

# AL-HILAAL MASJID & COMMUNITY CENTER

372-374 TURQUOISE STREET, MILPITAS, CALIFORNIA

- PLANNING SUBMITTAL PACKAGE -



ARCHVERSA  
ARCHITECTURE

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CONSULTANTS

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## PROJECT DATA

<b>PROJECT ADDRESS:</b>	372-374 TURQUOISE ST, MILPITAS, CA	
<b>ACCESSORS PARCEL #:</b>	APN 086-39-025	
<b>USE ZONE:</b>	M2 HEAVY INDUSTRIAL ZONE.	
<b>SITE AREA:</b>	97,574 SF (2.24ACRES)	
<b>EXISTING LAND USE:</b>	OFFICE/ R&D.	
<b>PROPOSED USE:</b>	OFFICE/R&D AND COMMUNITY CENTER	
<b>BUILDING DATA</b>		
<b>OCCUPANCY:</b>	B, A3	
<b>BUILDING TYPE:</b>	V-B	
<b>NUMBER OF STORIES:</b>	1	
<b>FIRE SUPPRESSION:</b>	AUTO SPRINKLER SYSTEM	
<b>GROSS BUILDING AREA:</b>	31,051 SF	
	<b>EXISTING AREA</b>	<b>PROPOSED AREA</b>
<b>TENANT 1:</b>	2,762 SF	2,762 SF
<b>TENANT 2:</b>	2,055 SF	2,055 SF
<b>TENANT 3:</b>	13,125 SF	5,244 SF
<b>TENANT 4:</b>	9,164 SF	3,920 SF
<b>COMMON:</b>	3,945 SF	3,091 SF
	31,051 SF	17,072 SF
<b>PROPOSED NEW</b>		
<b>COMMUNITY CENTER:</b>	N/A	13,125 SF
<b>TOTAL:</b>	31,051 SF	31,051 SF

## APPLICABLE CODES

2013 CALIFORNIA BUILDING CODE (CBC)  
2013 CALIFORNIA MECHANICAL CODE (CMC)  
2013 CALIFORNIA PLUMBING CODE (CPC)  
2013 CALIFORNIA ELECTRICAL CODE (CEC)  
2013 CALIFORNIA FIRE CODE (2009 IFC)  
2013 CALIFORNIA GREEN BLDG. STANDARDS (CalGreen)  
2013 CALIFORNIA ENERGY CODE (CErC)  
2011 MILPITAS MUNICIPAL CODE.

## SCOPE OF WORK

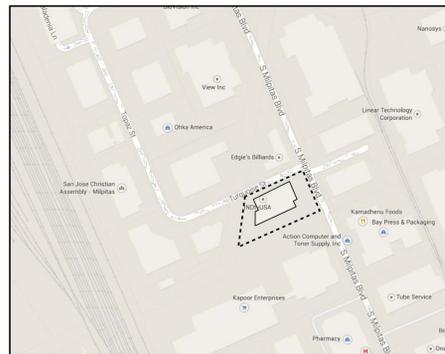
THE PROJECT PROPOSES INTERIOR TENANT IMPROVEMENTS IN THE EASTERN PART OF THE BUILDING TO SUPPORT RELIGIOUS AND COMMUNITY CENTER FUNCTION NEEDS OF THE AL-HILAAL FOUNDATION.

THE IMPROVEMENTS INCLUDE DEMOLITION OF EXISTING INTERIOR SPACES AND BUILD-OUT OF NEW SPACES WITHIN THE EXISTING BUILDING ENVELOP.

## DEFERRED SUBMITTALS

NONE.

## VICINITY MAP



## ZONING ANALYSIS

	REQUIRED	PROVIDED (EXISTING, NO CHANGE)
<b>FAR:</b>	0.4 MAX.	0.31
<b>SITE COVERAGE:</b>	40% MAX.	31 %
<b>BUILDING HEIGHT:</b>	NO LIMIT W/ PC APPROVAL	26'-0" TOP OF PARAPET
<b>SETBACK MAJOR STREET:</b>	35 FEET	93' FROM CURB ON EAST
<b>SETBACK NON-MAJOR STREET:</b>	25 FEET	25' FROM CURB ON NORTH
<b>SETBACK SIDE YARD</b>	NONE	71' FROM WEST PROPERTY LINE
<b>SETBACK REAR YARD</b>	NONE	68' FROM SOUTH PROPERTY LINE

## CODE COMPLIANCE REVIEW

<b>CONSTRUCTION TYPE:</b>	V-B
<b>OCCUPANCY GROUP</b>	B/A3
<b>MAX HEIGHT ALLOWED FOR TYPE V-B:</b>	40'-0"
<b>HEIGHT INCREASE FOR AUTO SPRINKLER SYSTEM:</b>	20'-0"
<b>ALLOWABLE HEIGHT FOR MAIN BLDG:</b>	60'-0"
<b>NO. OF STORIES ALLOWED:</b>	1
<b>INCREASE FOR AUTO SPRINKLER SYSTEM:</b>	1
<b>TOTAL STORIES ALLOWED:</b>	2
<b>ALLOWABLE AREA FOR B OCCUPANCY (TABLE 503):</b>	
<b>BASIC ALLOWABLE</b>	Aa = 9,000 SF
<b>FRONTAGE INCREASES:</b>	If = [F/P - 0.25] W / 30
	If = [800/800 - 0.25] 30/30
	If = [0.75] 1
	If = 0.75
<b>AUTOMATIC SPRINKLER SYSTEM INCREASE:</b>	Is = 3
<b>ALLOWABLE AREA B OCCUPANCY:</b>	Aa = {At + [At x If] + [At x Is] } = {9000 + [9000 x 0.75] + [9000 x 3] } = 15750 + 27000 = 42,750 SF
<b>ALLOWABLE AREA A3 OCCUPANCY:</b>	Aa = {At + [At x If] - [At x Is] } = {6000 + [6000 x 0.75] + [6000 x 3] } = 10500 + 18000 = 28,500 SF
<b>TOTAL ALLOWABLE FOR MIXED USE OCCUPANCY:</b>	
<b>B:</b>	22,795 SF / 42,750 SF = 0.533
<b>A3:</b>	8,256 SF / 28,500 SF = 0.289
<b>SUM OF RATIOS:</b>	0.822 (LESS THAN 1, COMPLIES)

## PARKING ANALYSIS

AL-HILAAL COMMUNITY CENTER:	AREA/OCCUPANTS	RATIO	REQUIRED PARKING
PRAYER HALLS	358 OCCUPANTS	1 : 5	71
COMMUNITY/MULTIPURPOSE	3,861 SF	1 PER 200 SF	20
COMMERCIAL	180 SF	1 PER 200 SF	1
OFFICE	533 SF	1 PER 240 SF	2
<b>TOTAL REQUIRED:.</b>			<b>94</b>

NOTE: SEE TABLE "OCCUPANT LOAD FOR PARKING REQUIREMENTS" ON SHEET A-002 FOR DETAILS OF PARKING COUNT BY OCCUPANCY.

TENANT SUITES:	AREA	RATIO	REQUIRED PARKING
TENANT 1	2,762 SF	1 PER 300	9
TENANT 2	2,055 SF	1 PER 300	7
TENANT 3	5,244 SF	1 PER 300	18
TENANT 4	3,920 SF	1 PER 300	13
<b>TENANT TOTAL:</b>	<b>13,981 SF</b>	<b>1 PER 300 SF</b>	<b>47</b>

<b>TOTAL PARKING SPACES REQUIRED:</b>	94 + 47 = 141
<b>PARKING SPACES PROVIDED:</b>	
EXISTING STANDARD:	69
EXISTING COMPACT:	52
EXISTING H/C ACCESSIBLE:	5 (2 VAN ACCESSIBLE)
NEW STANDARD:	2
<b>TOTAL:</b>	<b>128</b>

NOTE:  
PARKING SPACES REQUIRED FOR PEAK USE OF COMMUNITY CENTER: 94  
PARKING SPACES DEDICATED FOR COMMUNITY CENTER USE: 81  
ADDITIONAL PARKING SPACES SHARED BY THE ONSITE TENANTS: 14  
DURING BUSINESS HOURS, THE TENANTS HAVE AGREED TO SHARE WITH THE COMMUNITY CENTER, A MINIMUM OF 14 PARKING SPACES OUT OF THE 47 AVAILABLE FOR TENANT USE. THEREFORE, THE PARKING SPACES AVAILABLE FOR COMMUNITY CENTER USE ARE: 81+14=95, (WHICH IS GREATER THAN THE REQUIREMENT OF 94).

