTION
[Symbol]	P1	LINEAR PARK PAVING
[Symbol]	P2	LINEAR PARK PAVING BAND
[Symbol]	P3	ENTRY PAVING
[Symbol]	P4	ENTRY PAVING BAND
[Symbol]	P5	PUBLIC SIDEWALK PAVING
[Symbol]	P6	PAVING BAND
[Symbol]	P7	FORECOURT PLAZA WALKWAY PAVING
[Symbol]	P8	FORECOURT PLAZA CARPET PAVING
[Symbol]	P9	FORECOURT PLAZA METAL PAVING BAND
[Symbol]	P10	WOOD DECKING
[Symbol]	P11	TRUNCATED DOMES

WALL AND STAIR SCHEDULE (W)		
SYMBOL	KEY	DESCRIPTION
[Symbol]	W1	LINEAR PARK SEATWALL
[Symbol]	W2	SEATING PLATFORMS
[Symbol]	W3	PERFORATED SCREENING WALL
[Symbol]	W4	C.I.P. CONCRETE STEPS

WATER FEATURE AND FOUNTAIN SCHEDULE (F)		
SYMBOL	KEY	DESCRIPTION
[Symbol]	F1	FORECOURT PLAZA WATERWALL
[Symbol]	F2	CLUB POOL AND JACUZZI
[Symbol]	F3	RESIDENTS POOL
[Symbol]	F4	RESIDENTS JACUZZI

RAIL AND FENCE SCHEDULE (R)		
SYMBOL	KEY	DESCRIPTION
[Symbol]	R1	CLUB POOL PERIMETER FENCE
[Symbol]	R2	CLUB POOL PERIMETER FENCE GATE

AMENITY SCHEDULE (A)		
SYMBOL	KEY	DESCRIPTION
[Symbol]	A1	CAFE TABLE AND CHAIRS
[Symbol]	A2	FORECOURT BENCH
[Symbol]	A3	SCULPTURAL COVERED LOUNGE
[Symbol]	A4	POOL DECK BENCH
[Symbol]	A5	CABANA
[Symbol]	A6	CHAISE LOUNGE CHAIR
[Symbol]	A7	SIDE TABLE
[Symbol]	A8	CLUB POOL DECK PERIMETER TRELLIS
[Symbol]	A9	CLUB POOL DECK CANOPY
[Symbol]	A10	TRELLIS
[Symbol]	A11	RESIDENTS BANQUETS
[Symbol]	A12	DINING TABLE AND UMBRELLA
[Symbol]	A13	RESIDENTS JACUZZI ARMATURE
[Symbol]	A14	OUTDOOR BARBEQUE
[Symbol]	A15	LARGE RECTANGULAR POT
[Symbol]	A16	LOUNGE FURNITURE
[Symbol]	A17	ROOF COMMONS DINING TABLE
[Symbol]	A18	BOLLARD
[Symbol]	A19	UMBRELLA

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE

LEVEL 1 LAYOUT PLAN

SHEET NUMBER

L1.01

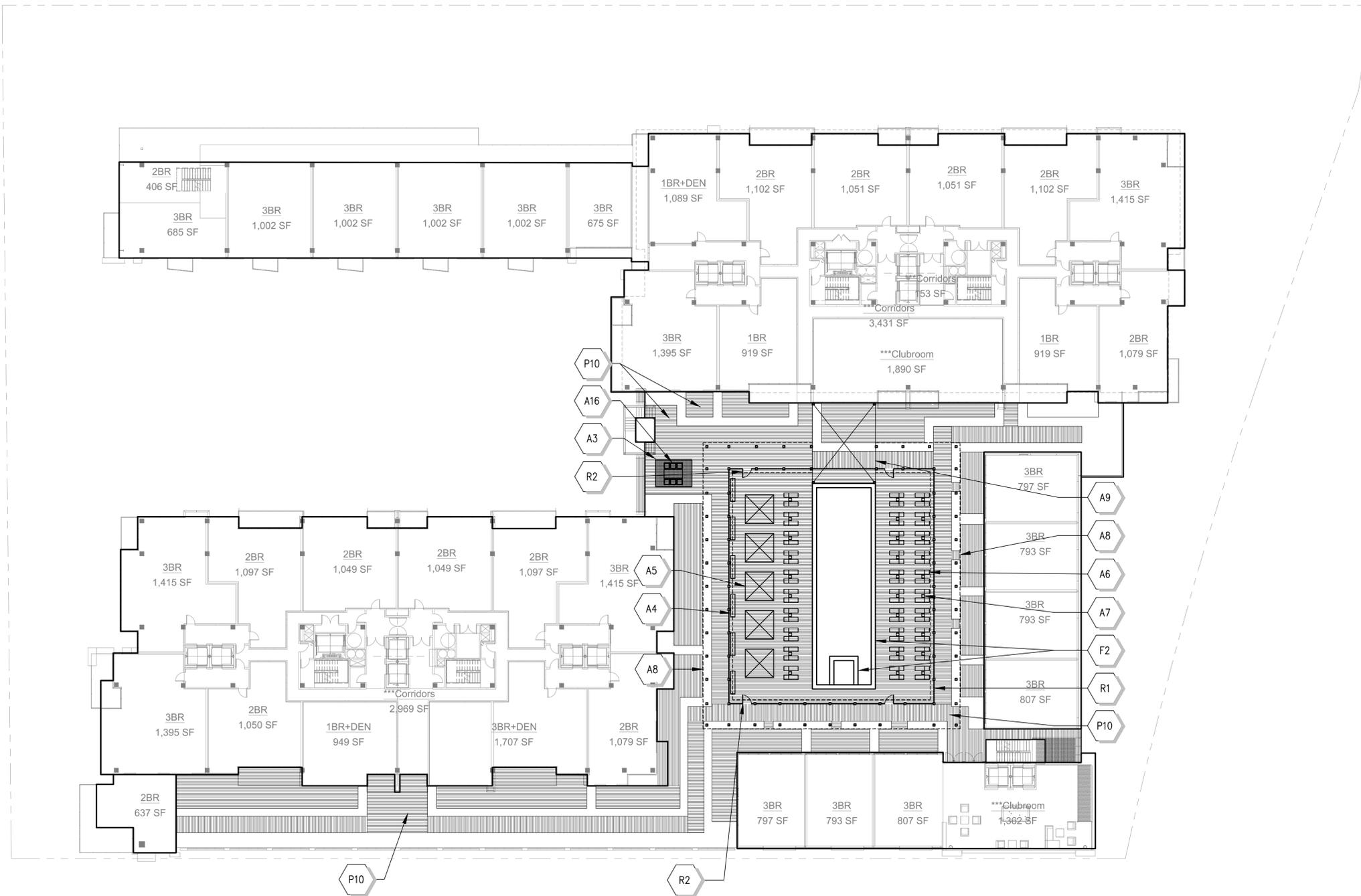
JOB NO. MVESS01  
DATE  
ISSUE DATE  
SCALE 1" = 20'

