

MEMORANDUM

Department of Planning and Neighborhood Services



To: Transportation & Land Use Subcommittee
Through: Felix Reliford, Acting Planning & Neighborhood Services Director
From: Sheldon S. Ah Sing, Senior Planner
Subject: **Serra Center Mixed Use Development**
Date: September 25, 2012

Background:

In March 2009, the owners of the Serra Center submitted a preliminary application for the redevelopment of the 16.2 acre site located at Calaveras Boulevard and Serra Way within the Midtown Specific Plan. The project included the development phasing of retail (277,061 square feet), restaurant (58,404 square feet), office (235,949 square feet), hotel (291 rooms) supported by a multi-level parking structure and residential (45 units). The initial request was to rezone the property from General Commercial to Mixed Use. This preliminary project was presented to the TALU and the Planning Commission in the spring of 2009. The project did not proceed at the request of the owners because of the state of the economy.

Current Proposal:

The site currently includes multiple buildings with retail, restaurants, offices and two motels. There is also presently an independent proposal (Conditional Use Permit) to include a child care center within the existing building at the intersection of Serra Way and Abel Street.

The current proposal by the owners is for a similar project in size and scale as the previous project. However, there is emphasis on the first phase of the development which is the construction of 41 townhome dwelling units. Staff has not had enough time to thoroughly review the technical aspects of the project; however, a broad overview was done to make some early recommendations.

Analysis:

Staff supports the buffer of the multi-story parking garage with residential as proposed. The proposed residential will shield the existing residential homes to the south of the project.

Staff does have concerns about the phasing and ability of the project to deliver the commercial square footage in a timely manner. It is not clear from the owners with this submittal of the timing of the phasing. Staff is concerned that the residential component would be constructed and years later the commercial aspect would follow. Primary residential growth for the City is planned around the future BART station and further "density leakage" undermines the Transit Area Plan. Staff's position is that the proposal for the child care center is a detriment to the

phasing of the project. The child care center would be located in the second phase of the development at a prominent location for the shopping center (Building 4—Present, Building F—Future). Staff recommends that phase one include a component of the future commercial space.

The plan will have to demonstrate a strong commitment to a phasing plan that delivers and provides assurances to the City for the timely development of the vertical mixed use components of the project. The project at a minimum requires General Plan, Specific Plan and Zoning amendments, along with a Site Development Permit, Tentative Map and Conditional Use Permit. A Development Agreement may be warranted to assure the phasing of the development.

Environmental analysis is also necessary in accordance with State law. In accordance with CEQA, the project cannot piecemeal the phases of development. The project on its whole needs to be analyzed for its potential impacts on the environment and this will help streamline the implementation of the master plan in the future.

Conclusions:

The project's location is a key gateway into Milpitas and the transformation of the site from an outdated commercial center into a vibrant mixed use activity center is long overdue. In summary:

1. Staff supports the buffer of the multi-story parking garage with residential;
2. Staff recommends denial of the CUP for the proposed child care center because it is a detriment to the phasing of the master plan;
3. The first phase of the development needs to include a component of the future commercial space; and
3. The proposal needs to be a comprehensive application to address the long-term development of the site.

Recommendation:

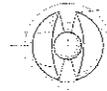
Concur with staff's conclusions and provide additional direction.

Attachments:

- Conceptual plan from 2009
- Conceptual plan from 2012 with applicant summary

Concept from 2009





Project Information Document

Serra Center Mixed Use Development
200 Serra Way
Milpitas CA 95035

Date:	September 18, 2012	AES PN:	AES2011-535-1
To:	City of Milpitas	From:	ArcheSpaceGWSC
Attn:	Felix Reliford	By:	Gary Wong
CC: Team Members	Henry Horng	Email:	gwong@archespacegwsc.com
Email:	freliford@ci.Milpitas.ca.gov		

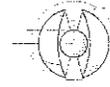
Re: Serra Center Design Brief:

Milpitas is a prospering city of development and the Gateway to the Silicon Valley. The Serra Center mixed use project is located at the entrance to the City of Milpitas which makes it the Gateway to the City of Milpitas also. This project is located within the Midtown Specific Plan and is the core of the redevelopment of core of the City which incorporates Gateway Office zoning overlay district. Since this property is situated at the entrance, the innovative and enlightening façade of the multi height structures will provide a focal point along Calaveras Boulevard, making this the Gateway characteristic of the General Plan. The main feature of this new development will be the 6 story element towering over the Calaveras City entrance and the main intersections of highway 237 and 880.

With careful land planning and placement of the buildings on the site, we are able to provide an efficient flow of traffic from the Calaveras corridor into the site to the parking garage and surface street parking. This attention to the traffic studies and City concerns has been taken into account to move the traffic into the property and reduce the possibilities of traffic congestion. With this development, we have maintained the pedestrian first attention to the site to focus the safety of the site and the surroundings from overwhelming traffic circulation. Along with this approach, we have focused on gathering places for pedestrian to gather and socialize in our many pockets of interesting nodes. This approach will also benefit the Main Street running longitudinally from Abbott to Abel which continues the retail visitor's experience.

This 16 acre development will be the center for retail, restaurants, office, meeting areas, and more. With the specialty neighborhood food market on the eastern edge, the scale of the buildings will complement the surrounding neighborhood and make this complex more inviting to all. The five retail buildings will house the retail and restaurants along the Calaveras Boulevard. It will be faced with glazing, lights, and displays on the first two levels of each building. The life of the center will come alive and provide the neighborhood with more energy from the shops and restaurants for all to enjoy.

In compliance with the City General Plan, the upper floors of each building shall house the offices and residential spaces and extend to the focal point, the six story office tower. The residential units will be accessed



archespaceGWSC
architectural design • project management

Project Information Document

from the street level through a private secured entrance. Separately from this lobby shall be another lobby for the office component of each building. Elevators and stairs will provide code compliant access for the disabled and for others. Another design feature will be the skywalks which connect the upper floors together with complimentary occupancy types. At the same time it will provide direct and uninterrupted access and maintain our pedestrian safe zone for access of the site. Proposed in Building F will be a highly rated signature restaurant to anchor the new development and provide a focal point for the neighborhood to gather and enjoy the Serra Center experience. To accommodate the visitors to the site, a central parking structure is proposed to feed out to all the buildings with skywalks and ground level access. The ground level is organized with the internal streets, pathways, nodes, and open spaces for the enjoyment and enjoyment within the center. At the same time we have provided the needed compliance to fire and service access without noticeable effects on the pedestrian experience.

Careful attention to detail has been developed and designed for to maintain the connection to the neighborhood around the Serra Center. As the only Architect in the City and a director of the Chamber of Commerce, I have gathered data and walked the neighborhood surrounding the site to gather some good feedback about the best approach to blend Serra Center with the neighborhood. We are sensitive to the residential area along Junipero and we have incorporated the design of three story residential units, open space, and curb appeal to blend into the surroundings. We have master planned this area to focus our attention to the architectural style and character of the buildings and landscaping. This residential portion will be the buffer to the parking structure and the other mixed use building in the Serra Center.

Our design efforts provide the variation of the masses to reduce overall building footprints. The changes in height, setbacks, architectural style and characteristics will provide a visitors experience like no other. The blend will provide a cohesive design style to the center yet will also embellish the beauty of each building on site.

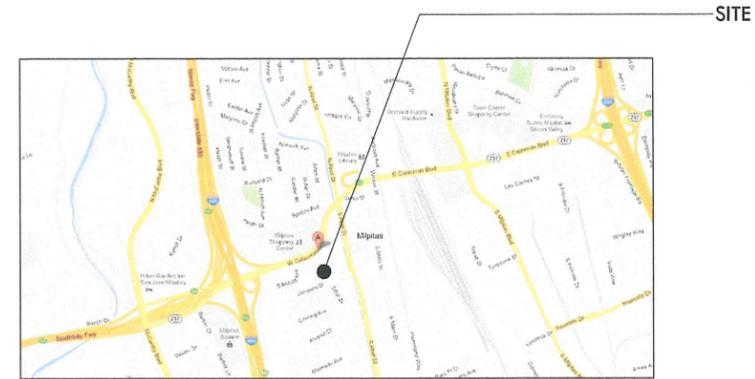
Our goal is to provide the neighborhood with a place to gather, enjoy family time, and increase social aspects of business and personal lifestyles. This center will provide the entertainment, services, and bonding elements to the neighborhood. The continuous activities and lifestyle will generate more life to the neighborhood. The continuous attention to the Mid-Town Specific Plan has been followed in the development of this center and will definitely identify this as the Gateway to the City of Milpitas.

SERRA CENTER TOWNHOUSE DEVELOPMENT

SERRA WAY LLC.
--- (OWNER) IS UNDERTAKING A SITE IMPROVEMENT AT THE ABOVE NOTED ADDRESS. THIS IMPROVEMENT INVOLVES THE DEMOLITION OF EXIST. 9 BUILDINGS ON 1.6 ACRES. TO REPLACE THESE BUILDINGS, 9 NEW BUILDINGS & RESIDENTIAL LIVING UNITS ARE PROPOSED. THESE UNITS CONSIST OF RETAIL & RESTAURANTS ON 1ST & 2ND LEVELS, CONFERENCE & RESIDENTIAL UNITS FOR THE 3RD & 4TH LEVELS. BUILDING E SHALL HAVE OFFICES TO 5TH & 6TH LEVELS.

ALL PHASING OF THIS SITE IS SHOWN WITHIN THIS PACKAGE. DVE TO LOGISTICS OF COORDINATION TO UTILITIES, PARKING, & LEASE TERMS.