## SHEET INDEX

G-0 COVER SHEET

## ARCHITECTURE

A-001	GENERAL NOTES
A-002	CODE COMPLIANCE FLOOR PLAN
A-100	SITE PLAN
A-100L	LANDSCAPE SITE PLAN
A-100E	ELECTRICAL SITE PLAN
A-101D	DEMO FLOOR PLAN
A-101	PROPOSED FLOOR PLAN
A-201	EXISTING EXTERIOR ELEVATIONS
A-501	SITE AND ACCESSIBILITY DETAILS

## SHARED PARKING WITH ONSITE TENANTS

	REQUIRED PARKING
TENANT PARKING SPACES DEDICATED TO TENANT'S USE DURING BUSINESS HOURS:	33
TENANT PARKING SHARED WITH COMMUNITY CENTER:	14
COMMUNITY CENTER PARKING:	81
<b>TOTAL ONSITE PARKING:</b>	<b>128</b>

## STAMP



## KEY PLAN

DATE	DESCRIPTION	NO.
2015-06-30	PLANNING SUBMITTAL REV-1	-
2015-04-27	PLANNING SUBMITTAL	-

## AL-HILAAL MASJID & COMMUNITY CENTER

<b>CLIENT</b>	AL-HILAAL ISLAMIC CHARITABLE FOUNDATION
<b>PROJECT</b>	COMMUNITY CENTER
<b>ADDRESS</b>	372-374 TURQUOISE ST. MILPITAS, CA
<b>PROJECT NO.</b>	1501
<b>SCALE</b>	NONE
<b>TITLE</b>	

## COVER SHEET

**G-0**

# ABBREVIATIONS

&	AND	JAN.	JANITOR
∠	ANGLE	J.B.	JUNCTION BOX
AT	AT	J.T.	JOINT TRENCH
○	CENTER LINE	KIT.	KITCHEN
□	CHANNEL	K.O.	KNOCKOUT
◊	DEGREES	K.P.	KICKPLATE
±	DIAMETER	LAB.	LABORATORY
#	PLUS/MINUS	LAM.	LAMINATE
R	FOUND, NUMBER	LAVS.	LAVATORIES
	PROPERTY LINE	LB.	ROUND
		LP.	LOW POINT
A.B.	ANCHOR BOLT	L.S.D.	LIQUID SOAP DISPENSER
A.C.	ASPHALT CONCRETE		
A/C	AIR CONDITIONING	MAT.	MATERIAL
AC. TILE	ACOUSTICAL TILE	MAX.	MAXIMUM
A.D.	AREA DRAIN	M.B.	MACHINE BOLT
ADJ.	ADJUSTABLE	M.B.R.	MODIFIED BITUMEN ROOF
ADDL.	ADDITIONAL	MECH.	MECHANICAL
A.F.F.	ABOVE FINISH FLOOR	MET.	METAL
A.F.S.	AUTOMATIC FIRE SPRINKLER	MFR.	MANUFACTURER
AGGR.	AGGREGATE	M.H.	MANHOLE
ALUM.	ALUMINUM	MIN.	MINIMUM
ANOD.	ANODIZED	M.O.	MASONRY OPENING
ASPH.	ASPHALT	M.S.	MACHINE SCREW
A.T.	ASH TRAY	MULL.	MULLION
B/	BACK OF OR BOTTOM OF	N.I.C.	NOT IN CONTRACT
BD.	BOARD	N.S.F.	NET SQUARE FEET
BITUM.	BITUMINOUS	N.T.S.	NOT TO SCALE
BUILD.	BUILDING	(N)	NEW
BLKG.	BLOCKING		
BM.	BEAM	OB.S.	OBSCURE
B.O.J.	BOTTOM OF JOISTS	O.C.	ON CENTER
BOTT.	BOTTOM	O.H.	OVER HEAD, OPPOSITE HAND
B.U.R.	BUILT-UP ROOF	OPNG.	OPENING
		OPP.	OPPOSITE
		O.D.	OVERFLOW DRAIN or OUTSIDE DIAMETER
CABT.	CABINET	P.A.	PUBLIC ADDRESS
C.B.	CATCH BASKET OR CHALKBOARD	P.B.	PANIC BAR
CAD. PL.	CADMIUM PLATED	P.C.C.	PORTLAND CEMENT CONCRETE
C.D.	CUP DISPENSER	P.D.F.	POWDER DRIVEN FASTENER
CER.	CEMENT	P.H.	PHILLIPS HEAD
CEM.	CEMENT	PLAS.	PLASTER
CI.	CAST IRON	PLAS. LAM.	PLASTIC LAMINATE
C.J.	CONSTRUCTION JOINT	PLYWD.	PLYWOOD
C.L.	CHAIN LINK	PNL.	PANEL
CLR.	CLEAR	POL.	POLISHED
CLG.	CEILING	PORC. ENAM.	PORCELAIN ENAMEL
C.M.U.	CONCRETE MASONRY UNIT	PRCST.	PRECAST
C.O.	CLEANOUT	P.S.D.	POWDER SOAP DISPENSER
COMP.	COMPOSITION	PT	PAPER TOWEL DISPENSER
CONC.	CONCRETE	P.T.D.	POLY VINYL CHLORIDE
CONN.	CONNECTION	P.V.C.	QUARRY TILE
CONT.	CONTINUOUS	Q.T.	QUARRY TILE
CONTR.	CONTRACTOR	R.	RISER
C.O.T.G.	CLEAN OUT TO GRADE	R.A.	RETURN AIR
CSK.	COUNTERSINK	RAD.	RADIUS
C.W.	COLD WATER	R.C.P.	REINFORCED CONCRETE PIPE
		R.D.	ROUND
		R.D.	ROOF DRAIN
		RECS.	RECESSED
		REINF.	REINFORCED/ING
		RES.	RESILIENT
		R.H.	ROUND HEAD
		R.M.	ROOM
		RO.	ROUGH
		R.O.	ROUGH OPENING
		R/W	RIGHT OF WAY
		RWD.	REDWOOD
		R.W.L.	RAIN WATER LEADER
		S.	SEWER
		S.C.D.	SEAT COVER DISPENSER
		S.D.	STORM DRAIN
		SECT.	SECTION
		S.F.	SQUARE FOOT/FEET
		SHT.	SHEET
		SHTHG.	SHEATHING
		SHVS.	SHELVES
		SIM.	SIMILAR
		SK.	SINK OR SKETCH
		S.M.	SHEET METAL
		S.M.S.	SHEET METAL SCREW
		S.N.D.	SANITARY NAPKIN DISPOSER
		S.N.V.	SANITARY NAPKIN VENDOR
		S.O.V.	SHUT OFF VALVE
		SPECS.	SPECIFICATIONS
		SQ.	SQUARE
		S.S.	SANITARY SEWER
		STD.	STANDARD
		STL.	STEEL
		STOR.	STORAGE
		STRUCT.	STRUCTURAL
		ST. STL.	STAINLESS STEEL
		SUSP.	SUSPENDED
		T.C.	TOP OF CURB
		T.D.	TOWEL DISPENSER
		T.D.D.	TOWEL DISPENSER & DISPOSAL
		TEL.	TELEPHONE
		T & G	TONGUE AND GROOVE
		T.O.S.	TOP OF SLAB
		T.P.	TOP OF PAVEMENT
		TR.	TREAD
		TYP.	TYPICAL
		T.W.	TOP OF WALL
		UNF.	UNFINISHED
		U.O.N.	UNLESS OTHERWISE NOTED
		UR.	URINAL
		V.C.P.	VITREOUS CLAY PIPE
		VERT.	VERTICAL
		VEST.	VESTIBULE
		V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
		W	WATER
		W/	WITH
		WAINS.	WAINSCOT
		WD.	WOOD
		WP.	WORK POINT OR WATERPROOF
		W.R.	WATER RESISTANT,
		HR.	WASTE RECEPTACLE,
		W.S.	WEATHER STRIPPING
		WT.	WEIGHT
		W.W.	WINDOW WALL
		W.W.F.	WELDED WIRE FABRIC
GA.	GAUGE		
GALV.	GALVANIZED(D)		
G.I.	GALVANIZED IRON		
G.F.R.C.	GLASS FIBER REINFORCED CONCRETE		
GRD.	GROUND OR GRADE		
G.S.F.	GROSS SQUARE FEET		
GSM	GALVANIZED SHEET METAL		
G.V.	GATE VALVE		
G.V.C.B.	GATE VALVE IN CONCRETE BOX		
GYP.	GYP-SUM		
HDR.	HEADER		
HDWD.	HARDWOOD		
HDWR.	HARDWARE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
H.P.	HIGH POINT		
HR.	HOUR		
H.R.C.	HOSE REEL CABINET		
H.S.B.	HIGH STRENGTH BOLT		
HT.	HEIGHT		
H.T.D.	HANDICAP TOWEL DISPENSER		
HTG.	HEATING		
H.W.	HOT WATER		
H.W.D.	HOT WATER DISPENSER		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INV.	INVERT		
INT.	INTERIOR		