**swa**

570 Gleneyre Street  
Laguna Beach, California  
92653-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471 o

NOT FOR CONSTRUCTION

10/23/2015 - ENTITLEMENT REVISION SET



PAVING SCHEDULE (P)		
SYMBOL	KEY	DESCRIPTION
	P1	LINEAR PARK PAVING
	P2	LINEAR PARK PAVING BAND
	P3	ENTRY PAVING
	P4	ENTRY PAVING BAND
	P5	PUBLIC SIDEWALK PAVING
	P6	PAVING BAND
	P7	FORECOURT PLAZA WALKWAY PAVING
	P8	FORECOURT PLAZA CARPET PAVING
	P9	FORECOURT PLAZA METAL PAVING BAND
	P10	WOOD DECKING
	P11	TRUNCATED DOMES

WALL AND STAIR SCHEDULE (W)		
SYMBOL	KEY	DESCRIPTION
	W1	LINEAR PARK SEATWALL
	W2	SEATING PLATFORMS
	W3	PERFORATED SCREENING WALL
	W4	C.I.P. CONCRETE STEPS

WATER FEATURE AND FOUNTAIN SCHEDULE (F)		
SYMBOL	KEY	DESCRIPTION
	F1	FORECOURT PLAZA WATERWALL
	F2	CLUB POOL AND JACUZZI
	F3	RESIDENTS POOL
	F4	RESIDENTS JACUZZI

RAIL AND FENCE SCHEDULE (R)		
SYMBOL	KEY	DESCRIPTION
	R1	CLUB POOL PERIMETER FENCE
	R2	CLUB POOL PERIMETER FENCE GATE

AMENITY SCHEDULE (A)		
SYMBOL	KEY	DESCRIPTION
	A1	CAFE TABLE AND CHAIRS
	A2	FORECOURT BENCH
	A3	SCULPTURAL COVERED LOUNGE
	A4	POOL DECK BENCH
	A5	CABANA
	A6	CHAISE LOUNGE CHAIR
	A7	SIDE TABLE
	A8	CLUB POOL DECK PERIMETER TRELIS
	A9	CLUB POOL DECK CANOPY
	A10	TRELIS
	A11	RESIDENTS BANQUETS
	A12	DINING TABLE AND UMBRELLA
	A13	RESIDENTS JACUZZI ARMATURE
	A14	OUTDOOR BARBEQUE
	A15	LARGE RECTANGULAR POT
	A16	LOUNGE FURNITURE
	A17	ROOF COMMONS DINING TABLE
	A18	BOLLARD
	A19	UMBRELLA

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE

LEVEL 4 LAYOUT PLAN

SHEET NUMBER

L1.02

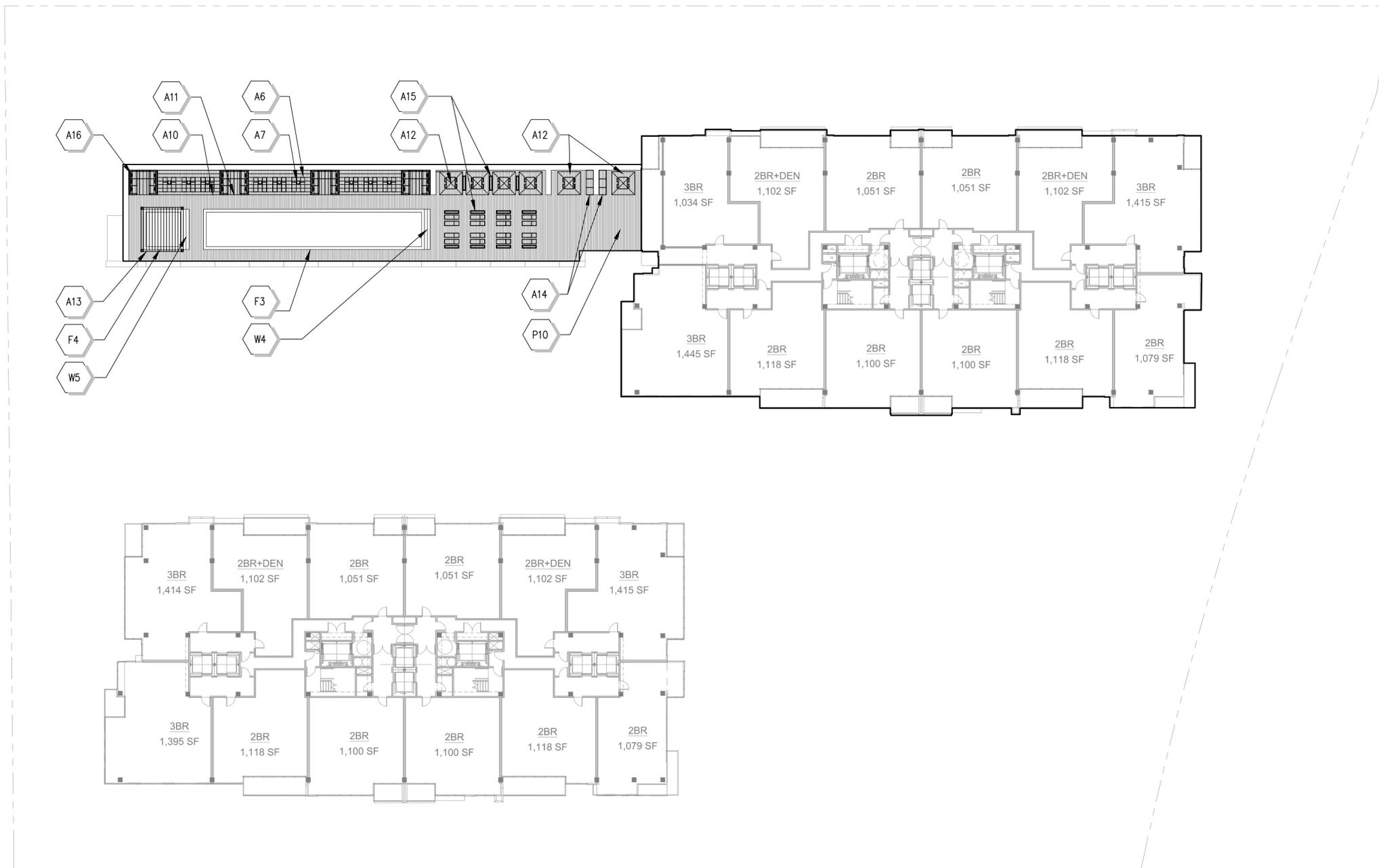
JOB NO.  
MVESS01  
DATE  
ISSUE DATE  
SCALE  
1" = 20'