200 SERRA WAY,
MILPITAS, CA 95035



VICINITY MAP
NTS 1

PROJECT DESCRIPTION NTS 18

CONSTRUCTION TYPE:	TYPE III
NUMBER OF STORIES:	4-6
BUILDING DESCRIPTION:	--- SQUARE FEET
FIRST FLOOR:	--- SQUARE FEET
SECOND FLOOR:	--- SQUARE FEET
THIRD FLOOR:	--- SQUARE FEET
AREA OF IMPROVEMENT:	--- SQUARE FEET
OCCUPANCY GROUP:	M/B/A/52
FIRE PROTECTION:	BUILDING IS PROVIDED WITH AUTOMATIC FIRE SPRINKLER THROUGHOUT.
HANDICAP ACCESS:	FULLY COMPLIES
EXISTING PARKING:	REQUIREMENTS FOR NEW 4 STORY BUILDING PARKING THE EXIST. SURFACE PARKING SHALL NOT COMPLY. NEW PARKING STRUCTURE IS REQUIRED TO MEET PARKING ORDINANCE

BUILDING ADDRESS: JUNIPERO WAY
MILPITAS, CA 95035

LEGAL JURISDICTION: CITY OF MILPITAS

BUILDING CODE: 2010 C.B.C., C.M.C., C.P.C., C.F.C. & C.E.C. AND THE CURRENT CITY OF MILPITAS AMENDMENTS

TITLE 24 - CALIFORNIA ENERGY CODE (2010)

TITLE 24 - HANDICAP ACCESS (2010)

BUILDING INFORMATION NTS 18

EXISTING FULLY COMPLYING	UPGRADE TO COMPLYING	EQUIVALENT FACILITATION	DETAILS SHOWN IN DRAWING	REMARKS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		NONE AND NOT REQUIRED
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		NONE AND NOT REQUIRED
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		SEE NOTE BELOW

ALL PARKING AND TOILET CORES HAS BEEN FIELD REVIEWED FOR COMPLIANCE TO CURRENT CBC AND MEET THE CURRENT REQUIREMENTS FOR THIS ONE SUITE REQUIREMENTS.

CODE DATA NTS 14

&	AND	EA.	EACH	JAN.	JANITOR	S.A.D.	SEE ARCHITECTURAL DOCUMENTS
@	AT	EC	EXISTING TO BE CAPPED	JST.	JOIST	S.C.	SOLID CORE
~	CENTERLINE	E.J.	EXPANSION JOINT	JT.	JOINT	SCHED.	SCHEDULE
°	DEGREE	ELEC.	ELECTRICAL	LAM.	LAMINATE	S.A.	SOAP DISPENSER
/	DIAMETER	ELEV.	ELEVATOR	LAV.	LAVATORY	SECT.	SECTION
±	PLUS OR MINUS	EMER.	EMERGENCY	LB.	POUND	SECY.	SECRETARY
#	POUND OR NUMBER	ENCL.	ENCLOSURE	LF.	LINEAR FEET	S.E.D.	SEE ELECTRICAL DOCUMENTS
⊥	PERPENDICULAR	ER	EXISTING TO REMAIN	LT.	LIGHT	S.F.	SQUARE FEET
A.C.	AIR CONDITION	EQ.	EQUAL	MATL.	MATERIAL	S.H.T.	SHEET
ADJ.	ADJACENT	EQPT.	EQUIPMENT	MAS.	MASONRY	SIM.	SIMILAR
ADA	AMERICANS WITH DISABILITIES ACT	EWC	ELECTRIC WATER COOLER	MAX.	MAXIMUM	S.M.D.	SEE MECHANICAL DOCUMENTS
ADDL.	ADDITIONAL	EXT.	EXTERIOR	MDF	MEDIUM DENSITY FIBER BOARD	S.N.D.	SANITARY NAPKIN DISPENSER
A.F.F.	ABOVE FINISHED FLOOR	F.A.	FIRE ALARM	MECH.	MECHANICAL	SPC.	SPECIFICATION
ALUM	ALUMINUM	F.D.	FLOOR DRAIN	MTL.	METAL	SP.	SPEAKER
ALT.	ALTERNATE	FDN.	FOUNDATION	MFG.	MANUFACTURER	SQ.	SQUARE
APPROX.	APPROXIMATE	F.A.	FIRE EXTINGUISHER	MIN.	MINIMUM	S.S.D.	SEE STRUCTURAL DOCUMENTS
ARCH.	ARCHITECTURAL	F.A.C.	FIRE EXTINGUISHER CAB.	MIR.	MIRROR	S.S.D.	SEE STRUCTURAL DOCUMENTS
ASPH.	ASPHALT	F.H.C.	FIRE HOSE CABINET	MISC.	MISCELLANEOUS	S.S.TL.	STAINLESS STEEL
BD.	BOARD	FIN.	FINISH	M.O.	MASONRY OPENING	STD.	STANDARD
BLDG.	BUILDING	FIXT.	FIXTURE	MTD.	MOUNTED	STL.	STEEL
BLK.	BLOCK	FL.	FLOOR	MUL.	MULLION	STR.	STRUCTURAL
BLKG.	BLOCKING	FLUOR.	FLUORESCENT	N.	NORTH	SUSP.	SUSPENDED
BM.	BEAM	F.O.	FACE OF	N.I.C.	NOT IN CONTRACT	SYM.	SYMMETRICAL
BOT.	BOTTOM	F.O.C.	FACE OF CONCRETE	NO., #	NUMBER	T.	TREAD
B.T.U.	BRITISH THERMAL UNIT	F.O.F.	FACE OF FINISH	NOM.	NOMINAL	T.B.	TOWEL BAR
CAB.	CABINET	F.O.S.	FACE OF STUDS	N.T.S.	NOT TO SCALE	T.C.	TOP OF CURB
CEM.	CEMENT	FT.	FOOT, FEET	(N)	NEW	TEL.	TELEPHONE
CER.	CERAMIC	FURR.	FURRING	O.A.	OVERALL	TEMP.	TEMPORARY
CLG.	CLEAR	G.A.	GAUGE	OBS.	OBSCURE	THRES.	THRESHOLD
CLR.	CASED OPENING	GAL.	GALLON	O.C.	ON CENTER	T.O.C.	TOP OF CONCRETE
C.O.	CONFERENCE	GALV.	GALVANIZED	O.D.	OUTSIDE DIAMETER	T.P.D.	TOILET PAPER DISPENSER
COL.	COLUMN	GAR.	GARAGE	OFF.	OFFICE	TYP.	TYPICAL
CONC.	CONCRETE	G.B.	GRAB BAR	OPNG.	OPENING	U.O.N.	UNLESS OTHERWISE NOTED
CONN.	CONNECTION	G.C.	GENERAL CONTRACTOR	OPP.	OPPOSITE	UR.	URINAL
CONT.	CONTINUOUS	GL.	GLASS	OZ.	OUNCE	UTIL.	UTILITY
CONTR.	CONTRACTOR	GND.	GROUND	PART.	PARTICLE	V	VOLTS
CORR.	CORRIDOR	GR.	GRADE	P.LAM	PLASTIC LAMINATE	VCT	VINYL COMPOSITION TILE
C.M.U.	CONCRETE MASONRY UNIT	GYP.	GYPSPUM	PLAST	PLASTER	VERT.	VERTICAL
CTS.	COUNTERSUNK	GYP. BD.	GYPSPUM BOARD	PLYWD.	PLYWOOD	VEST.	VESTIBULE
CTR.	CENTER	H.B.	HOSE BIBB	FR.	FRAMING	V.F.	VERIFY IN FIELD
C.W.	COLD WATER	H.C.	HOLLOW CORE	PREFAB.	PREFABRICATED	VOL.	VOLUME
DBL.	DOUBLE	HDR.	HEADER	PT.	POINT	W/	WITH
DEPT.	DEPARTMENT	HDWD.	HARDWOOD	P.T.D.	PAPER TOWEL DISPENSER	W.C.	WATER CLOSET
DTL.	DETAIL	HDWE.	HARDWARE	PTN.	PARTITION	WD.	WOOD
DIAG.	DIAGONAL	HGT.	HEIGHT	PVMT.	PAVEMENT	WH.	WATER HEATER
DIA.	DIAMETER	H.M.	HOLLOW METAL	R.	RISER	W/O	WITHOUT
DIM.	DIMENSION	HORIZ.	HORIZONTAL	RAD.	RADIUS	WP.	WATERPROOF
DISP.	DISPENSER	HR.	HOUR	R.D.	ROOF DRAIN	WR.	WATER RESISTANT
DN.	DOWN	HVAC	HEATING, VENTILATION, AIR CONDITIONING	RDWD.	REDWOOD	WT.	WEIGHT
DR.	DOOR	H.W.	HOT WATER	REF.	REFERENCE	YD.	YARD
DW.	DISHWASHER	I.D.	INSIDE DIAMETER	REFR.	REFRIGERATOR		
DWG.	DRAWING	IN.	INCH	REINF.	REINFORCED		
DWR.	DRAWER	INCL.	INCLUDING	REQD.	REQUIRED		
		INSL.	INSULATION	REV.	REVISED, REVISION		
		INT.	INTERIOR	R.M.	ROOM		
				R.O.	ROUGH OPENING		

ABBREVIATIONS NTS 7

ARCHITECTURAL DRAWINGS

A0.0	COVER SHEET
A1.00	EXISTING SITE PLAN
A1.01	PROPOSED SITE PLAN
A1.02	PHASE 1 DEMO PLAN
A1.03	PHASE 1 SITE PLAN
A1.03A	PHASE 1 ENLARGED PLAN
A1.03B	ENLARGED TYPICAL PLAN PHASE 1 UNIT
A1.03C	PROPOSED GROUND FLOOR
A1.03D	PROPOSED SECOND FLOOR
A1.03E	PROPOSED THIRD FLOOR
A1.04	PHASE 2 DEMO PLAN
A1.05	PHASE 2 SITE PLAN
A1.06	PHASE 3 DEMO PLAN
A1.07	PHASE 3 SITE PLAN
A1.08	PHASE 4 DEMO PLAN
A1.09	PHASE 4 SITE PLAN