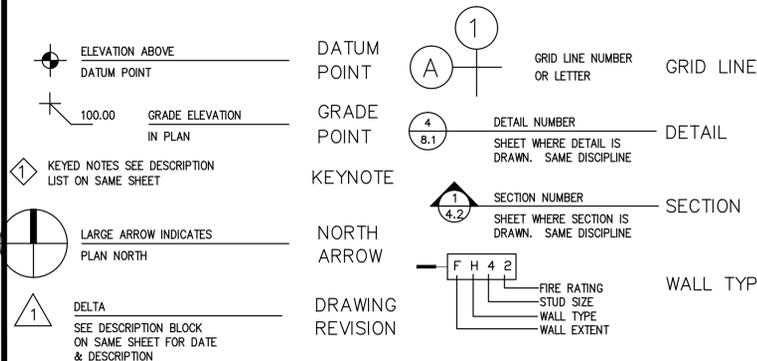
# GENERAL NOTES - CODE COMPLIANCE PLANS

- ALL EXTERIOR PATHS OF TRAVEL FROM DISABLED PARKING STALLS & ADJACENT PUBLIC SIDEWALKS MUST BE ACCESSIBLE AND COMPLY WITH SITE ACCESSIBLE DETAILS ON SHEETS A-501 AND A-502.
- WHERE UL, WH, GA, OR CBC CONSTRUCTION ASSEMBLIES PER SECT. 703 ARE DESIGNATED, THE COMPONENTS AND INSTALLATION DETAILS MUST CONFORM IN EVERY PARTICULAR WAY WITH THE DESIGN NUMBER SPECIFIED.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DRY CHEMICAL UL RATED FIRE EXTINGUISHERS CABINETS AND FIRE EXTINGUISHERS WITHIN THOSE CABINETS. SEE SHEET A-002 FOR PROPOSED LOCATIONS OF FIRE EXTINGUISHER CABINETS; FINAL NUMBER, TYPE AND EXACT LOCATION TO BE DETERMINED BY FIELD INSPECTOR.
- PROVIDE ALL REQUIRED FIRE ALARMS, EMERGENCY LIGHTING AND EXIT SIGNAGE PER ELECTRICAL DRAWINGS.
- THE INTERIOR ACCESSIBLE ROUTES OF TRAVEL CONNECT ALL PUBLIC SPACES, TOILET & BREAK ROOM FACILITIES. SEE ACCESSIBLE ROUTES OF TRAVEL, CODE AND EXITING INFORMATION ON SHEET A-002.
- PROVIDE MINIMUM 18" STRIKE SIDE CLEARANCE AT SWING SIDE OF ALL INTERIOR DOORS, AND MINIMUM 12" AT PUSH SIDE (ON DOORS WITH CLOSER) FOR HANDICAPPED ACCESSIBILITY. PROVIDE MINIMUM 24" STRIKE SIDE CLEARANCE AT ALL EXTERIOR DOORS FOR HANDICAPPED ACCESSIBILITY.
- REFERENCE STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ADDRESS: APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW & EXISTING BUILDINGS IN SUCH A POSITION TO BE VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- ALL DOOR OPENINGS WILL HAVE A MINIMUM 32" CLEAR OPENING.

# EXITING NOTES

- DOOR HARDWARE: EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. REFER TO THE DOOR & FRAME SCHEDULE ON SHEETS A-602 A-603 & A-604 FOR MORE NOTES.
- EXIT SIGNS: THE PATH OF TRAVEL TO & WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF CBC 1011 EXIT SIGNS SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH & LOCATED AS NECESSARY TO INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100' FROM THE NEAREST VISIBLE SIGN. TACTILE EXIT SIGNS SHOULD ALSO BE PROVIDED PER CBC SECTIONS 1011.3
- MEANS OF EGRESS ILLUMINATION: AT ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FT-CANDLE AT FLOOR LEVEL
- ILLUMINATION POWER SUPPLY: POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF ITS FAILURE, ILLUMINATION TO BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM WHERE THE EXITING SYSTEM SERVES AN OCCUPANT LOAD OF 100 OR MORE.
- AISSLES WITHOUT FIXED SEATS: AISSLES SERVING AS A PORTION OF AN EXIT ACCESS IN THE MEANS OF EGRESS SYSTEM SHALL BE IN ACCORDANCE WITH CBC 1014.4.
- SPRINKLER PERMIT: SPRINKLER SYSTEM TO BE SUBMITTED UNDER A SEPARATE PERMIT. FOR APPROVAL PRIOR TO SYSTEM INSTALLATION. SPRINKLER PERMIT (T.L.): ALTERATIONS TO THE EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM TO BE SUBMITTED AS SHOP DRAWINGS UNDER A SEPARATE PERMIT APPLICATION FOR FIRE DEPARTMENT APPROVAL PRIOR TO MAKING ALTERATIONS.
- ROOM CAPACITY: ANY ROOM HAVING AN OCCUPANT LOAD OF 50 OR MORE SHALL HAVE THE CAPACITY OF THE ROOM POSTED IN A CONSPICUOUS PLACE.
- ACCESSIBLE PATHS OF TRAVEL: EXISTING EXTERIOR PATHS OF TRAVEL FROM PARKING TO MAIN BUILDING ENTRANCES COMPLY WITH CURRENT ACCESSIBILITY REGULATIONS. ALL EXISTING AND NEW INTERIOR PUBLIC AREAS INCLUDING OFFICES, CLASS/CONF ROOMS, BREAK ROOMS AND TOILETS TO COMPLY WITH CURRENT ACCESSIBILITY REGULATIONS.
- FIRE EXTINGUISHERS: ALL PORTIONS OF THE BUILDING SHALL BE WITHIN 75' OF A FIRE EXTINGUISHER. THE MIN. SIZE OF EXTINGUISHER TO BE 2A10BC
- PANIC HARDWARE: PANIC HARDWARE IS REQUIRED TO ROOMS WITH OCCUPANT LOAD OF 50 OR MORE AND ANY GROUP H OCCUPANCY, ELECTRICAL ROOMS WITH EQUIPMENT RATED 1,200 AMPERES OR MORE PER CBC SECTION 1008.1.9, AND AS INDICATED ON DRAWINGS.
- ASSISTIVE LISTENING DEVICE: WHERE ASSISTIVE LISTENING DEVICE ARE REQUIRED TO BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESS FOR HEARING LOSS, IT SHALL COMPLY PER CBC SECTION 1117B.5.8.4
- AUTOMATIC SHUT-OFFS: EACH SINGLE SYSTEM PROVIDING HEATING OR COOLING AIR IN EXCESS OF 2,000 CUBIC FT/MIN. SHALL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF ACTIVATED BY SMOKE DETECTORS.

# SYMBOLS



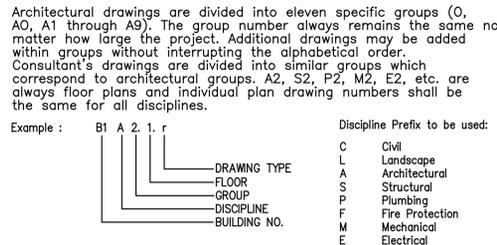
# GENERAL SITE ACCESSIBILITY NOTES IF NOT OTHERWISE DETAILED :

- AT ENTRANCE TO PARKING FACILITIES, OR VISIBLE FROM EACH STALL OR SPACE, A SIGN SHALL CLEARLY AND CONSPICUOUSLY STATE THE FOLLOWING:  
 \*Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or license plates issued for persons with disabilities may be towed away at owner's expense. Towed vehicles may be reclaimed at \_\_\_\_\_ or by telephoning \_\_\_\_\_.
- BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN (PER CURRENT CBC).
- PROVIDE A SIGN DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY ON OR ADJACENT TO BUILDING ENTRANCES (PER CURRENT CBC).
- WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL ARE:  
 A. CONTINUOUSLY ACCESSIBLE  
 B. HAVE MAXIMUM 1/2" CHANGES IN ELEVATION  
 C. MINIMUM 48" IN WIDTH, AND  
 D. WHEN SLOPE IN DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 5% SLOPE SHALL COMPLY WITH ACCESSIBLE RAMPS PROVISIONS OF SECTION CBC 1133B.5
- PER CBC SECTION 1133B.8.5 \*DETECTABLE WARNINGS AT HAZARDOUS VEHICULAR AREAS. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AN VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36 INCHES (914 mm) WIDE, COMPLYING WITH SECTION 1121B.3.1, ITEM 8(a)."
- ALL (E) EXTERIOR STAIRS HAVE A 2" WIDE CLEARLY COLOR-CONTRASTING STRIPING AT ALL TREADS.