**swa**

570 Glenneyre Street  
Laguna Beach, California  
92653-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471 o

NOT FOR CONSTRUCTION

10/23/2015 - ENTITLEMENT REVISION SET



PAVING SCHEDULE (P)		
SYMBOL	KEY	DESCRIPTION
	P1	LINEAR PARK PAVING
	P2	LINEAR PARK PAVING BAND
	P3	ENTRY PAVING
	P4	ENTRY PAVING BAND
	P5	PUBLIC SIDEWALK PAVING
	P6	PAVING BAND
	P7	FORECOURT PLAZA WALKWAY PAVING
	P8	FORECOURT PLAZA CARPET PAVING
	P9	FORECOURT PLAZA METAL PAVING BAND
	P10	WOOD DECKING
	P11	TRUNCATED DOMES

WALL AND STAIR SCHEDULE (W)		
SYMBOL	KEY	DESCRIPTION
	W1	LINEAR PARK SEATWALL
	W2	SEATING PLATFORMS
	W3	PERFORATED SCREENING WALL
	W4	C.I.P. CONCRETE STEPS

WATER FEATURE AND FOUNTAIN SCHEDULE (F)		
SYMBOL	KEY	DESCRIPTION
	F1	FORECOURT PLAZA WATERWALL
	F2	CLUB POOL AND JACUZZI
	F3	RESIDENTS POOL
	F4	RESIDENTS JACUZZI

RAIL AND FENCE SCHEDULE (R)		
SYMBOL	KEY	DESCRIPTION
	R1	CLUB POOL PERIMETER FENCE
	R2	CLUB POOL PERIMETER FENCE GATE

AMENITY SCHEDULE (A)		
SYMBOL	KEY	DESCRIPTION
	A1	CAFE TABLE AND CHAIRS
	A2	FORECOURT BENCH
	A3	SCULPTURAL COVERED LOUNGE
	A4	POOL DECK BENCH
	A5	CABANA
	A6	CHAISE LOUNGE CHAIR
	A7	SIDE TABLE
	A8	CLUB POOL DECK PERIMETER TRELLIS
	A9	CLUB POOL DECK CANOPY
	A10	TRELLIS
	A11	RESIDENTS BANQUETS
	A12	DINING TABLE AND UMBRELLA
	A13	RESIDENTS JACUZZI ARMATURE
	A14	OUTDOOR BARBEQUE
	A15	LARGE RECTANGULAR POT
	A16	LOUNGE FURNITURE
	A17	ROOF COMMONS DINING TABLE
	A18	BOLLARD
	A19	UMBRELLA

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE

LEVEL 8 LAYOUT PLAN

SHEET NUMBER

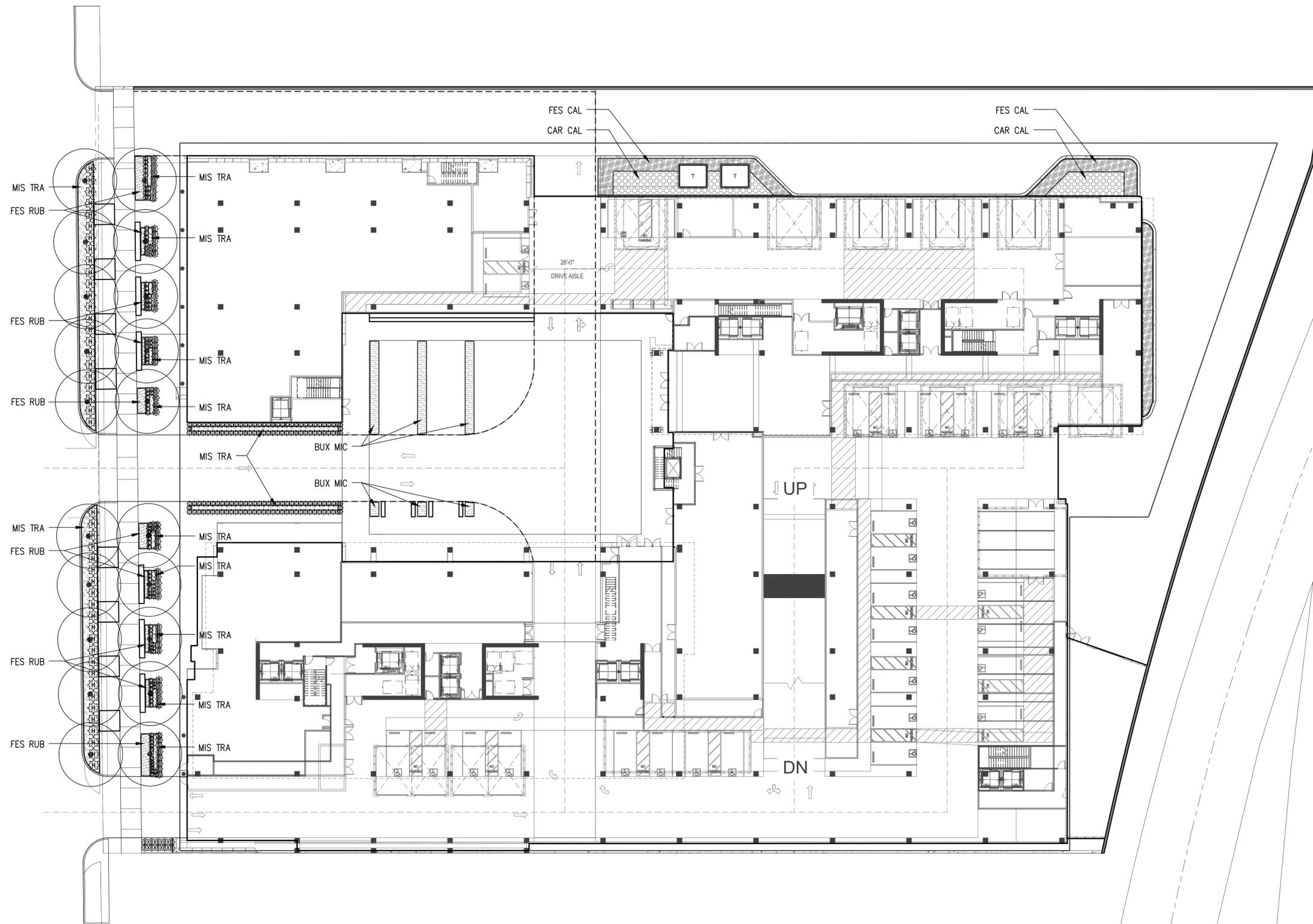
L1.03

JOB NO.  
MVESS01  
DATE  
ISSUE DATE  
SCALE  
1" = 20'