ADA COMPLIANCE CHECKLIST NTS 15

	WALL TYPE		DETAIL REFERENCE MARK DETAIL NUMBER DETAIL SHEET ENLARGED AREA		CEILING HEIGHT MARK CEILING HEIGHT (TYP. A.F.F.)
	DOOR SCHEDULE TAG SEE DOOR SCHEDULE FOR LAYOUT, CONSTRUCTION AND HARDWARE.		DETAIL REFERENCE MARK SECTION NUMBER SECTION SHEET		REVISION MARK REVISION NUMBER
	WINDOW SCHEDULE TAG SEE WINDOW SCHEDULE FOR LAYOUT, CONSTRUCTION AND HARDWARE.		WALL SECTION REFERENCE MARK SECTION NUMBER SECTION SHEET AND DIRECTION OF VIEW		DATUM OR WORKING POINT
	ROOM SCHEDULE TAG ROOM NAME ROOM NUMBER		SECTION REFERENCE MARK SECTION NUMBER SECTION SHEET AND DIRECTION OF VIEW		ALIGN SURFACES
	EQUIPMENT SCHEDULE TAG SEE EQUIPMENT SCHEDULE FOR CONSTRUCTION.		ELEVATION REFERENCE MARK ELEVATION NUMBER AND DIRECTION OF VIEW ELEVATION SHEET		
	NOTE CALL OUT SEE EQUIPMENT SCHEDULE FOR CONSTRUCTION.				
	FINISH TAG SEE FINISH SCHEDULE				

BUILDING OWNER:
200 SERRA CENTER LLC.
15024 SPENY LANE
SARATOGA, CA 95070
TEL: 408.834.3318
CONTACT: HENRY HORNG
EMAIL: J.HORNG@YAHOO.COM

ARCHITECTURAL DESIGNER:
ARCHESPACEGWS
620 SOUTH MAIN STREET, STE 200
MILPITAS, CA 95035
TEL: 408.933.3477
FAX: 650.618.2694
CONTACT: GARY WONG
EMAIL: GWONG@ARCHESPACEGWS.COM
AOR: WILLIAM R. MAHAR C-7912

PROJECT DIRECTORY NTS 20

SYMBOL LIST NTS 8

DRAWING INDEX NTS 4

archespace
GWSC
620 S. MAIN STREET, SUITE 200
MILPITAS, CA 95035
408 933 3477
650 618 2694

DESIGN BEYOND THE BOX

Revision: SUBMITAL Date: 09.14.12

Sheet Title: COVER SHEET

Scale: AS NOTED

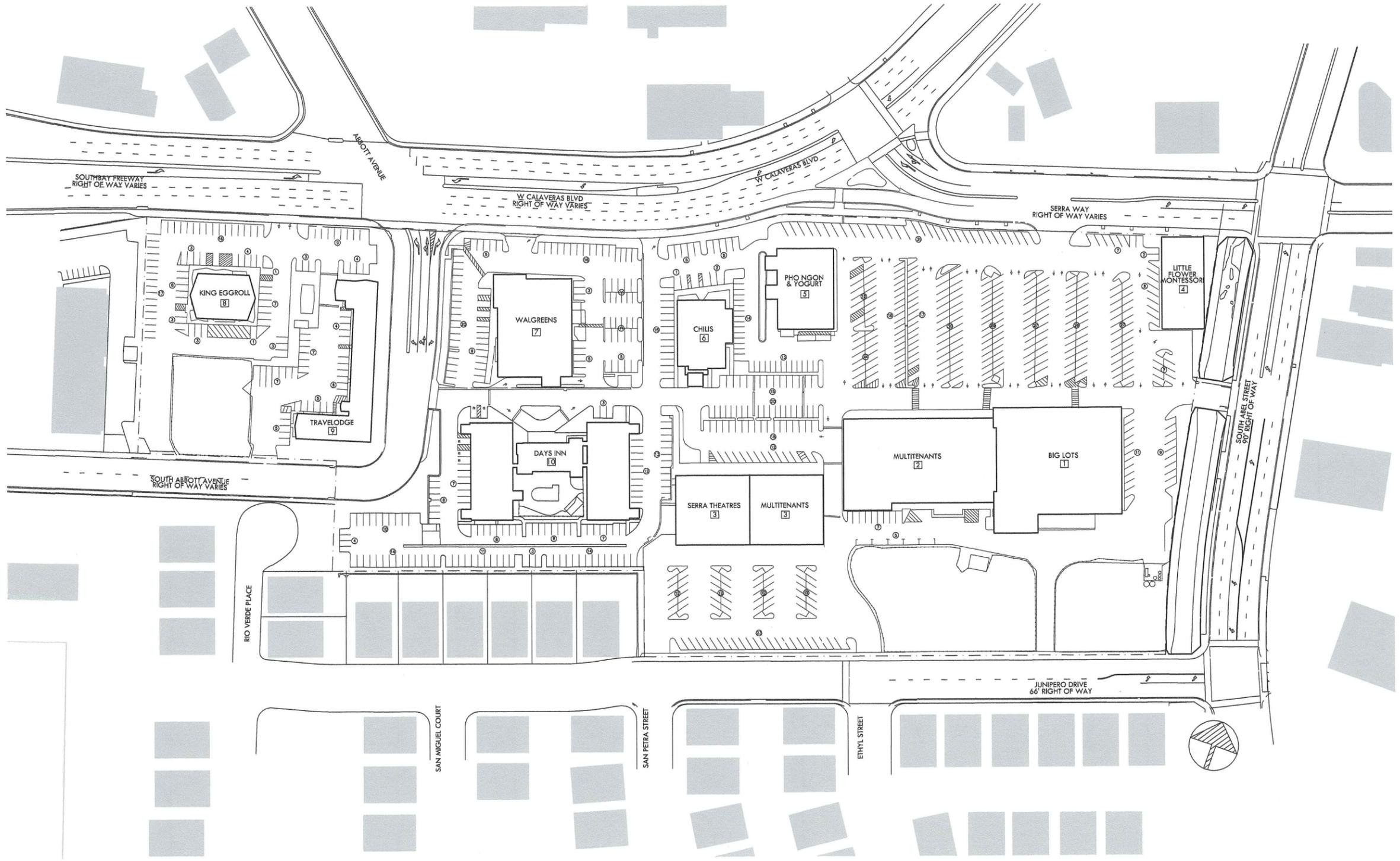
Project No: AES2011-635-1

Date: 08.18.12

Drawn: LV/CY

Checked: GWN

Sheet No.: A0.0



SERRA CENTER LLC
 200 SERRA WAY
 MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
 200 SERRA WAY, MILPITAS, CA 95035

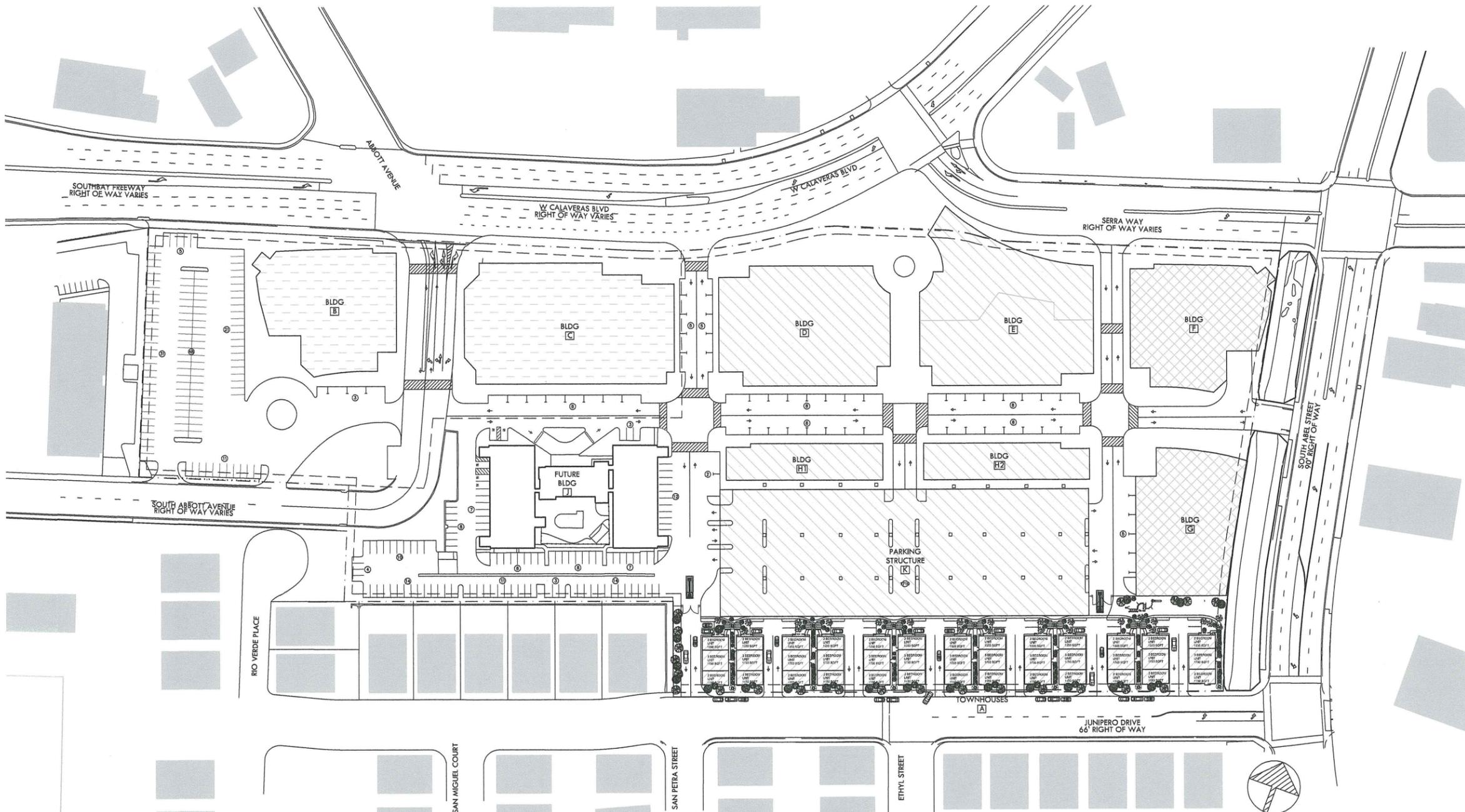

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 GWSC
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 408 933 3477
 650 618 2694