# POWER & SIGNAL, FURNITURE & EQUIPMENT PLAN NOTES

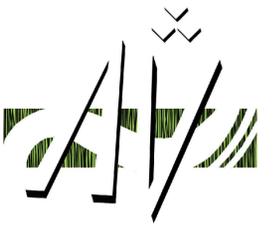
- FREESTANDING FURNITURE AND EQUIPMENT TO BE SUPPLIED BY THE TENANT U.O.N. AND IS SHOWN FOR REFERENCE ONLY.
- REFER TO ELECTRICAL DRAWINGS FOR THE FOLLOWING:  
 A. WIRING AND CIRCUITING LAYOUT.  
 B. SWITCHING  
 C. PULL BOXES  
 D. ELECTRICAL AND TELECOMMUNICATIONS OUTLET/DEVICE LOCATIONS, TYPE AND CONDUIT RUNS.
- REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR MECHANICAL AND PLUMBING EQUIPMENT AND REQUIREMENTS.
- FIELD VERIFY FLOOR POWER AND SIGNAL OUTLET LOCATIONS WITH THE ARCHITECT PRIOR TO CORING.
- THE GENERAL CONTRACTOR SHALL VERIFY EXACT FIELD CONDITIONS FOR SWITCH AND FIXTURE RELATIONSHIP AS WELL AS TELEPHONE AND ELECTRICAL OUTLETS. REPORT DISCREPANCIES TO THE ARCHITECT.
- ALL TELEPHONE AND SPECIAL INSTALLATION WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH THE ARCHITECT AND THEIR VENDORS.
- RECEPTACLE AND OUTLET COVER PLATES SHALL BE WHITE U.O.N. STAINLESS STEEL COVER PLATES ARE REQUIRED IN THE PRODUCTION SUITE, DEVELOPMENT LAB & ANTE ROOM (211089 & 211088), KILO LAB (212026), TISSUE CULTURE LAB, BSL2+ TISSUE CULTURE LAB & ANTE ROOM (211126 & 211124), AND SAMPLING ROOM & GOWN/MAT TRANSFER (211046 & 211047).
- IN CASE OF CONFLICT BETWEEN ARCHITECTURAL PLANS AND ELECTRICAL AND MECHANICAL PLANS AS REGARDS LOCATION OF SWITCHES, T-STATS, LIGHT FIXTURES, ELECTRICAL OUTLETS AND DEVICES, NOTIFY THE ARCHITECT PRIOR INSTALLATION.
- REFER TO DETAIL 14.D ON DRAWING NO. G-003 FOR ELECTRIAL AND COMMUNICATIONS MOUNTING HEIGHT SCHEDULE.
- ALL WALL MOUNTED ELECTRICAL AND TELEPHONE OUTLETS INDICATED 30" OR MORE A.F.F. TO BE INSTALLED HORIZONTALLY. AT THE INDICATED HEIGHT A.F.F. TO THE TOP OF COVERPLATE.
- OUTLETS SHALL BE OFF-SET AND NOT MOUNTED BACK TO BACK.
- PROVIDE ACOUSTICAL SOUND PADS AT ALL OUTLETS LOCATED IN FULL HEIGHT PARTITIONS.
- TELEPHONE & DATA CABLING TO BE TIED INDEPENDENTLY TO STRUCTURE PER CODE.
- PROVIDE TELEPHONE AND DATA CABLING THAT MAY BE USED IN CEILING PLENUMS WITHOUT CONDUITS.
- ELECTRICAL OUTLETS AT WET AREAS (E.G. SINKS) TO BE GFI TYPE.
- SCHEDULE THE CORING FOR ELECTRICAL AND TELEPHONE FLOOR MOUNTED OUTLETS AND THE RELATED CEILING WORK FOLLOWING FIELD CONFIRMATION OF OUTLET LOCATIONS WITH FURNITURE VENDOR.

# DRAWING NO. SYSTEM



# FLOOR PLAN NOTES

- THE CONSTRUCTION PLANS INDICATE THE TYPE AND LOCATION OF NEW INTERIOR PARTITIONS, DOORS, WINDOWS, CABINETWORK, ETC. THE BUILDING SHELL AND INTERIOR EXISTING CONDITIONS.
- THE FOLLOWING SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AS DESIGN-BUILD SYSTEMS:  
 A. AUTOMATIC FIRE SPRINKLER SYSTEM.  
 B. STAIRS  
 CONTRACTOR SHALL FULLY COORDINATE THE DESIGN/ENGINEERING PROCESS OF THE ABOVE REFERENCED SYSTEMS AND THE COMPLETE AND PROPERLY FUNCTIONING INSTALLATION THEREOF.
- THE FOLLOWING MAYBE PROVIDED BY THE OWNER'S VENDORS BUT THE INSTALLATION OF THOSE SYSTEMS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH EACH OF HIS SUBCONTRACTORS FOR THE SYSTEMS NOTED BELOW:  
 A. TELECOMMUNICATIONS  
 B. SECURITY  
 C. FURNITURE  
 D. AUDIO-VISUAL
- THE GENERAL CONTRACTOR SHALL PROVIDE ELECTRICAL RACEWAY AND POWER TO ALL POINTS DESIGNATED BY THE VENDOR'S FOR EACH OF THE OWNER'S FURNISHED SYSTEMS
- ALL PARTITIONS, DOORS, GLAZED OPENINGS, SOFFITS, ET AL., SHALL BE STRUCTURALLY BRACED IN ACCORDANCE WITH SEISMIC CODE REQUIREMENTS.
- COORDINATE LOCATION AND PROVIDE BLOCKING, BACKINGS AND/OR REINFORCEMENT IN PARTITIONS FOR ALL CABINETS, COUNTERTOPS AND ANY WALL-MOUNTED ITEMS. REFER TO THE PLANS, ELEVATIONS AND DETAILS FOR LOCATION OF ITEMS WHICH MAY REQUIRE SUPPORT. SEE DETAILS 25 SHEET A-501.
- ALL PARTITIONS SHALL BE DIMENSIONED FROM FINISH FACE OF FINISH TO FINISH FACE OF FINISH O.U.N.
- PROVIDE NECESSARY FIRE EXTINGUISHER CABINETS TO MATCH EXISTING LOCATED SUCH THAT THE MAXIMUM TRAVEL DISTANCE TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET. LOCATIONS INDICATED ON THE DRAWINGS SHALL BE VERIFIED WITH THE FIRE MARSHALL AS BEING ACCEPTABLE. SEE ON SHEET A-502 FOR INSTALLATION.
- ALL FURRED WALLS SHALL EXTEND VERTICALLY THRU THE CEILING WHERE INDICATED ON THE DRAWINGS OR TO THE STRUCTURE ABOVE WHERE NO CEILING OCCURS. U.O.N
- WHEREVER DIAGONAL BRACING IS INDICATED OR OTHERWISE REQUIRED, INSTALL BRACING UNEXPOSED TO VIEW, PARTICULARLY AT SUSPENDED OR DRYWALL CEILING AREAS. IF EXPOSED TO VIEW CONDITIONS EXIST IN THE DESIGN, DO NOT BRACE INTO THE AREA WHERE NO CEILING IS TO BE INSTALLED, OR INTO THE "MORE OPEN" AND VISIBLE SIDE OF BULKHEAD/SOFFIT WHERE BOTH SIDES SHALL BE WITHOUT A CEILING.
- FOR TYPICAL PARTITIONS, AND PARTITION DETAILS REFER TO SHEET A-601
- WHERE NEW PARTITIONS MEET EXISTING MULLIONS OR COLUMNS INSTALL THE NEW PARTITION PERPENDICULAR TO THE EXISTING MULLION OR COLUMN AND ALIGN THE CENTERLINE OF THE NEW PARTITION WITH THE MULLION OR COLUMN U.O.N
- WHERE A GYPSUM BOARD PARTITION MEETS FLUSH WITH THE FACE OF AN EXISTING PARTITION, REMOVE THE EXISTING METAL CORNER BEAD BEFORE INSTALLING THE NEW PARTITION.
- ALIGN NEW PARTITION SURFACES WITH THE EXISTING ADJACENT OR ADJOINING SURFACES WHERE INDICATED. TAPE AND SAND THE JOINTS TO SMOOTH WITHOUT ANY VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.
- PATCH EXISTING DAMAGED PARTITIONS THROUGHOUT ENTIRE PROJECT AREA TO MATCH ADJACENT SURFACES.
- CUT AND FIT COMPONENTS AS REQUIRED TO ALTER EXISTING WORK FOR INSTALLATION OF NEW WORK. PATCH DAMAGED AREAS TO MATCH ADJACENT SURFACES.
- AT OPENINGS IN GYPSUM BOARD WALLS FOR DUCT WORK, RETURN AIR, WRAP HEAD, JAMBS AND SILL OF OPENING WITH GYPSUM BOARD. U.O.N.
- HOT WATER AND DRAIN PIPES ACCESSIBLE UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED.
- VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE OTHERWISE NOTED TO BE ABOVE FINISH FLOOR.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED +/- OR VIF (VERIFY IN FIELD).
- THE GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICT EXISTS IN THE LOCATION OF ANY MECHANICAL, HVAC, TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK, CONDUIT, CABLES, ETC.) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED TO VIEW SHALL BE REVIEWED WITH THE ARCHITECT AND COORDINATED BY AND BETWEEN THE GENERAL CONTRACTOR AND PERTINENT SUB-CONTRACTORS PRIOR TO CONSTRUCTION OR FABRICATION PROCEEDING
- LAY-OUT ALL PARTITIONS BEFORE PROCEEDING. VERIFY PARTITION LAY-OUT WITH ARCHITECT BEFORE FRAMING. IF DISCREPANCIES EXIST BETWEEN FIELD CONDITIONS AND THE DRAWINGS NOTIFY ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATIONS OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE ARCHITECT IN THE FIELD PRIOR TO PROCEEDING.
- IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT THE SITE OR LACK OF DIMENSIONS OR OTHER INFORMATION, THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BACKING AND REINFORCING IN PARTITIONS BEHIND ALL WALL-MOUNTED, WALL-ANCHORED OR SUPPORTED ITEMS. ALL CONCEALED WOOD USED FOR SUCH SUPPORT SHALL BE FIRE RETARDANT TREATED.