# swa

570 Glenneyre Street  
Laguna Beach, California  
92653-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471 o

NOT FOR CONSTRUCTION



PLANTING SCHEDULE		
SYMBOL	ABBREVIATION	BOTANICAL NAME
TREES		
—	GIN BIL	GINKGO BILOBA
○	GLE TRI	GLEDITSIA TRICANTHOS
SHRUBS		
■	BUX MIC	BUXUS MICROPHYLLA JAPONICA
■	ESC FRA	ESCALLONIA FRADESII
■	HEU GEN	HEUCHERA 'GENEVIEVE'
■	POD GRA	PODOCARPUS GRACILIOR
■	TRA JAS	TRACHELOSPERMUM JASMINOIDES
GRASSES		
■	BAU RUB	BAUMEA RUBIGINOSA 'VARIEGATA'
■	CHO TEC	CHONDROPETALUM TECTORUM
■	MIS TRA	MISCANTHUS TRANSMORRISONENSIS
GROUNDCOVERS		
■	FES RUB	FESTUCA RUBRA
STORMWATER TREATMENT		
■	CAR CAL	CARPENTERIA CALIFORNICA
■	FES CAL	FESTUCA CALIFORNICA
VINES		
▲	DIS BUC	DISTICTIS BUCCINATORIA

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE

LEVEL 1 PLANTING PLAN

SHEET NUMBER

L2.01

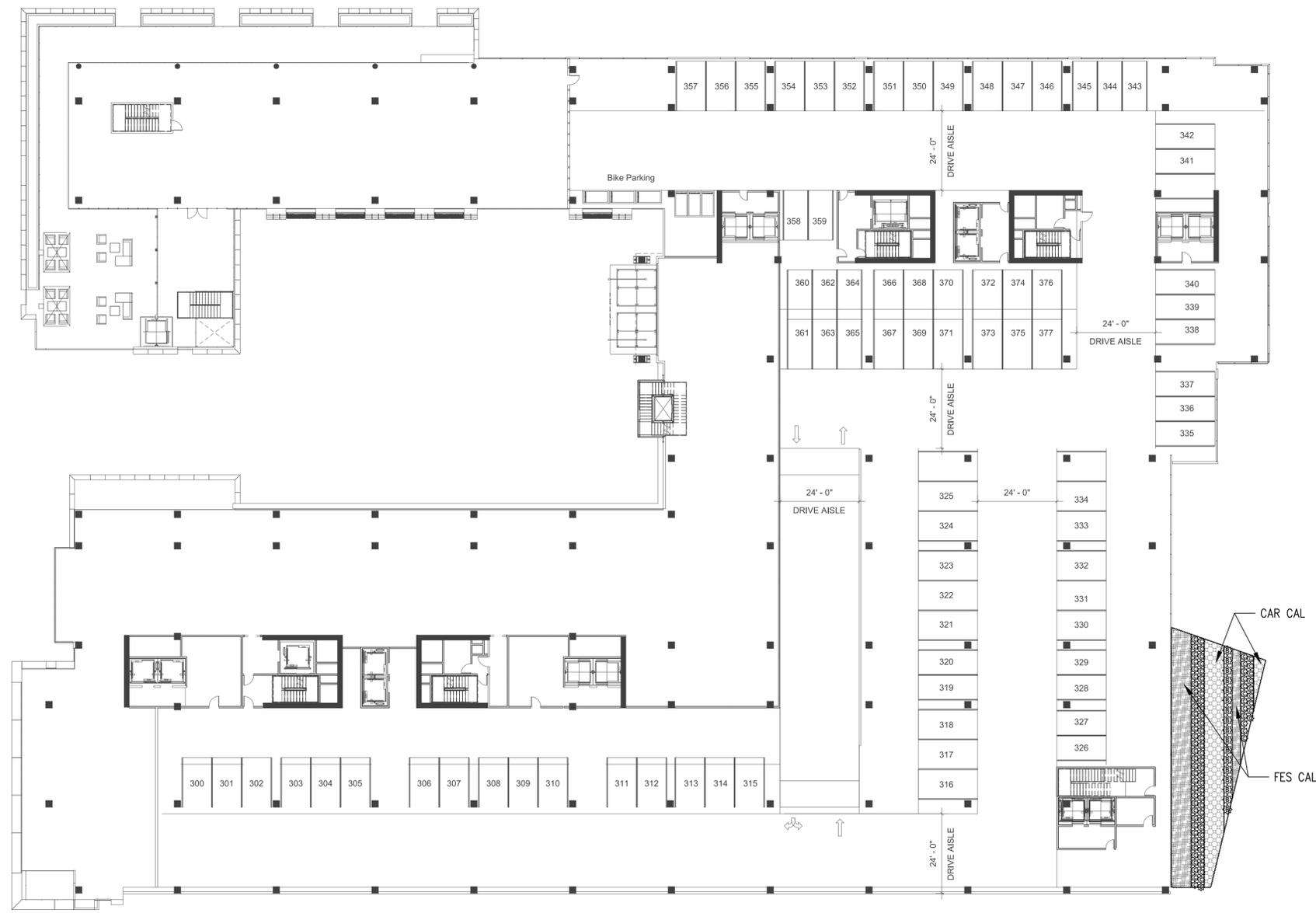
JOB NO.  
MVES501  
DATE  
ISSUE DATE  
SCALE  
1" = 20'



570 Gleneyre Street  
Laguna Beach, California  
92651-2453  
United States  
laguna@swagroup.com  
+1.949.487.5471 o

NOT FOR CONSTRUCTION

10/23/2015 - ENTITLEMENT REVISION SET



PLANTING SCHEDULE		
SYMBOL	ABBREVIATION	BOTANICAL NAME
<b>TREES</b>		
--	GIN BIL	GINKGO BILOBA
○	GLE TRI	GLEDITSIA TRICANTHOS
<b>SHRUBS</b>		
■	BUX MIC	BUXUS MICROPHYLLA JAPONICA
■	ESC FRA	ESCALLONIA FRADESII
■	HEU GEN	HEUCHERA 'GENEVEVE'
■	POD GRA	PODOCARPUS GRACILIOR
■	TRA JAS	TRACHELOSPERMUM JASMINOIDES
<b>GRASSES</b>		
■	BAU RUB	BAUMEA RUBIGINOSA 'VARIEGATA'
■	CHO TEC	CHONDROPETALUM TECTORUM
■	MIS TRA	MISCANTHUS TRANSMORRISONENSIS
<b>GROUNDCOVERS</b>		
■	FES RUB	FESTUCA RUBRA
<b>STORMWATER TREATMENT</b>		
■	CAR CAL	CARPENTERIA CALIFORNICA
■	FES CAL	FESTUCA CALIFORNICA
<b>VINES</b>		
▲	DIS BUC	DISTICTIS BUCCINATORIA