DESIGN BEYOND THE BOX

Revision	Description	Date
1	SUBMITAL	09.14.12

Scale:	AS NOTED
Project No.:	AES2011-835-1
Date:	09.18.12
Drawn:	LV/RY
Checked:	GWW
Sheet No.:	

- EXISTING PARKING COUNT**
 800 PARKING STALLS
 29 HANDICAP STALLS
 829 TOTAL PARKING STALLS
- LEGEND:**
-  PHASE 1
 -  PHASE 2
 -  PHASE 3
 -  PHASE 4
 -  DEMOLITION
 -  PHASE WORK
 -  PROPERTY LINE



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 MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
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 408.933.3477
 650.618.2694

DESIGN BEYOND THE BOX

Revision	Description	Date
1	SUBMITTAL	09.14.12

AS NOTED
 AES2011-835-1
 09.18.12
 LV/BJ
 GWM

DEVELOPMENTS SUMMARY

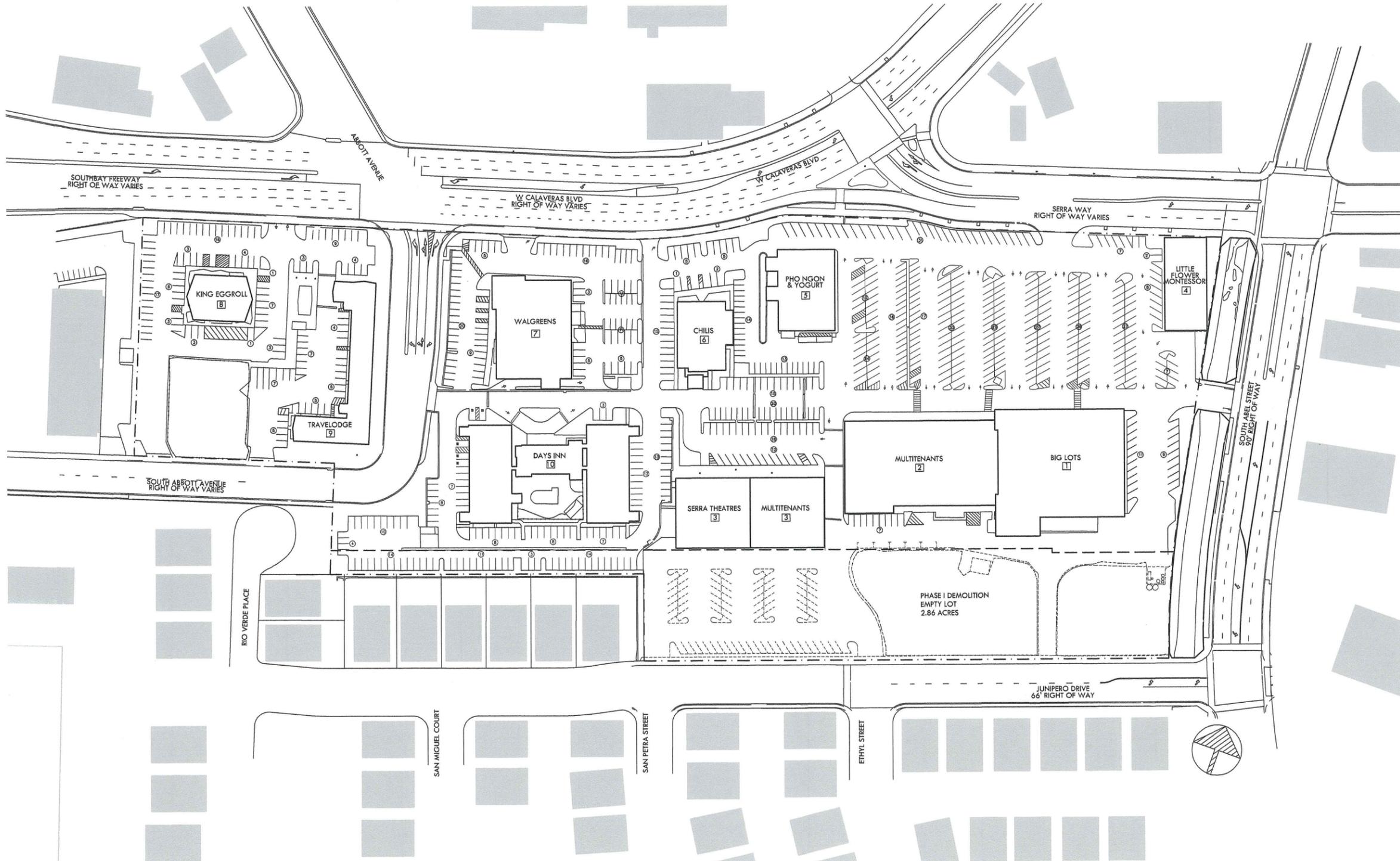
- PHASE 1:
 BLDG A (3 STORIES; 55,250 SF)
 39 TOWNHOUSES
- PHASE 2:
 BLDG E (6 STORIES; 175,000 SF)
 1 - RETAIL/RESTAURANT
 2 - RETAIL/RESTAURANT
 3 - RESIDENTIAL
 4 - RESIDENTIAL
 5 - OFFICE
 6 - OFFICE
 BLDG F1/F2 (4 STORIES; 72,500 SF)
 1 - RETAIL
 2 - RETAIL
 3 - CONFERENCE
 4 - CONFERENCE
- PHASE 3:
 BLDG D (4 STORIES; 110,000 SF)
 1 - RETAIL/RESTAURANT
 2 - RETAIL/RESTAURANT
 3 - RESIDENTIAL
 4 - RESIDENTIAL
 BLDG H1 (4 STORIES; 44,000 SF)
 1 - RETAIL
 2 - RETAIL
 3 - RETAIL
 4 - RETAIL
 BLDG H2 (4 STORIES; 44,000 SF)
 1 - RETAIL
 2 - RETAIL
 3 - RETAIL
 4 - RETAIL
 BLDG G (4 STORIES; 80,000 SF)
 1 - RETAIL
 2 - RETAIL
 3 - OFFICE
 4 - OFFICE
 PARKING STRUCTURE K (5 STORIES)
 1710 STALLS
- PHASE 4:
 BLDG B (4 STORIES; 117,000 SF)
 1 - RETAIL/RESTAURANT
 2 - OFFICE
 3 - OFFICE
 4 - OFFICE
 BLDG C (4 STORIES; 162,000 SF)
 1 - RETAIL/RESTAURANT
 2 - RETAIL/RESTAURANT
 3 - RESIDENTIAL
 4 - RESIDENTIAL
- PHASE 5:
 FUTURE BLDG J (4 STORIES; 157,000 SF)
 1 - RETAIL/RESTAURANT
 2 - RETAIL/RESTAURANT
 3 - RESIDENTIAL
 4 - RESIDENTIAL

LEGEND:

	PHASE 1	-----	DEMOLITION
	PHASE 2	-----	PHASE WORK
	PHASE 3	-----	PROPERTY LINE
	PHASE 4		

PROPOSED SITE PLAN
 1/64" = 1'-0" 4

A1.01



SERRA CENTER LLC
 200 SERRA WAY
 MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
 200 SERRA WAY, MILPITAS, CA 95035

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 GWSC
 620 S. MAIN STREET, SUITE 200
 MILPITAS, CA 95035
 408 933 3477
 650 618 2694