# ARCHVERSA ARCHITECTURE

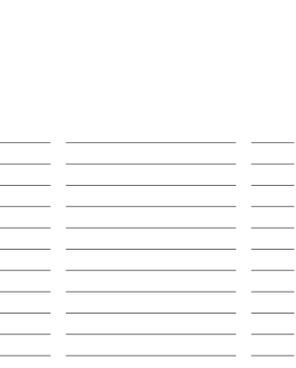
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# KEY PLAN



DATE	DESCRIPTION	NO.
2015-04-27	PLANNING SUBMITTAL	-

# AL-HILAAL MASJID & COMMUNITY CENTER

CLIENT AL-HILAAL ISLAMIC CHARITABLE FOUNDATION

PROJECT COMMUNITY CENTER

ADDRESS 372-374 TURQUOISE ST. MILPITAS, CA

PROJECT NO. 1501

SCALE NONE

TITLE

# GENERAL NOTES

# A-001



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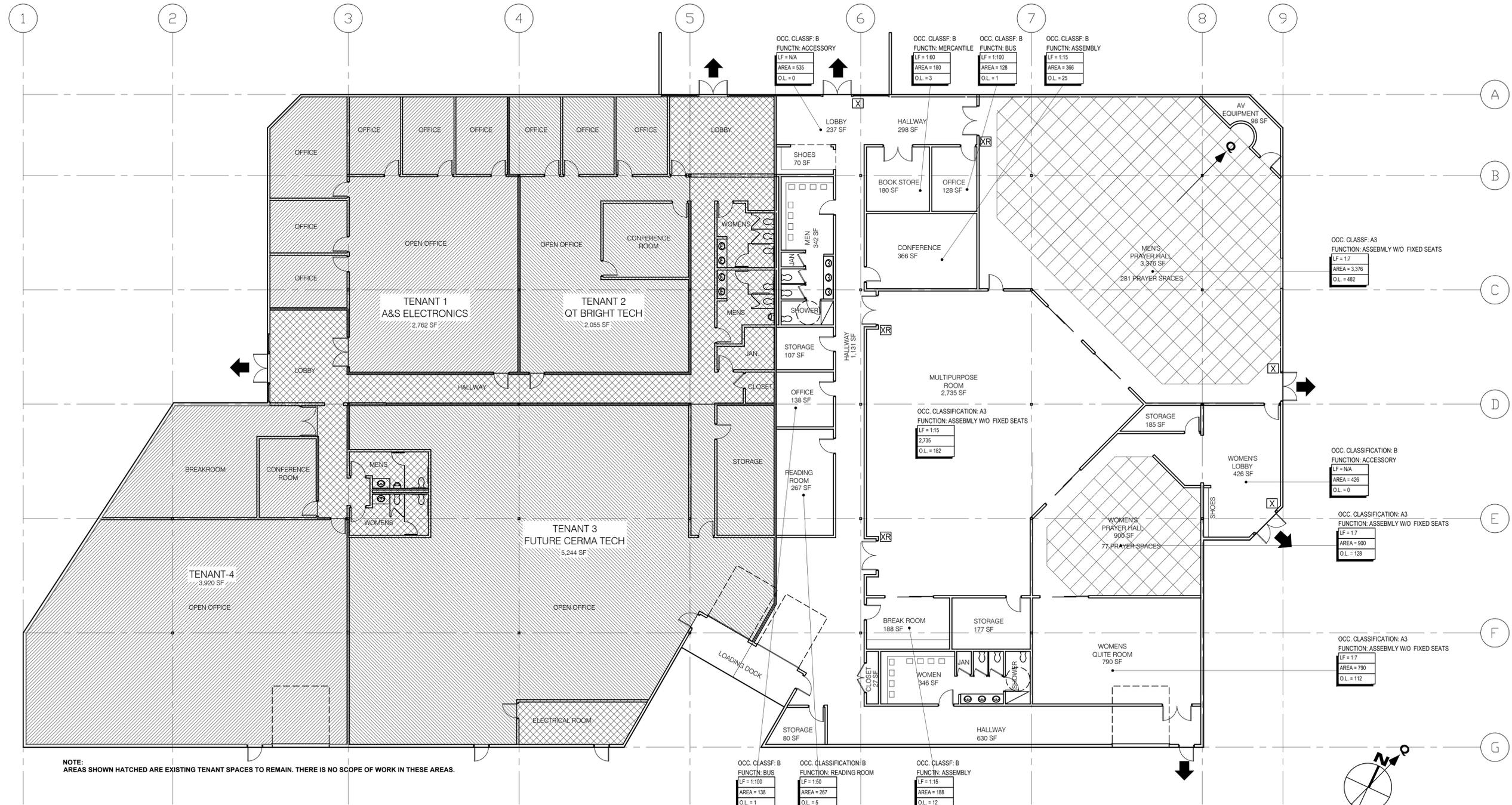
PROJECT NO. 1501

SCALE 1/8"=1'-0"

TITLE

**CODE COMPLIANCE FLOOR PLAN**

**A-002**



NOTE: AREAS SHOWN HATCHED ARE EXISTING TENANT SPACES TO REMAIN. THERE IS NO SCOPE OF WORK IN THESE AREAS.

**CODE ANALYSIS**

**GENERAL BUILDING HEIGHTS AND AREAS:**

SEE COVER SHEET G-0 FOR ALLOWABLE AREA AND HEIGHT CALCULATION

FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS:	REQUIRED	PROVIDED
EXTERIOR WALLS NON-BEARING (Table 601)	NON-RATED	NON-RATED
EXTERIOR WALLS <10' FROM PROPERTY	1-HR RATED	1-HR RATED
INTERIOR WALLS NON-BEARING (Table 601)	NON-RATED	NON-RATED
PRIMARY STRUCTURAL FRAME (Table 601)	NON-RATED	NON-RATED
STRUCTURAL FRAME <10' FROM PROPERTY	1-HR RATED	1-HR RATED
FLOOR CONSTRUCTION (Table 601)	NON-RATED	NON-RATED
ROOF CONSTRUCTION (Table 601)	NON-RATED	NON-RATED
SHAFT ENCLOSURE (Section 708.2)	1-HOUR	1-HOUR
STAIR-1 UN-ENCLOSED (Section 708.2)	NON-RATED FOR UN-ENCLOSED STAIRCASE	NON RATED
STAIR-2 EXTERIOR OPEN	NOT REQUIRED	NOT PROVIDED
ELEVATOR LOBBY (Section 708)	NOT REQUIRED	NOT PROVIDED
EXTERIOR WALL OPENINGS (Section 705.8)	NO FIRE RATING REQUIRED	NOT PROVIDED
EXTERIOR WALL OPENING 5' TO LESS THAN 10' FROM PROPERTY (Table 705.8)	FIRE RATING NOT REQUIRED FOR LESS THAN 25% OPENING AREA	NOT PROVIDED

**CODE COMPLIANCE LEGEND:**

OCC. CLASSF: A3  
FUNCTION: ASSEMBLY W/O FIXED SEATS  
LF = 1.7  
AREA = 3,376  
O.L. = 482

OCC. CLASSF: B  
FUNCTION: BUS  
LF = 1.100  
AREA = 138  
O.L. = 1

OCC. CLASSIFICATION/B  
FUNCTION: READING ROOM  
LF = 1.50  
AREA = 267  
O.L. = 5

OCC. CLASSF: B  
FUNCTION: ASSEMBLY  
LF = 1.15  
AREA = 188  
O.L. = 12

OCC. CLASSF: B  
FUNCTION: ACCESSORY  
LF = N/A  
AREA = 535  
O.L. = 0

OCC. CLASSF: B  
FUNCTION: MERCANTILE  
LF = 1.60  
AREA = 180  
O.L. = 3

OCC. CLASSF: B  
FUNCTION: BUS  
LF = 1.100  
AREA = 128  
O.L. = 1

OCC. CLASSF: B  
FUNCTION: ASSEMBLY  
LF = 1.15  
AREA = 366  
O.L. = 25

OCC. CLASSF: A3  
FUNCTION: ASSEMBLY W/O FIXED SEATS  
LF = 1.7  
AREA = 3,376  
O.L. = 482

OCC. CLASSIFICATION: B  
FUNCTION: ACCESSORY  
LF = N/A  
AREA = 426  
O.L. = 0

OCC. CLASSIFICATION: A3  
FUNCTION: ASSEMBLY W/O FIXED SEATS  
LF = 1.7  
AREA = 900  
O.L. = 128

OCC. CLASSIFICATION: A3  
FUNCTION: ASSEMBLY W/O FIXED SEATS  
LF = 1.7  
AREA = 790  
O.L. = 112

OCC. CLASSF: B  
FUNCTION: BUS  
LF = 1.100  
AREA = 138  
O.L. = 1

OCC. CLASSIFICATION/B  
FUNCTION: READING ROOM  
LF = 1.50  
AREA = 267  
O.L. = 5

OCC. CLASSF: B  
FUNCTION: ASSEMBLY  
LF = 1.15  
AREA = 188  
O.L. = 12

XSD TACTILE "EXIT STAIR DOWN" SIGN  
BRAILLE SIGN PER CBC 1011.3, NOTE 2

TX TACTILE "TO EXIT" SIGN  
BRAILLE SIGN PER CBC 1011.3, NOTE 5.