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

**SHEET TITLE**  
LEVEL 3 PLANTING PLAN

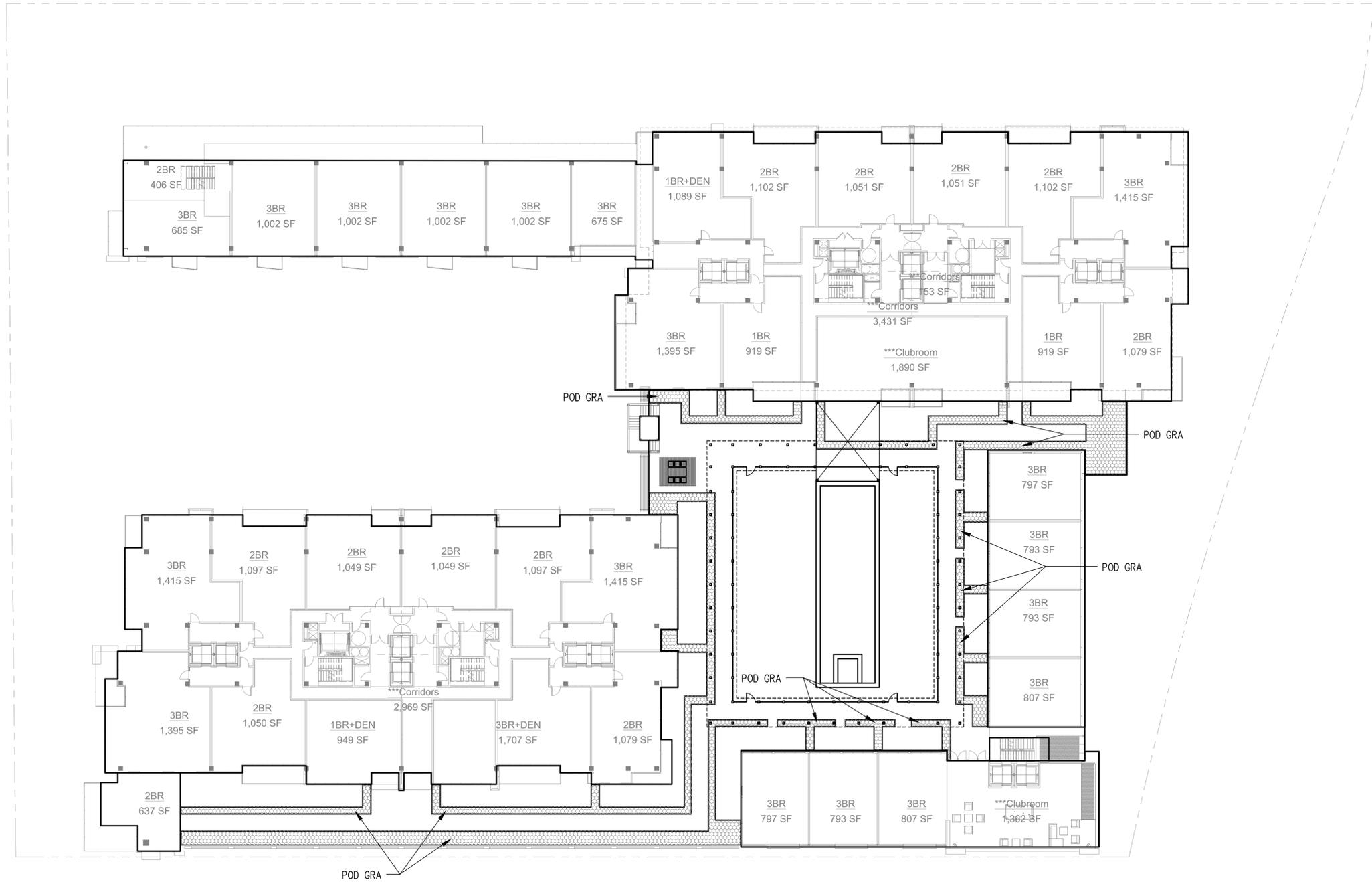
**SHEET NUMBER**  
L2.02

JOB NO. MVESS01  
DATE  
ISSUE DATE  
SCALE 1" = 20'



570 Glenneyre Street  
Laguna Beach, California  
92651-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471 o

NOT FOR CONSTRUCTION



PLANTING SCHEDULE		
SYMBOL	ABBREVIATION	BOTANICAL NAME
<b>TREES</b>		
--	GIN BIL	GINKGO BILOBA
○	GLE TRI	GLEDITSIA TRICANTHOS
<b>SHRUBS</b>		
■	BUX MIC	BUXUS MICROPHYLLA JAPONICA
■	ESC FRA	ESCALLONIA FRADESII
■	HEU GEN	HEUCHERA 'GENEVEVE'
■	POD GRA	PODOCARPUS GRACILIOR
■	TRA JAS	TRACHELOSPERMUM JASMINOIDES
<b>GRASSES</b>		
■	BAU RUB	BAUMEA RUBIGINOSA 'VARIEGATA'
■	CHO TEC	CHONDROPETALUM TECTORUM
■	MIS TRA	MISCANTHUS TRANSMORRISONENSIS
<b>GROUNDCOVERS</b>		
■	FES RUB	FESTUCA RUBRA
<b>STORMWATER TREATMENT</b>		
■	CAR CAL	CARPENTERIA CALIFORNICA
■	FES CAL	FESTUCA CALIFORNICA
<b>VINES</b>		
▲	DIS BUC	DISTICTIS BUCCINATORIA

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE

LEVEL 4 PLANTING PLAN

SHEET NUMBER

L2.03

JOB NO. MVESS01  
DATE  
ISSUE DATE  
SCALE 1" = 20'

**swa**

570 Glenneyre Street  
Laguna Beach, California  
92651-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471

NOT FOR CONSTRUCTION

10/23/2015 - ENTITLEMENT REVISION SET



PLANTING SCHEDULE		
SYMBOL	ABBREVIATION	BOTANICAL NAME
TREES		
--	GIN BIL	GINKGO BILOBA
○	GLE TRI	GLEDITSIA TRICANTHOS
SHRUBS		
■	BUX MIC	BUXUS MICROPHYLLA JAPONICA
■	ESC FRA	ESCALLONIA FRADESII
■	HEU GEN	HEUCHERA 'GENEVEVE'
■	POD GRA	PODOCARPUS GRACILIOR
■	TRA JAS	TRACHELOSPERMUM JASMINOIDES
GRASSES		
■	BAU RUB	BAUMEA RUBIGINOSA 'VARIEGATA'
■	CHO TEC	CHONDROPETALUM TECTORUM
■	MIS TRA	MISCANTHUS TRANSMORRISONENSIS
GROUNDCOVERS		
■	FES RUB	FESTUCA RUBRA
STORMWATER TREATMENT		
■	CAR CAL	CARPENTERIA CALIFORNICA
■	FES CAL	FESTUCA CALIFORNICA
VINES		
▲	DIS BUC	DISTICTIS BUCCINATORIA