DESIGN BEYOND THE BOX

Revision	Description	Date
1	SUBMITAL	09.14.12

Sheet Title: PHASE 1 DEMO PLAN

Scale: AS NOTED

Project No: AES2011-035-1

Date: 09.18.12

Drawn: LV/CT

Check: GWW

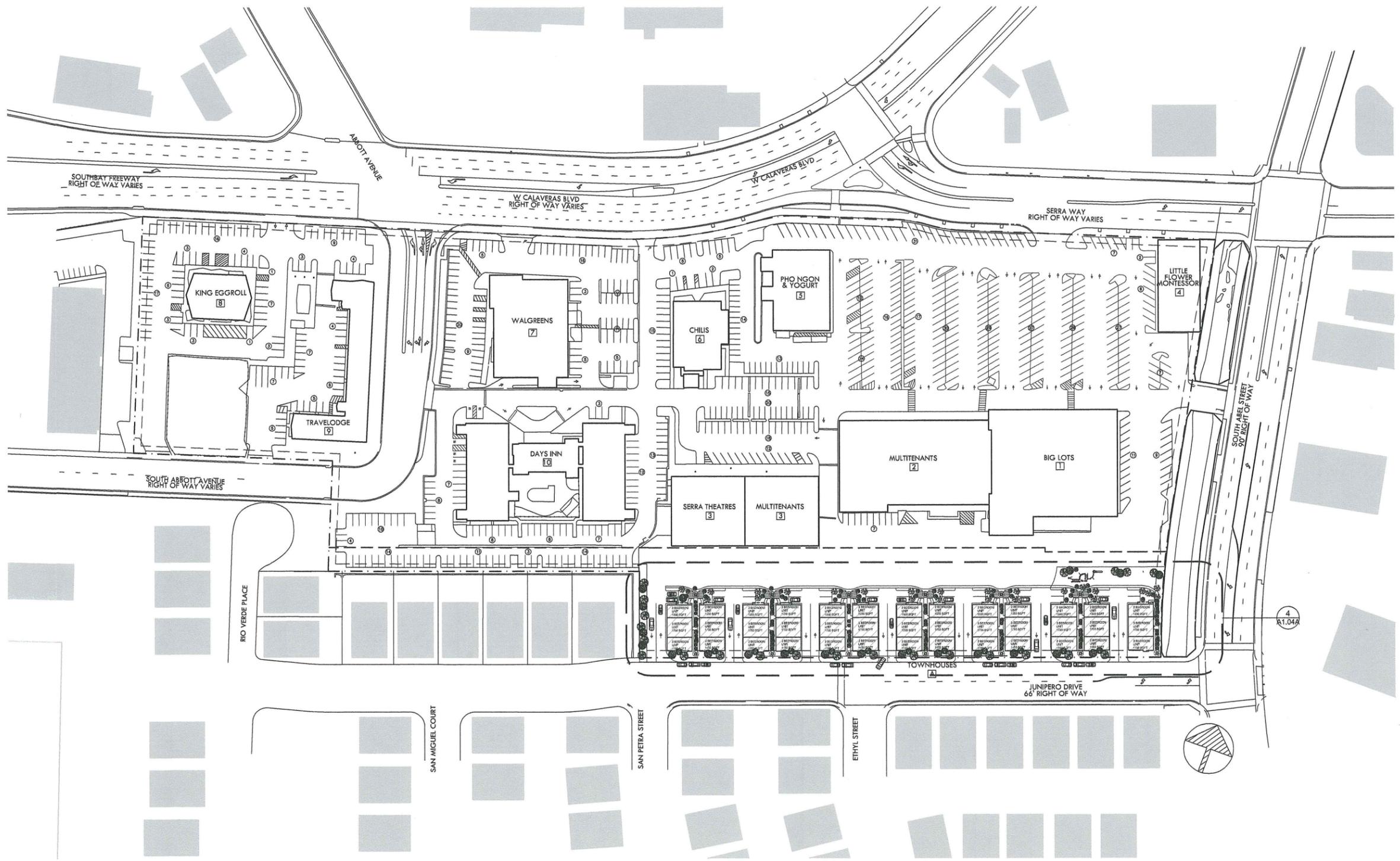
Sheet No.:

STRUCTURES MODIFIED (PHASE I DEMO)

- EMPTY LOT: 2.86 ACRES
- PARKING

LEGEND:

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- DEMOLITION
- PHASE WORK
- PROP. LINE



SERRA CENTER LLC
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SERRA WAY TOWNHOUSE DEVELOPMENT
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 MILPITAS, CA 95035
 408.933.3477
 650.618.2694

DESIGN BEYOND THE BOX

Revised	Description	Date
	SUBMITAL	09.14.12

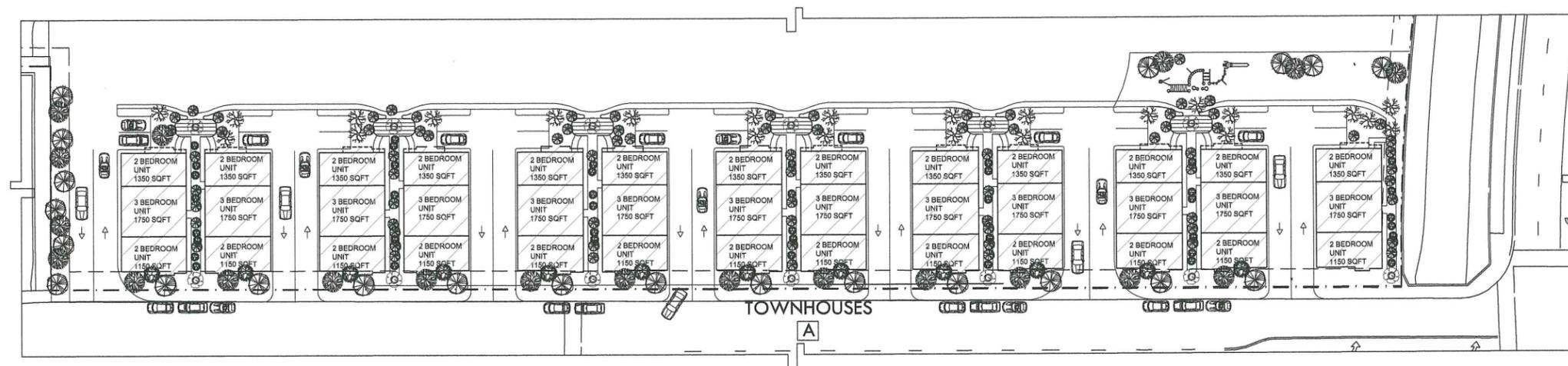
Sheet Title: **PHASE I SITE PLAN**

Scale: AS NOTED
 AEA2011-035-1
 08.18.12
 Project No. LV/CY
 Date: GWH
 Design: GWH
 Check: GWH
 Sheet No.:

- STRUCTURES MODIFIED (PHASE I)**
- NEW PUBLIC AREAS
 - TOWNHOUSES (41 UNITS)
 1800 SQ. FT. DWELLING UNIT
 1250 SQ. FT. DWELLING UNIT
- LEGEND:**
- PHASE 1
 - PHASE 2
 - PHASE 3
 - PHASE 4
 - DEMOLITION
 - PHASE WORK
 - PROP. LINE

PHASE I SITE PLAN
 1/64" = 1'-0" 4

A1.03



STRUCTURES MODIFIED (PHASE I)

- NEW PUBLIC AREAS
- TOWNHOUSES (41 UNITS)
- 1800 SQ. FT. DWELLING UNIT
- 1250 SQ. FT. DWELLING UNIT

LEGEND:

	PHASE 1	-----	DEMOLITION
	PHASE 2	- - - - -	PHASE WORK
	PHASE 3	- · - · -	PROP. LINE
	PHASE 4		

PHASE 1 ENLARGED 4
1/32" = 1'-0"

SERRA CENTER LLC
 200 SERRA WAY
 MILPITAS, CA 95035
 SERRA WAY TOWNHOUSE DEVELOPMENT
 200 SERRA WAY, MILPITAS, CA 95035

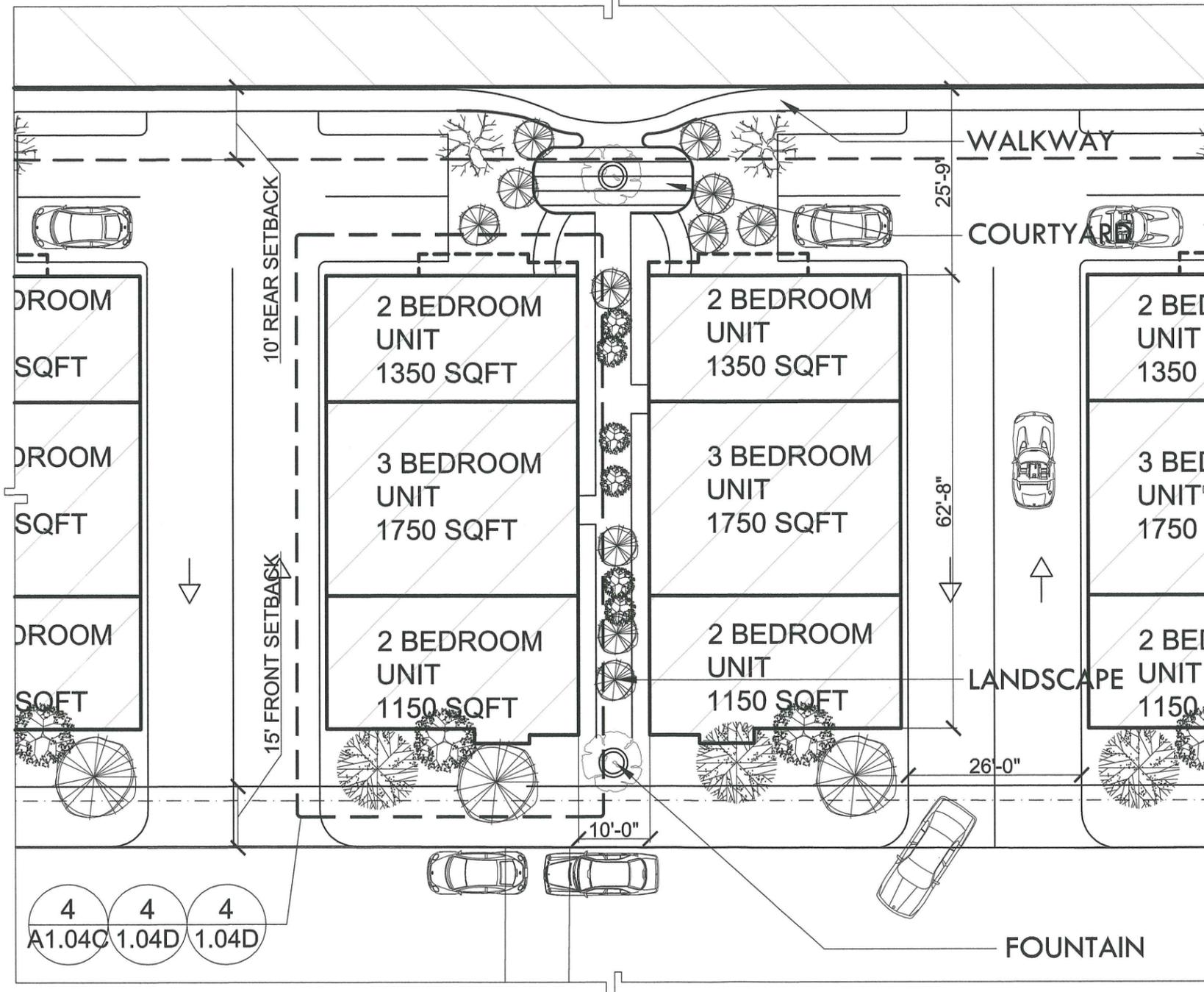
archespace
GWSC
 620 S. MAIN STREET, SUITE 200
 MILPITAS CA 95035
 408 933 3477
 650 618 2694