TS TACTILE STAIR LEVEL IDENT. SIGN  
BRAILLE SIGN PER CBC 1020.1.6.2

⊗ CEILING MOUNTED EXIT SIGN

→ DIRECTION OF TRAVEL

→ BUILDING EXIT

→ DIRECTION OF TRAVEL

● FIRE EXTINGUISHER CABINET

X TACTILE "EXIT" SIGN  
BRAILLE SIGN PER CBC 1011.3, NOTE 1.

XR TACTILE "EXIT ROUTE" SIGN  
BRAILLE SIGN PER CBC 1011.3, NOTES 3 & 4

**OCCUPANT LOAD FOR EXITING (CBC2013):**

AREA FUNCTION	AREA	OCCUPANCY GROUP	LOAD FACTOR	OCCUPANT LOAD
MEN'S PRAYER	3,376 SF	A3	7	482
WOMEN'S PRAYER	900 SF	A3	7	128
WOMEN'S QUIETE ROOM	790 SF	A3	7	112
READING ROOM	267 SF	B	50	5
MULTIPURPOSE ROOM	2,735 SF	A3	15	182
BREAK ROOM	188 SF	A3	15	12
CONFERENCE ROOM	366 SF	A3	15	25
BOOK STORE	180 SF	B	60	3
OFFICE	128 SF	B	100	1
OFFICE	138 SF	B	100	1
MEN'S LOBBY	237 SF	-	-	-
ENTRANCE HALLWAY	298 SF	-	-	-
WOMEN'S LOBBY	426 SF	-	-	-
STORAGE ROOMS	549 SF	B	300	2
ACCESSORY SPACES	688 SF	-	-	-
<b>TOTAL</b>				<b>953</b>

**EXIT DOOR WIDTH REQUIREMENTS:**

986 OCCUPANTS	REQUIRED	PROVIDED
	986 x 0.2 = 190" MIN.	238"

**PLUMBING FIXTURE COUNT (CPC 2013 TABLE 4-1):**

PLUMBING OCCUPANCY GROUP	OCCUPANT LOAD	WC PER PERSON	WC REQUIRED	WC PROVIDED	LAVATORY REQD	LAVATORY PROVIDED
WORSHIP PLACES PRINCIPAL ASSEMBLY PLACE	MALE: 288/2 = 144 FEMALE: 288/2 = 144	MALE: 1/150 FEMALE: 1/75	1 + 1 URINAL	3	1	3
<b>TOTAL:</b>			3 + 1 URINAL	6	2	4

**OCCUPANT LOAD FOR PARKING CALCS. (ZONING ORD):**

AREA FUNCTION	OCCUPANT LOAD/ AREA	OCCUPANCY GROUP	LOAD FACTOR	OCCUPANT LOAD
MEN'S PRAYER HALL	281 SPACES	RELIGIOUS	1:5	56
WOMEN'S PRAYER HALL	77 SPACES	RELIGIOUS	1:5	15
MULTIPURPOSE ROOM	2,735 SF	COMM. CNTR	1/200 SF	14
WOMEN'S QUIETE ROOM	790 SF	COMM. CNTR	1/200 SF	4
CONFERENCE ROOM	366 SF	COMM. CNTR	1/200 SF	2
BOOK STORE	180 SF	COMMERCIAL	1/240 SF	1
OFFICE	266 SF	OFFICE	1/240 SF	1
READING ROOM	267 SF	OFFICE	1/240 SF	1
BREAK/STORAGE ROOMS	755 SF	ACCESSORY	N/A	-
<b>TOTAL</b>				<b>94</b>

NOTE: MAXIMUM OCCUPANCY IN THE BUILDING IS DURING THE PRAYER SERVICE. ALL OTHER COMMUNITY CENTER AREAS ARE NOT IN USE DURING THE PRAYER SERVICE.

**PLUMBING OCCUPANT LOAD (CPC 2013 TABLE A):**

PLUMBING OCCUPANCY GROUP	AREA	LOAD FACTOR	OCCUPANT LOAD
GROUP A WORSHIP PLACES	5,333 SF	30	177
GROUP A CONFERENCE	3,289 SF	30	109
GROUP B OFFICE	266 SF	200	2
<b>TOTAL:</b>			<b>288</b>



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KEY PLAN

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2015-06-30	PLANNING SUBMITTAL REV-1	-
2015-04-27	PLANNING SUBMITTAL	-
	DESCRIPTION	

### AL-HILAAL MASJID & COMMUNITY CENTER

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PROJECT COMMUNITY CENTER

ADDRESS 372-374 TURQUOISE ST. MILPITAS, CA

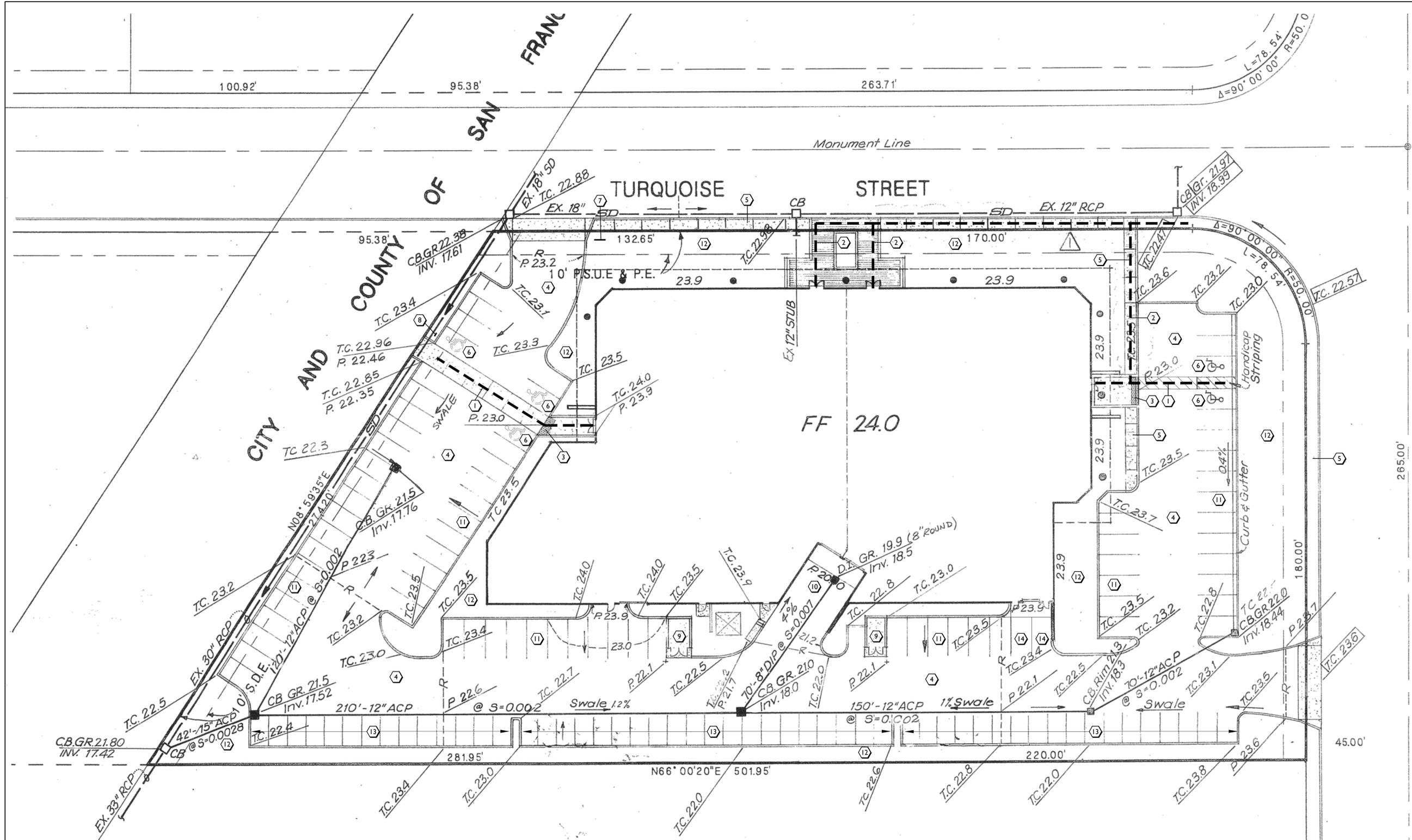
PROJECT NO. 1501

SCALE 1"=20'-0"

TITLE

**SITE PLAN**

**A-100**



#### GENERAL NOTES

1. THERE IS NO CHANGE IN EXISTING GRADING AND SITE UTILITIES.
2. REFER TO LANDSCAPE PLANS FOR EXISTING LANDSCAPING.
3. SEE ELECTRICAL SITE PLAN FOR EXTERIOR LIGHTING.