GENERAL DEVELOPMENT PLAN FOR:

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

SHEET TITLE

LEVEL 8 PLANTING PLAN

SHEET NUMBER

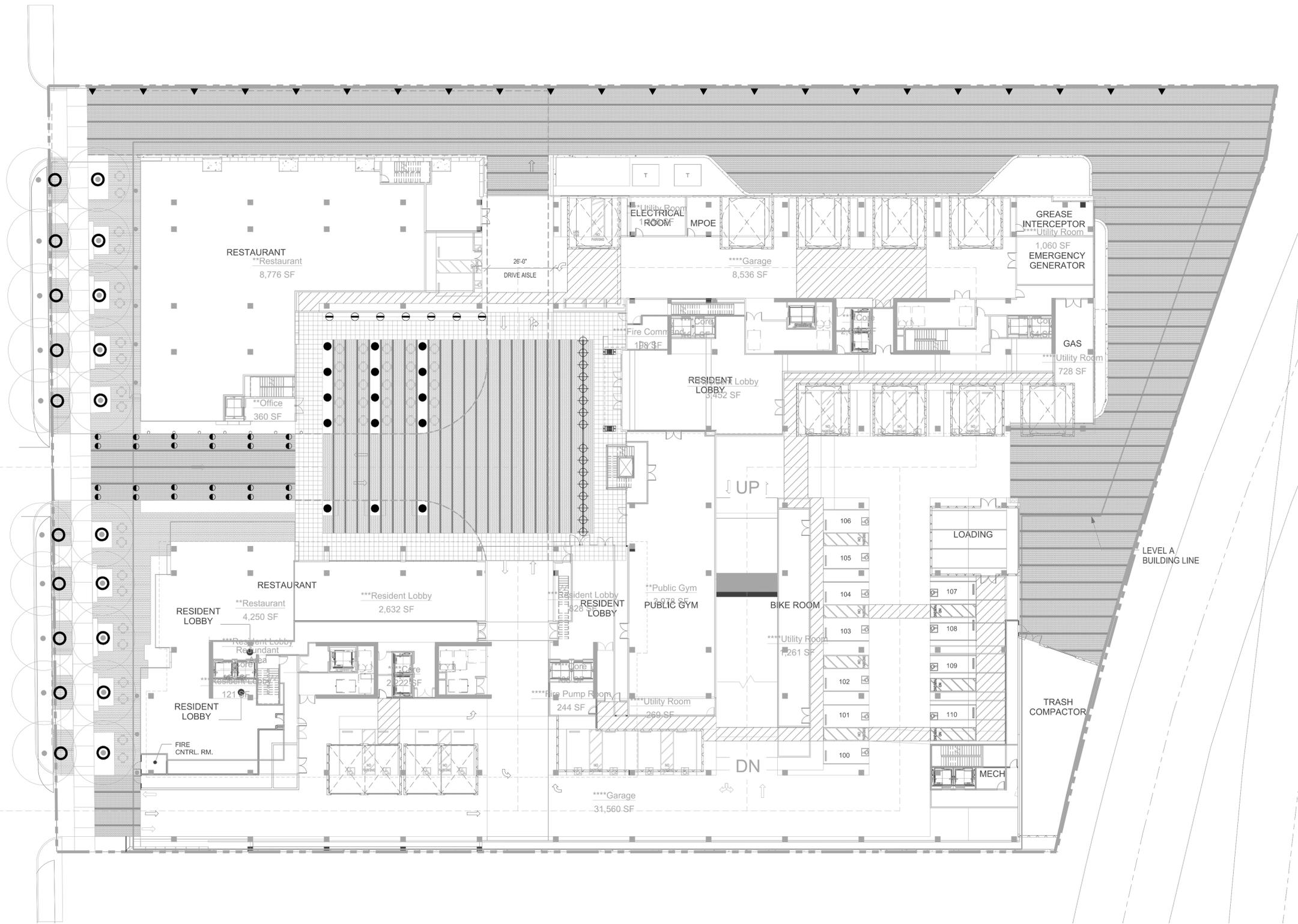
L2.04

JOB NO. MVESS01
DATE
ISSUE DATE
SCALE 1" = 20'



570 Glenneyre Street  
Laguna Beach, California  
92651-2453  
United States  
laguna@swagroup.com  
+1.949.497.5471 o

NOT FOR CONSTRUCTION



LIGHTING SCHEDULE (L)		
SYMBOL	KEY	DESCRIPTION
⊕	L1	BOLLARD LIGHT
●	L2	GROUND LIGHT
⊖	L3	FOUNTAIN LIGHT
⦿	L4	INSET PAVING LIGHT
○	L5	TREE UPLIGHT
▼	L6	WALL UPLIGHT

NOTE:  
 LIGHTING PLAN IS A CONCEPTUAL  
 REPRESENTATION OF SUGGESTED LIGHTING  
 LAYOUT. REFER TO LIGHTING DESIGNER AND  
 ELECTRICAL ENGINEER FOR FINAL LAYOUT.