DESIGN BEYOND THE BOX

Revision	Description	Date
1	SUBMITAL	09.14.12

Sheet Title: **PHASE 1 ENLARGED**
 Scale: AS NOTED
 Project No.: AES2011-035-1
 Date: 09.18.12
 Design: LV/CY
 Check: GWW
 Sheet No.:

A1.03A



SERRA CENTER LLC
 200 SERRA WAY
 MILPITAS CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
 200 SERRA WAY, MILPITAS, CA 95035

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DESIGN BEYOND THE BOX

Revised	Description	Date
	SUBMITTAL	09.14.12

Sheet Title: PHASE 1 TYPICAL UNIT

Scale: AS NOTED

Project No: AES1011-335-1

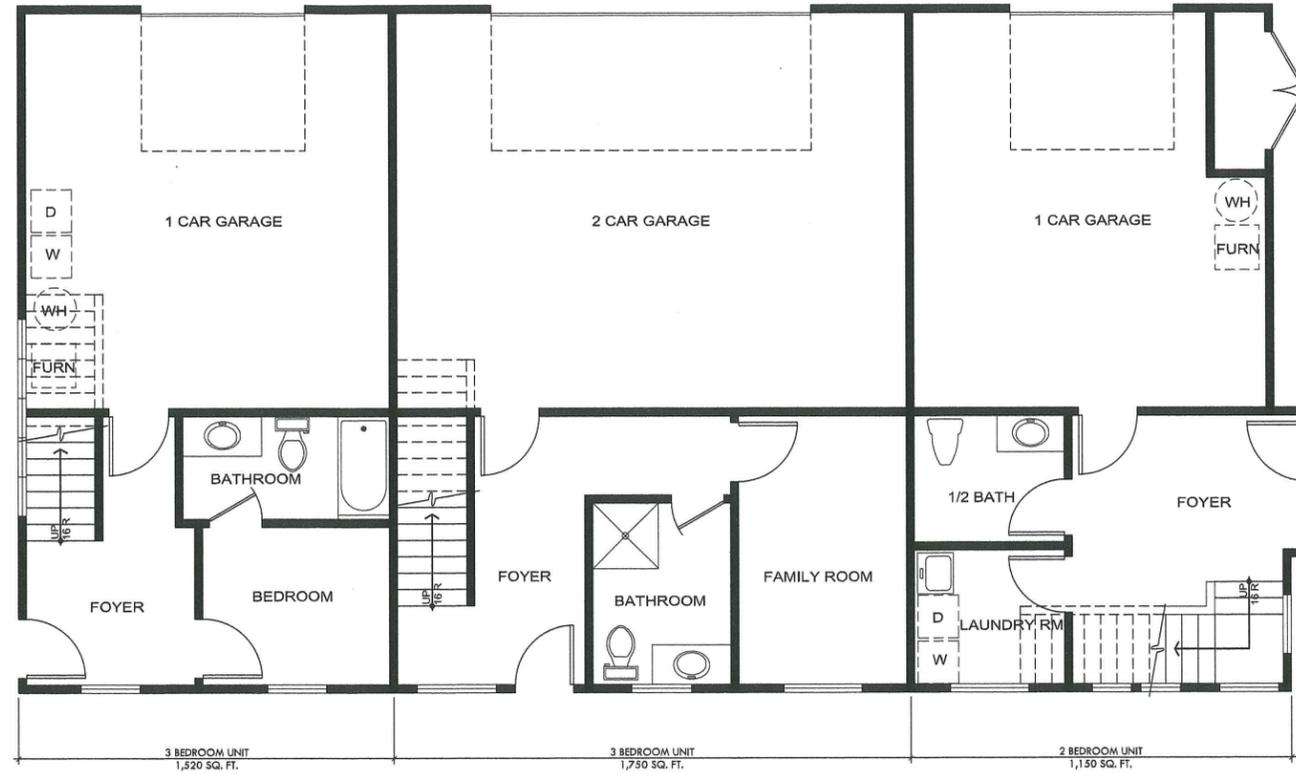
Date: 09.18.12

Drawn: LV/CY

Checked: GWN

Sheet No:

A1.03B



PROPOSED GROUND FLOOR PLAN 2

SERRA CENTER LLC
200 SERRA WAY
MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
JUNIPERO WAY, MILPITAS, CA 95035


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620 S. MAIN STREET, SUITE 200
MILPITAS CA 95035
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Revised	Description	Date
	SUBMITTAL	09.18.12

Sheet Title: **PROPOSED GROUND FLOOR PLAN**

Scale: AS NOTED

Project No: AES3011-035-1

Date: 09.05.12

Drawn: LV/CY

Checked: GWU

Sheet No:

A1.03C

NOT USED 17
NTS

NOT USED 13
NTS

NOT USED 18
NTS

NOT USED 14
NTS

NOT USED 19
NTS

NOT USED 15
NTS

NOT USED 11
NTS

NOT USED 7
NTS

NOT USED 3
NTS

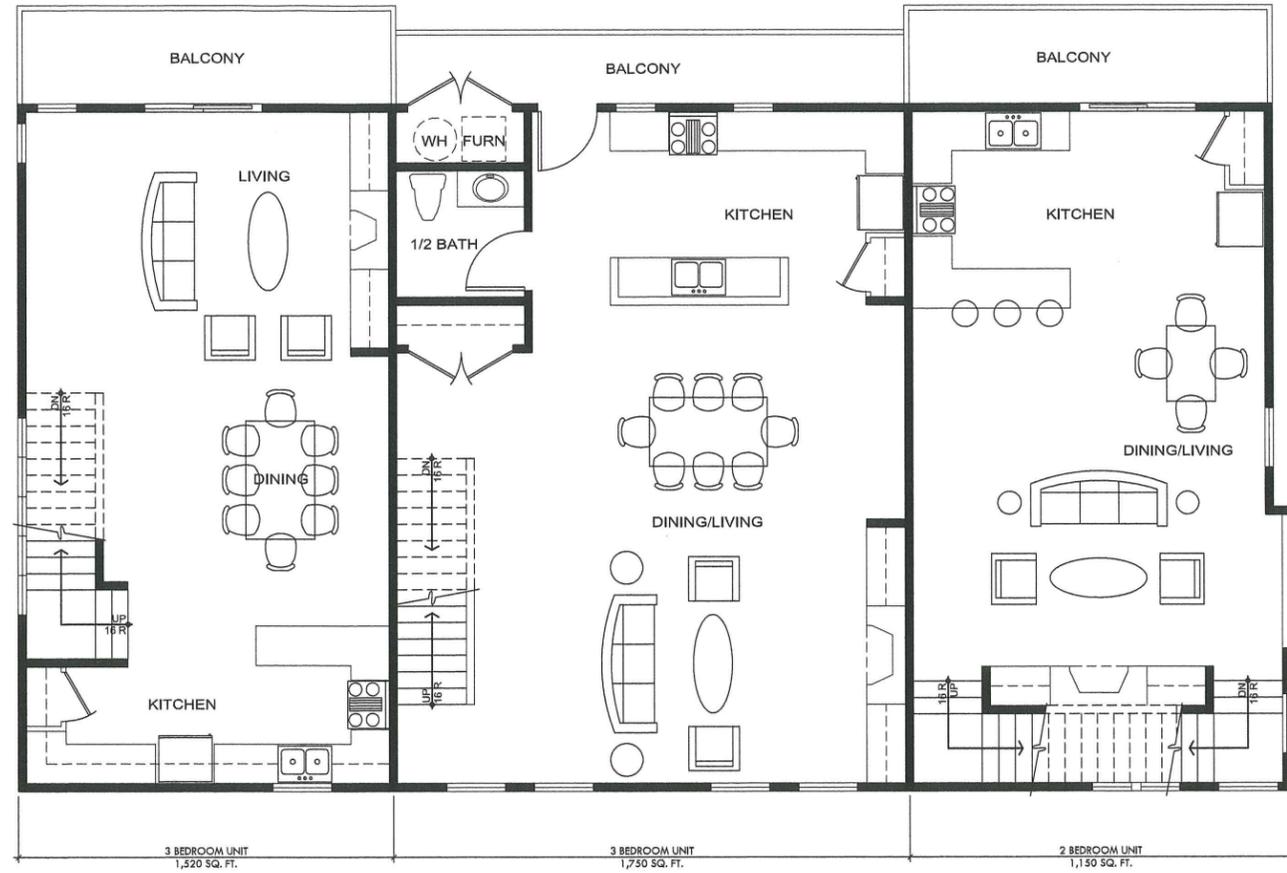
NOT USED 20
NTS

NOT USED 16
NTS

NOT USED 12
NTS

NOT USED 8
NTS

NOT USED 4
NTS



3 BEDROOM UNIT
1,520 SQ. FT.

3 BEDROOM UNIT
1,750 SQ. FT.

2 BEDROOM UNIT
1,150 SQ. FT.

NOT USED
NTS 17

NOT USED
NTS 13

NOT USED
NTS 18

NOT USED
NTS 14

NOT USED
NTS 19

NOT USED
NTS 15

NOT USED
NTS 20

NOT USED
NTS 16

NOT USED
NTS 12

NOT USED
NTS 8

NOT USED
NTS 4

PROPOSED SECOND FLOOR PLAN 3

SERRA CENTER LLC
230 SERRA WAY
MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
JUNIPERO WAY, MILPITAS, CA 95035


archespace
GWSC
620 S. MAIN STREET, SUITE 200
MILPITAS CA 95035
408 933 3477
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Revision	Description	Date
1	SUBMITTAL	09.18.12