#### KEY NOTES

- |  |  |
|--|--|
| ① EXISTING ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING TO MAIN BUILDING ENTRANCE.  | ⑩ EXISTING RECESSED LOADING DOCK         |
| ② EXISTING ACCESSIBLE PATH OF TRAVEL FROM MAIN BUILDING ENTRANCE TO PUBLIC RIGHT-OF-WAY. | ⑪ EXISTING STANDARD PARKING SPACES, TYP. |
| ③ DETECTABLE WARNINGS. SEE DETAIL 9/A-501.   | ⑫ EXISTING LANDSCAPE AREA.               |
| ④ EXISTING ASPHALT PAVEMENT TO REMAIN.   | ⑬ EXISTING COMPACT PARKING SPACES.       |
| ⑤ EXISTING CONCRETE WALKWAY TO REMAIN.   | ⑭ NEW STANDARD PARKING SPACE.            |
| ⑥ HANDICAP ACCESSIBLE PARKING. SEE DETAILS 1 AND 2 ON SHEET A-501.                       |  |
| ⑦ SITE ACCESSIBLE SIGN. SEE DETAIL 10/A-501.   |  |
| ⑧ ACCESSIBLE PATH SIGN. SEE DETAIL 5/A-501/a, b, c & d.                                  |  |
| ⑨ EXISTING TRASH ENCLOSURE TO REMAIN.  |  |

#### LEGEND

- |  |   |
|--|---|
|  | CONC. SIDEWALK  |
|  | LAWN - SEE LANDSCAPE DRAWINGS                                 |
|  | VEGETATION - SEE LANDSCAPE DRAWINGS                           |
|  | PROPERTY LINE   |
|  | ACCESSIBLE PATH FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE. |
|  | NEW CONC. FENCE   |



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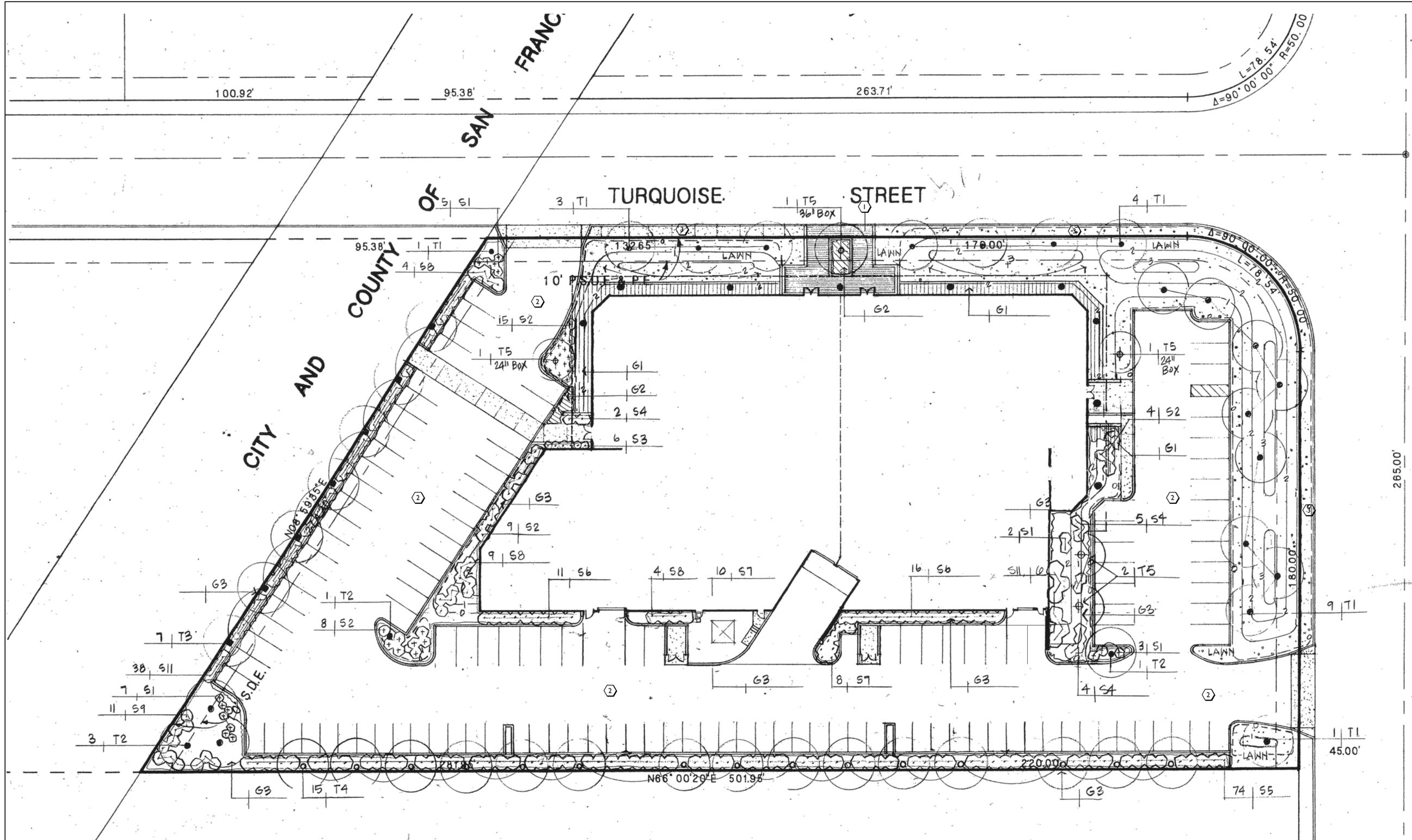
PROJECT NO. 1501

SCALE 1"=20'-0"

TITLE

**LANDSCAPE SITE PLAN**

**A-100L**



**GENERAL NOTES**

- EXISTING LANDSCAPE TO REMAIN. PRESERVE AND PROTECT IN PLACE ALL TREES AND PLANTS DURING CONSTRUCTION ACTIVITIES.

**KEY NOTES**

- EXISTING DECORATIVE PAVEMENT TO REMAIN.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- EXISTING CONCRETE WALKWAY TO REMAIN.

**EXISTING PLANTING TO REMAIN**

**PLANTING LIST**

KEY	BOTANICAL / PLANT NAME	QTY	SIZE	NOTE
T1	LIQUIDAMBAR S. 'INDO ALTO'	14	15 GAL	STANDARD
T2	QUERCUS AGRIFOLIA	5	5"	
T3	PLATANUS ACERIFOLIOLICEDD	7	7"	
T4	MEALAEUCA QUINQUELOBERIA	15	15"	
T5	SCHINUS TEREBINTHIFOLIUS	9	9"	
S1	RAPHIDOLEPSIS 'BALLERINA'	15	5 GAL	
S2	RAPHIDOLEPSIS 'CLARA'	15	5 GAL	
S3	NANDINA D. 'COMPACTA'	6	6"	
S4	PITTOSPORUM TOBIANA	2	2"	
S5	PRUNUS ILLICIFOLIA	74	74"	
S6	NERIUM OLEANDER 'ALGIERES'	51	51"	
S7	LIGUSTRUM TEXANUM	15	15"	
S8	JUNIPERUS 'ARMSTRONG'	17	17"	
S9	GEANTHOUS 'KONGCHAI'	11	11"	
S10	PITTOSPORUM 'VARIEGATA'	11	11"	
S11	ESCALLONIA FRADESI	30	30"	
G1	TRACHELOSPERMUM JASMINOIDES - STAR JASMINE	1 GAL	PLANT @ 2410.G.	
G2	AGAPANTHUS 'DWARF WHITE' - DWF. WHITE LILY-OF-THE-NILE	1 GAL	PLANT @ 1810.G.	
G3	HEPERA 'HANHII'	FLATS	PLANT @ 1810.G.	