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

**SHEET TITLE**  
 LEVEL 1 LIGHTING PLAN

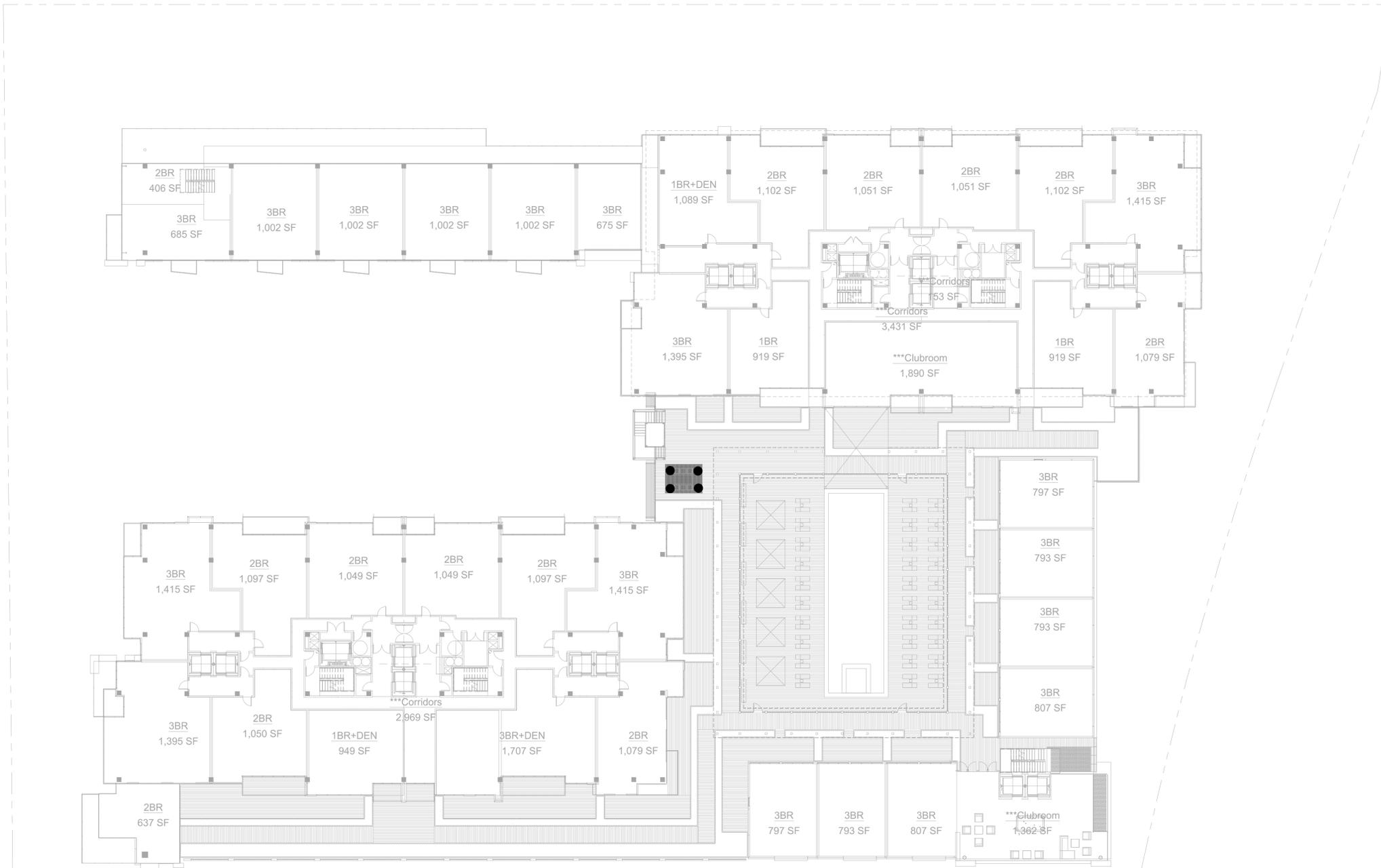
**SHEET NUMBER**  
 L3.01

JOB NO.  
 MVE5501  
 DATE  
 ISSUE DATE  
 SCALE  
 1" = 20'



570 Glenneyre Street  
 Laguna Beach, California  
 92653-2453  
 United States  
 laguna@swagroup.com  
 +1.949.497.5471

NOT FOR CONSTRUCTION



LIGHTING SCHEDULE (L)		
SYMBOL	KEY	DESCRIPTION
⊕	L1	BOLLARD LIGHT
●	L2	GROUND LIGHT
⊖	L3	FOUNTAIN LIGHT
⦿	L4	INSET PAVING LIGHT
○	L5	TREE UPLIGHT
▼	L6	WALL UPLIGHT

NOTE:  
 LIGHTING PLAN IS A CONCEPTUAL  
 REPRESENTATION OF SUGGESTED LIGHTING  
 LAYOUT. REFER TO LIGHTING DESIGNER AND  
 ELECTRICAL ENGINEER FOR FINAL LAYOUT.

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

## BDK Capital, LLC

SHEET TITLE

LEVEL 4 LIGHTING PLAN

SHEET NUMBER

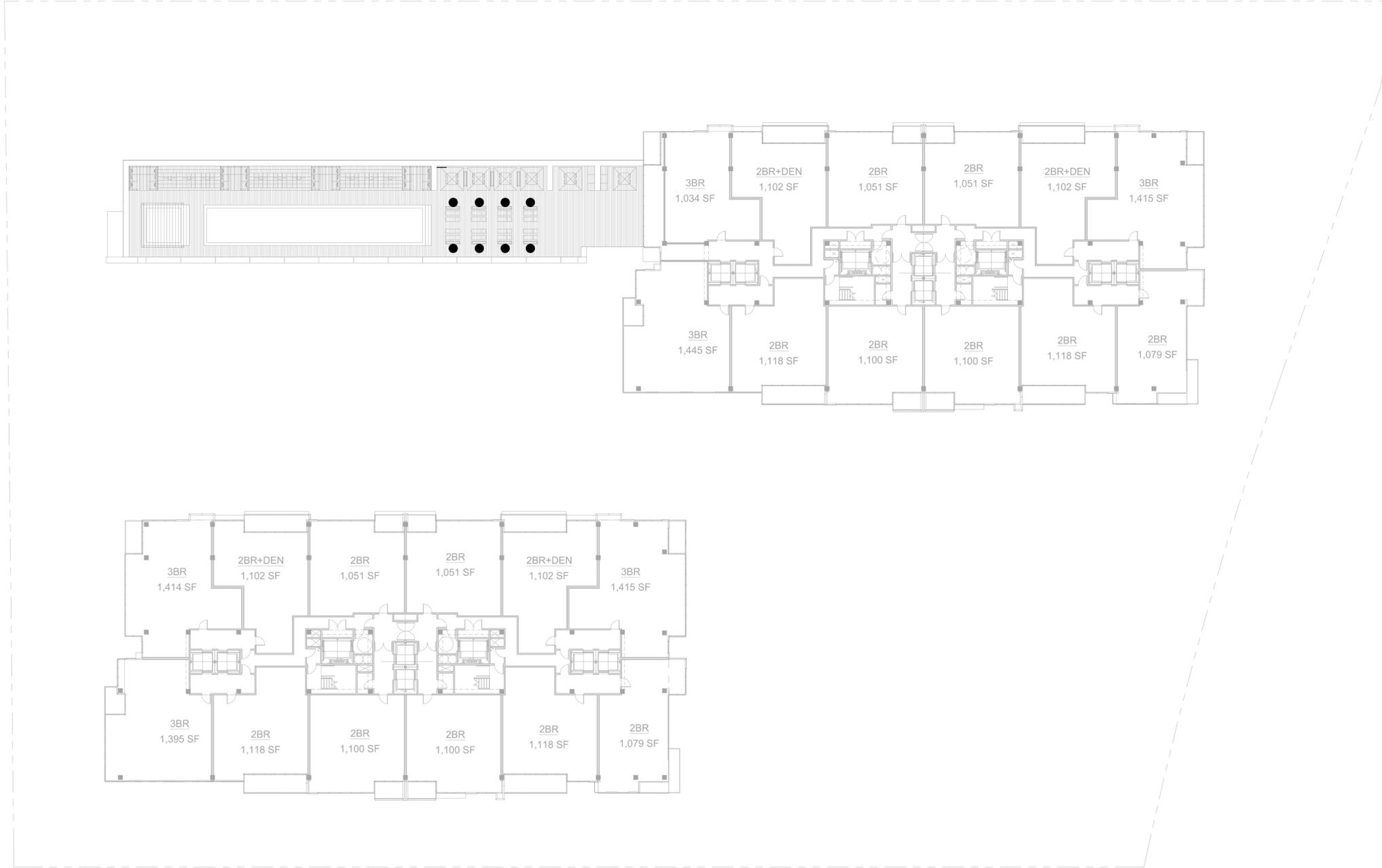
L3.02

JOB NO.  
MVE5501  
DATE  
ISSUE DATE  
SCALE  
1" = 20'