Sheet Title:
PROPOSED SECOND FLOOR PLAN

Scale:
AS NOTED

Project No.
AES3011-838-1

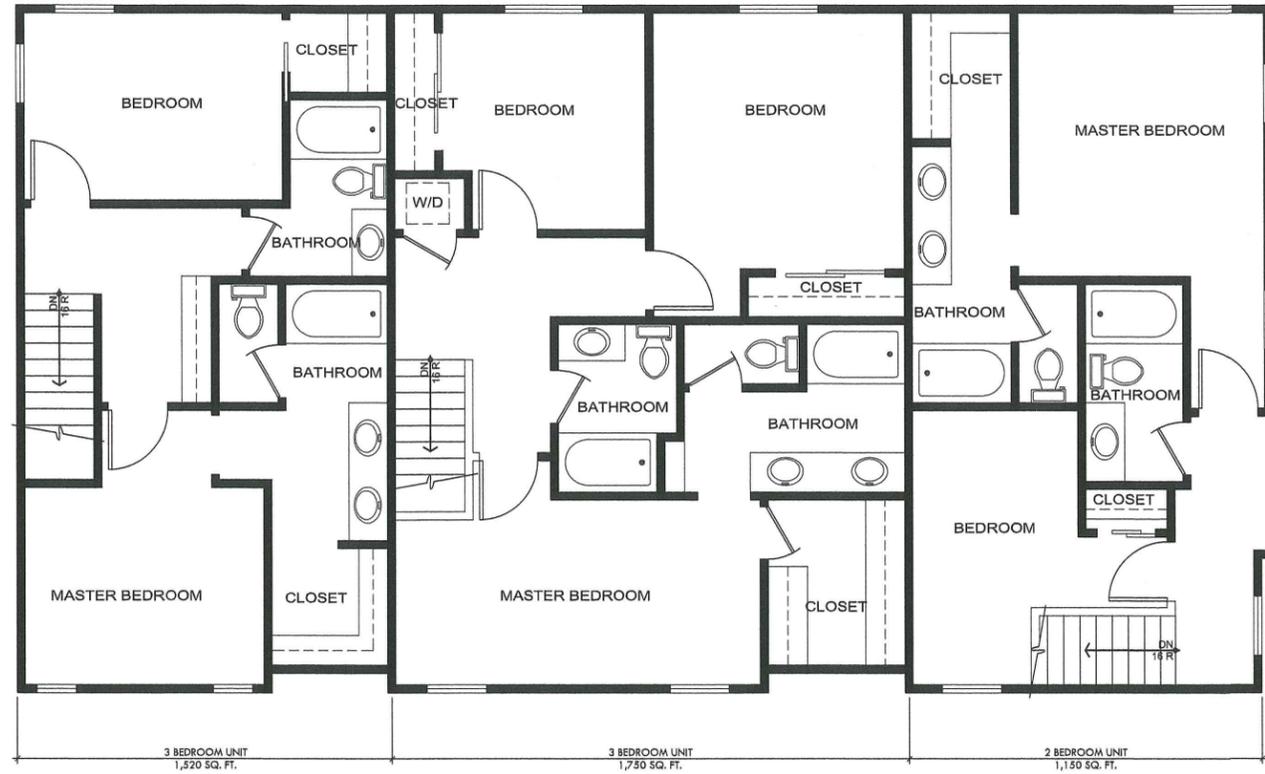
Date:
08.05.12

Drawn:
LY/AY

Check:
GWN

Sheet No.:

A1.03D



PROPOSED THIRD FLOOR PLAN 2

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NTS 17

NOT USED
NTS 13

NOT USED
NTS 18

NOT USED
NTS 14

NOT USED
NTS 19

NOT USED
NTS 15

NOT USED
NTS 11

NOT USED
NTS 7

NOT USED
NTS 3

NOT USED
NTS 20

NOT USED
NTS 16

NOT USED
NTS 12

NOT USED
NTS 8

NOT USED
NTS 4

SERRA CENTER LLC
200 SERRA WAY
MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
JUNIPERO WAY, MILPITAS, CA 95035


archespace
GWSC
620 S. MAIN STREET, SUITE 200
MILPITAS CA 95035
408 933 3477
650 618 2694

DESIGN BEYOND THE BOX

Revision	Description	Date
1	SUBMITTAL	09.18.12

Sheet Title:
PROPOSED GROUND FLOOR PLAN

Scale: AS NOTED
AES2011-235-1
09.05.12

Project No.: LV/CY
Date: GWI
Drawn:
Checked:
Sheet No.:

A1.03E

SERRA CENTER LLC
 215 SERRA WAY
 MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
 JUNIPERO WAY, MILPITAS, CA 95035


 archespace
 GWSC
 620 S. MAIN STREET, SUITE 200
 MILPITAS, CA 95035
 408 933 3477
 650 618 2694