**LEGEND**

- CONC. SIDEWALK
- LAWN - SEE LANDSCAPE DRAWINGS
- VEGETATION - SEE LANDSCAPE DRAWINGS
- PROPERTY LINE
- ACCESSIBLE PATH FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE.
- NEW CONC. FENCE



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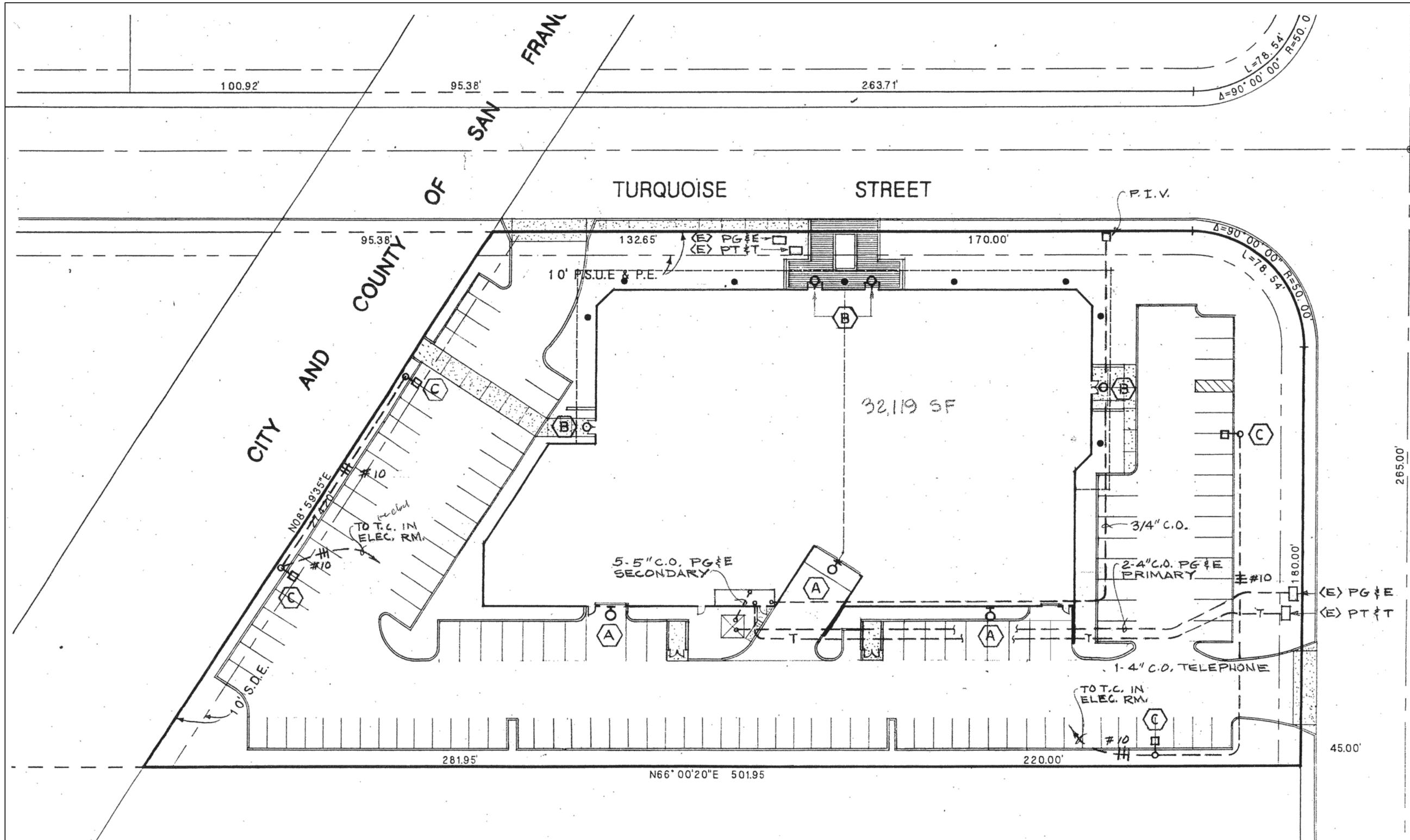
PROJECT NO. 1501

SCALE 1"=20'-0"

TITLE

### ELECTRICAL SITE PLAN

**A-100E**



#### GENERAL NOTES

- ALL SITE LIGHTING IS EXISTING TO REMAIN. NO ADDITIONAL LIGHTING IS PROPOSED IN THE PROJECT SCOPE.

#### KEY NOTES

- (A) EXISTING HIGH PRESSURE SODIUM WALL PACK.
- (B) EXISTING RECESSED INCANDESCENT DOWN LIGHT.
- (C) EXISTING SINGLE HEAD HIGH PRESSURE SODIUM PARKING LOT LUMINAIRE





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KEY PLAN

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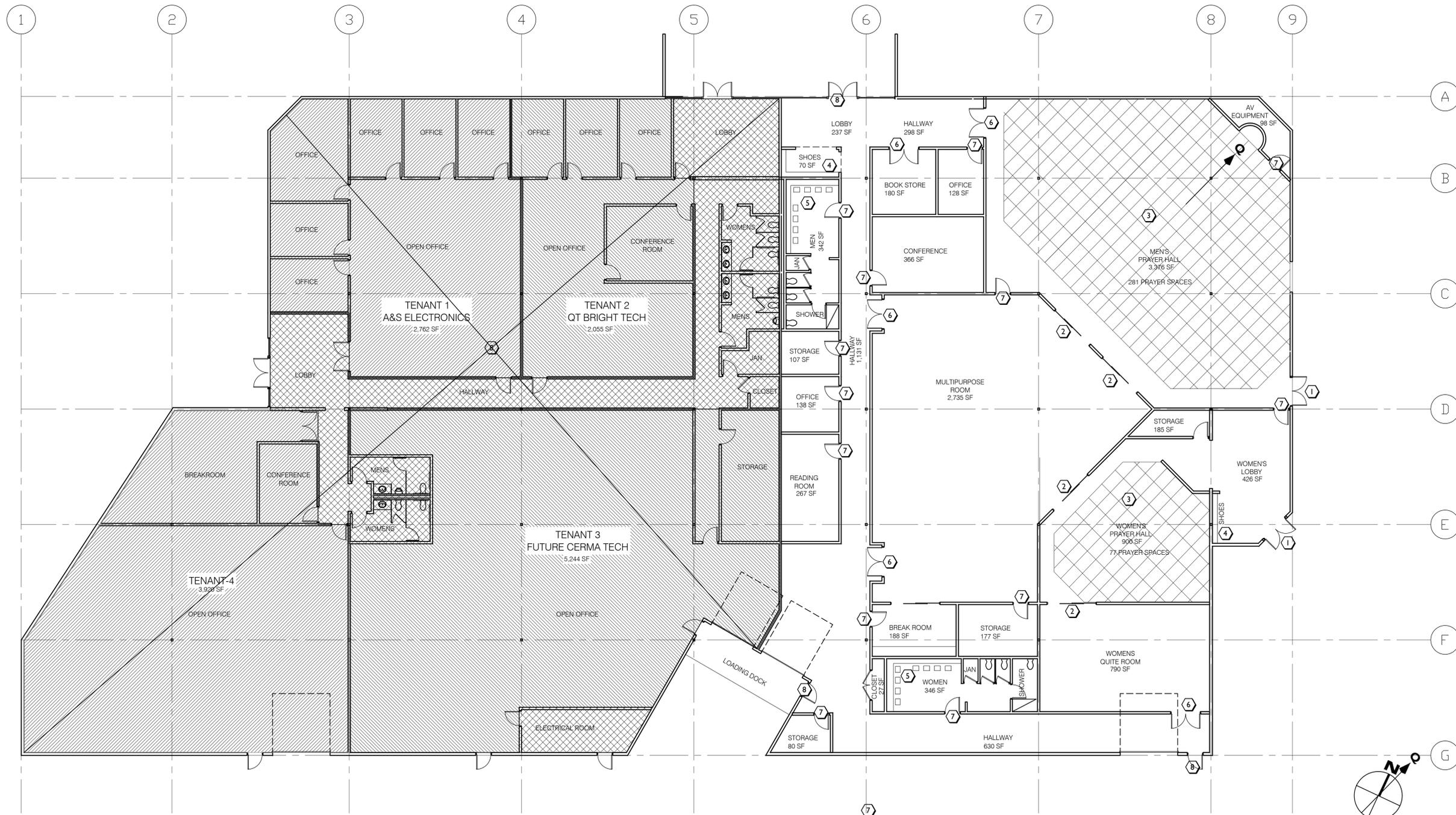
PROJECT NO. 1501

SCALE 3/32"=1'-0"

TITLE

**PROPOSED FLOOR PLAN**

**A-101**



**GENERAL NOTES**

- I. SEE SHEET A-001 FOR FLOOR PLAN GENERAL NOTES.

**KEY NOTES**

- ① EXTERIOR 6'x8' ALUMINUM GLASS DOOR WITH PANIC HARDWARE.
- ② 10'x10' SLIDING DOOR
- ③ 30"x48" CARPET PATTERN TO DEMARCATTE INDIVIDUAL PRAYER SPACE.
- ④ WOODEN SHELVES FOR SHOES
- ⑤ WADU STATIONS
- ⑥ 6'x8" INTERIOR DOOR. WOOD PANEL PAIR ON METAL FRAME.
- ⑦ 3'x8" INTERIOR DOOR. WOOD PANEL SINGLE ON METAL FRAME.
- ⑧ EXISTING TO REMAIN.

**LEGEND**

- ① DOOR NUMBER (SEE SCHEDULE SHEET A-602)
- F A 6 1 WALL TYPE DESIGNATION (SEE SCHEDULE SHEET A-601)
- FEC FIRE EXTINGUISHER CABINET (RECESSED). SEE DTL. ---
- ALIGN ALIGN (FACE OF FINISH TO FACE OF FINISH)
- BUMPER GUARD (SEE DETAIL ---) SEE A101F FOR LOCATIONS
- C.G. CORNER GUARD (SEE DETAIL ---) SEE A101F FOR LOCATIONS
- NEW NON-RATED PARTITION
- NEW 1 HR. FIRE RATED PARTITION
- W WINDOW TYPE (SEE WINDOW SCHEDULE SHEET A-602).