# swa

570 Glenneyre Street  
 Laguna Beach, California  
 92651-2453  
 United States  
 laguna@swagroup.com  
 +1.949.497.5471 o

NOT FOR CONSTRUCTION



LIGHTING SCHEDULE (L)		
SYMBOL	KEY	DESCRIPTION
⊕	L1	BOLLARD LIGHT
●	L2	GROUND LIGHT
⊖	L3	FOUNTAIN LIGHT
⦿	L4	INSET PAVING LIGHT
○	L5	TREE UPLIGHT
▼	L6	WALL UPLIGHT

NOTE:  
 LIGHTING PLAN IS A CONCEPTUAL  
 REPRESENTATION OF SUGGESTED LIGHTING  
 LAYOUT. REFER TO LIGHTING DESIGNER AND  
 ELECTRICAL ENGINEER FOR FINAL LAYOUT.

GENERAL DEVELOPMENT PLAN FOR:

# Milpitas Landmark Towers

MILPITAS, CALIFORNIA

**BDK Capital, LLC**

**SHEET TITLE**

LEVEL 8 LIGHTING PLAN

**SHEET NUMBER**

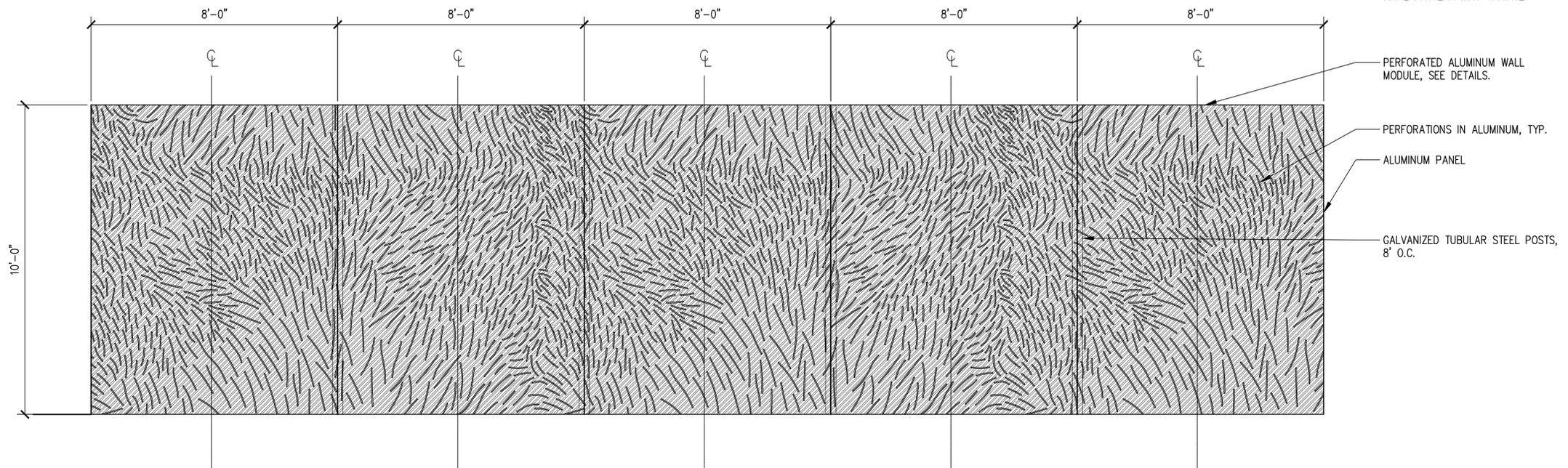
L3.03

JOB NO. MVESS01
DATE
ISSUE DATE
SCALE 1" = 20'

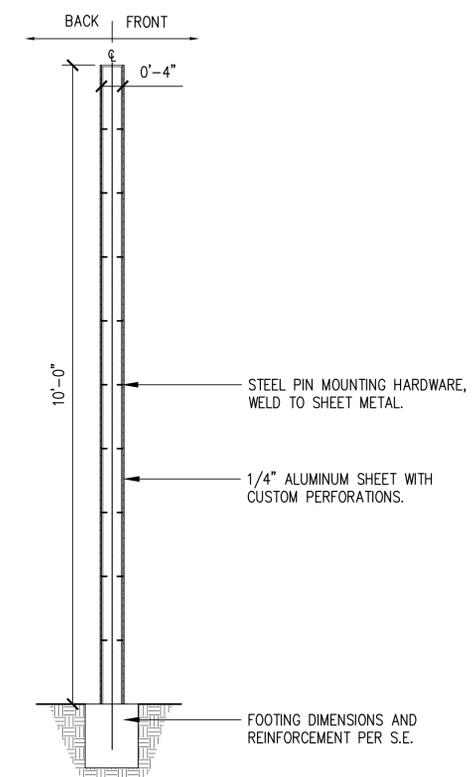


570 Glenneyre Street  
 Laguna Beach, California  
 92651-2453  
 United States  
 laguna@swagroup.com  
 +1.949.497.5471 o

NOT FOR CONSTRUCTION



1 W-3 PERFORATED ALUMINUM WALL – UNFURLED SECTION  
 1/2" = 1'-0"



2 W-2 PERFORATED ALUMINUM – SECTION  
 3/4" = 1'-0"

NOTE:  
 FINAL PATTERN MAY VARIATE.

PERFORATED ALUMINUM WALL  
 MODULE, SEE DETAILS.

PERFORATIONS IN ALUMINUM, TYP.

ALUMINUM PANEL

GALVANIZED TUBULAR STEEL POSTS,  
 8' O.C.

GENERAL DEVELOPMENT PLAN FOR:

**BDK Capital, LLC**

**Milpitas Landmark Towers**

MILPITAS, CALIFORNIA

SHEET TITLE

WALL DETAIL

SHEET NUMBER

L4.01

JOB NO.  
 MW5501  
 DATE  
 ISSUE DATE  
 SCALE  
 1" = 20'

**swa**

570 Glenneyre Street  
 Laguna Beach, California  
 92651-2453  
 United States  
 laguna@swagroup.com  
 +1.949.497.5471 o

NOT FOR CONSTRUCTION

10/23/2015 - ENTITLEMENT REVISION SET