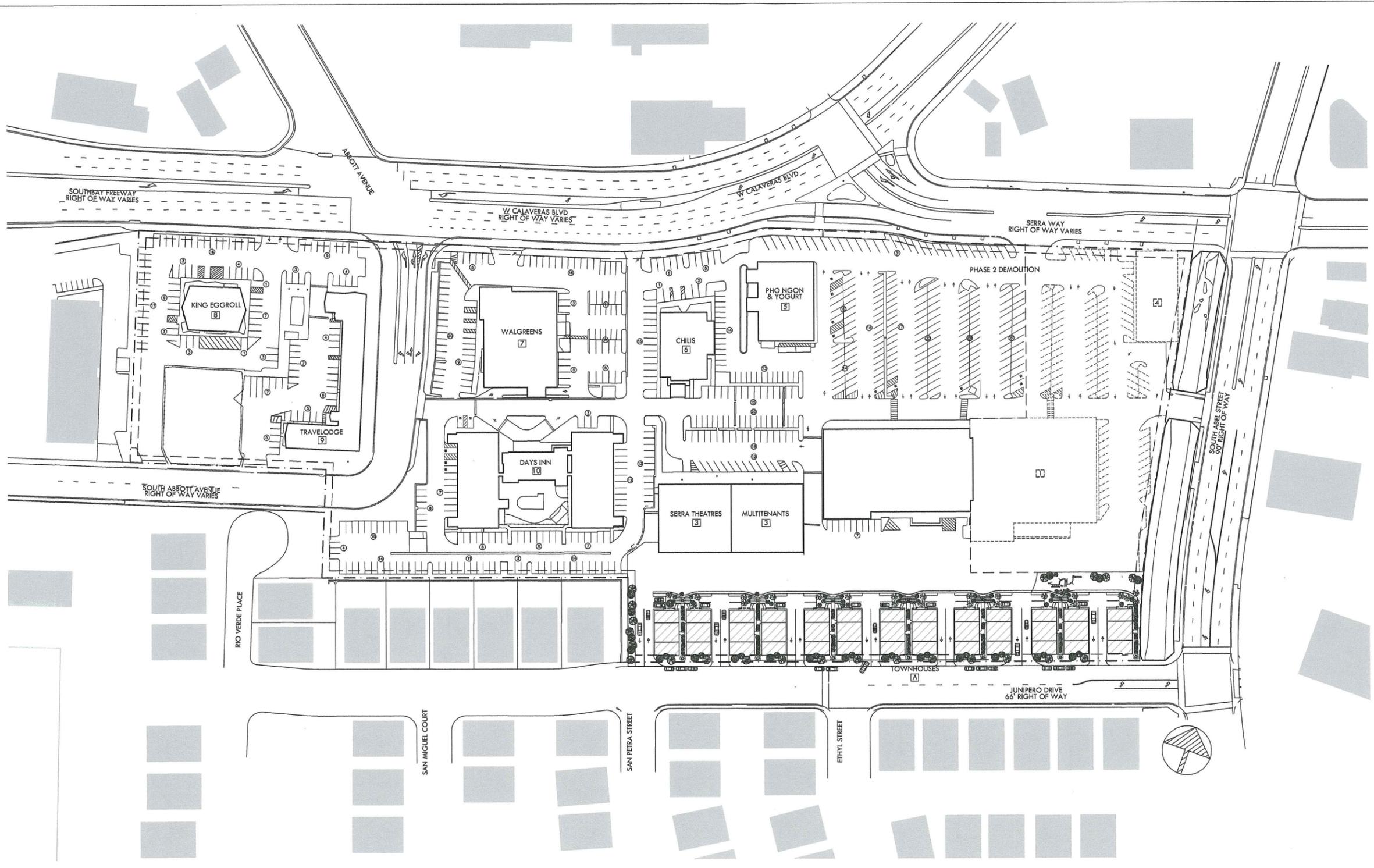
DESIGN BEYOND THE BOX

Revision	Description	Date
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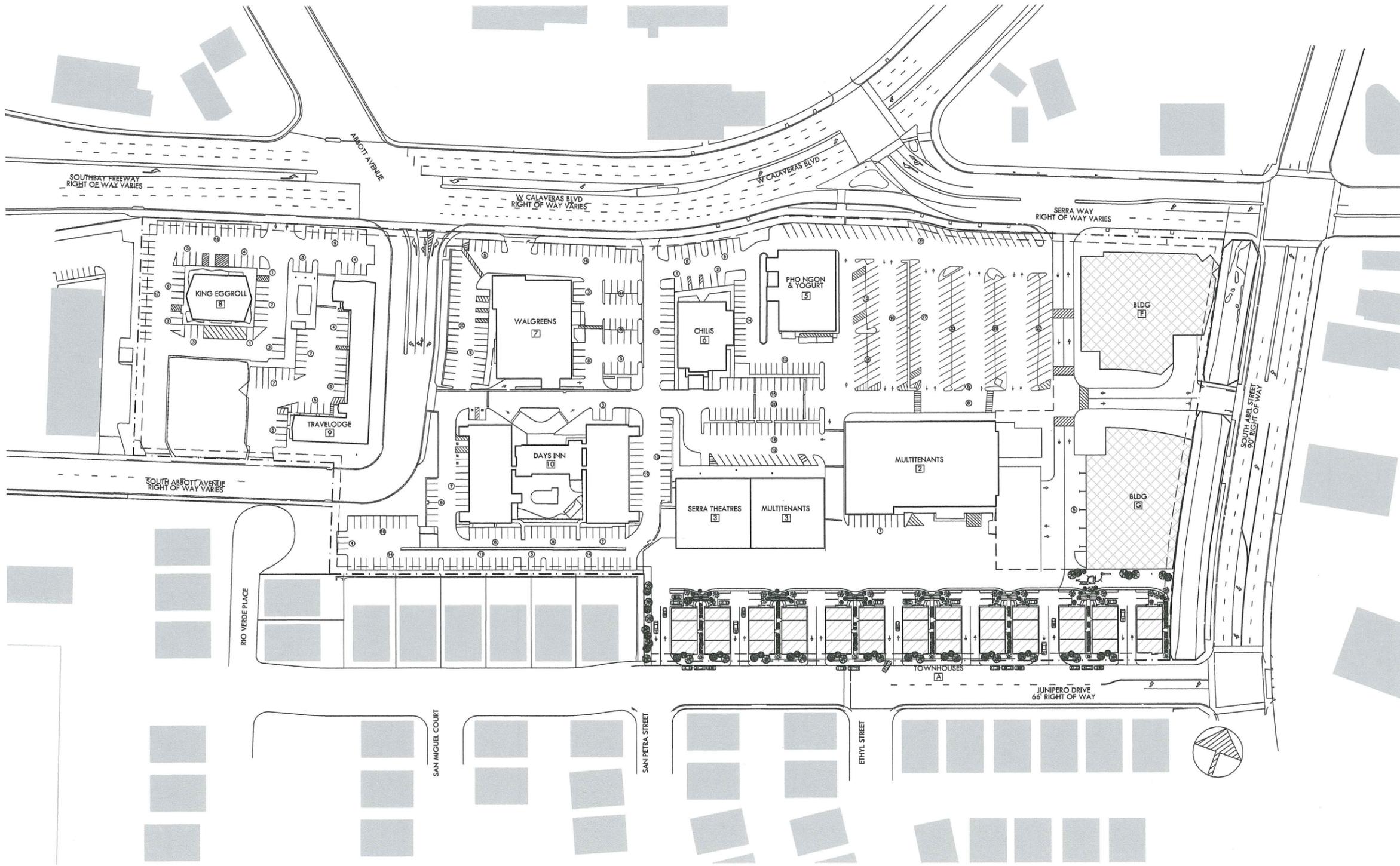
Sheet Title: PHASE 2 DEMO PLAN

Scale: AS NOTED
 AESS1011-335-1
 09.18.12

Project No.: LV/CY
 Date: DMM
 Drawn: GMM
 Check: GMM
 Sheet No.:



- STRUCTURES MODIFIED (PHASE 2 DEMO)**
- BUILDING 1 DEMOLISHED
 - BUILDING 4 DEMOLISHED
 - PARKING/ASPHALT DEMOLISHED
- LEGEND:**
- PHASE 1 (diagonal hatching) ----- DEMOLITION
 - PHASE 2 (cross-hatching) - - - - PHASE WORK
 - PHASE 3 (horizontal hatching) - · - · - PROP. LINE
 - PHASE 4 (vertical hatching) - - - -



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 MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
 200 SERRA WAY, MILPITAS, CA 95035


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 GWSC
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 MILPITAS CA 95035
 408 933 3477
 650 618 2694

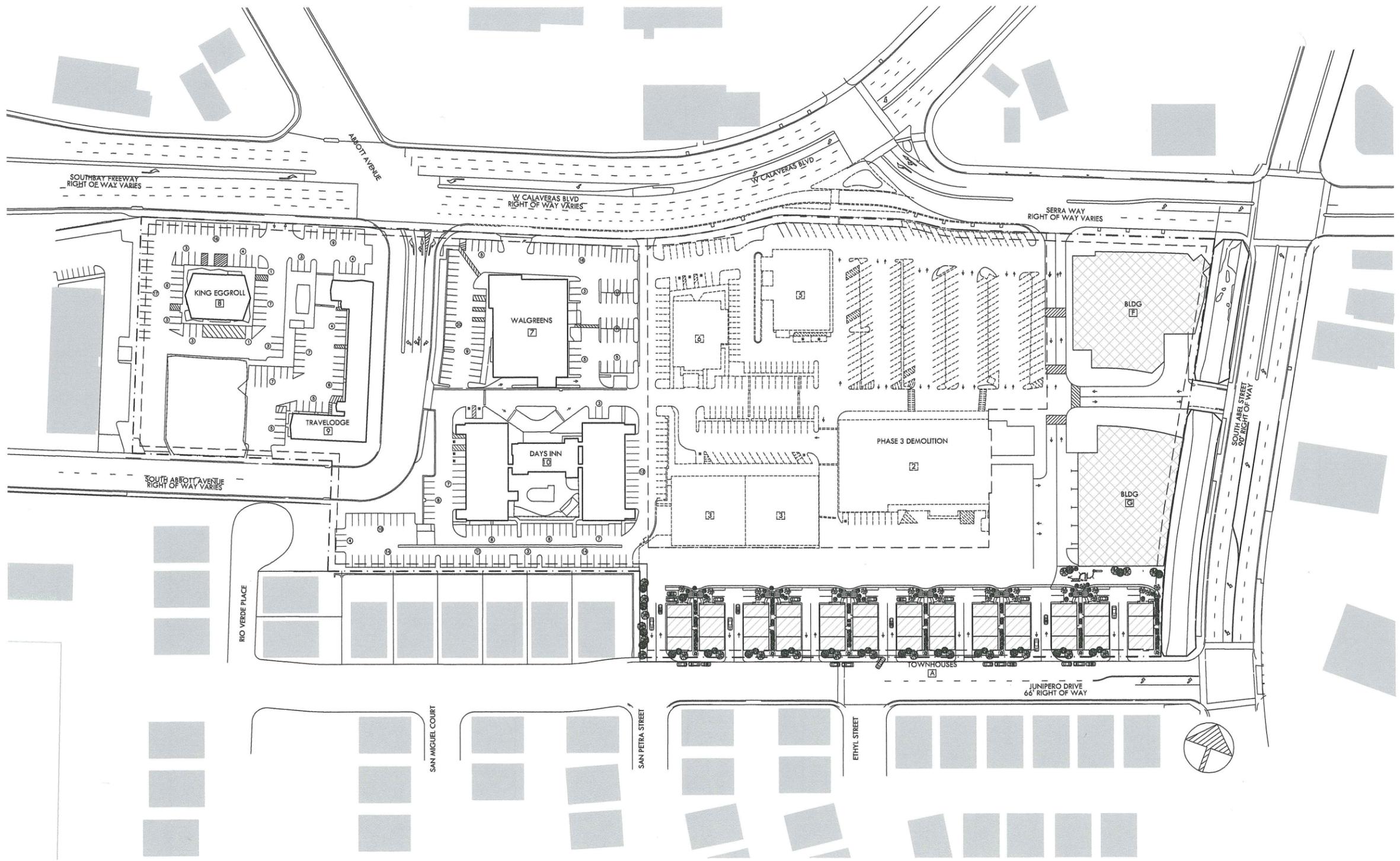
DESIGN BEYOND THE BOX

Revised:	Description:	Date:
	SUBMITTAL	09.14.12
Scale:	AS NOTED	
Project No:	AES3011-835-1	
Date:	09.18.12	
Drawn:	LV/CY	
Check:	GW	
Sheet No.:		

- STRUCTURES MODIFIED (PHASE 2)**
- BLDG E (6 STORIES; 175,000 SF)
 - 1 - RETAIL/RESTAURANT
 - 2 - RETAIL/RESTAURANT
 - 3 - RESIDENTIAL
 - 4 - RESIDENTIAL
 - 5 - OFFICE
 - 6 - OFFICE
 - BLDG F1 (4 STORIES; 61,000 SF)
 - 1 - RETAIL
 - 2 - RETAIL
 - 3 - CONFERENCE
 - 4 - CONFERENCE
 - BLDG F2 (2 STORIES; 11,500 SF)
 - 1 - RETAIL
 - 2 - RETAIL

LEGEND:

	PHASE 1		DEMOLITION
	PHASE 2		PHASE WORK
	PHASE 3		PROP. LINE
	PHASE 4		



SERRA CENTER LLC
200 SERRA WAY
MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
200 SERRA WAY, MILPITAS, CA 95035

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MILPITAS CA 95035
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650 618 2694

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Revision:	Description:	Date:
	SUBMITTAL	09.14.12
Scale:	AS NOTED	
Project No.:	AES2011-835-1	
Date:	09.18.12	
Drawn:	LV/BJ	
Check:	GW	
Sheet No.:		

- STRUCTURES MODIFIED (PHASE 3 DEMO)**
- BLDG 2
 - BLDG 3
 - BLDG 5
 - BLDG 6
 - PARKING
- LEGEND:**
- PHASE 1
 - PHASE 2
 - PHASE 3
 - PHASE 4
 - DEMOLITION
 - PHASE WORK
 - PROP. LINE

Sheet Title:
PHASE 3 DEMO PLAN

SERRA CENTER LLC
210 SERRA WAY
MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
200 SERRA WAY, MILPITAS, CA 95035


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MILPITAS, CA 95035
408 933 3477
650 618 2694

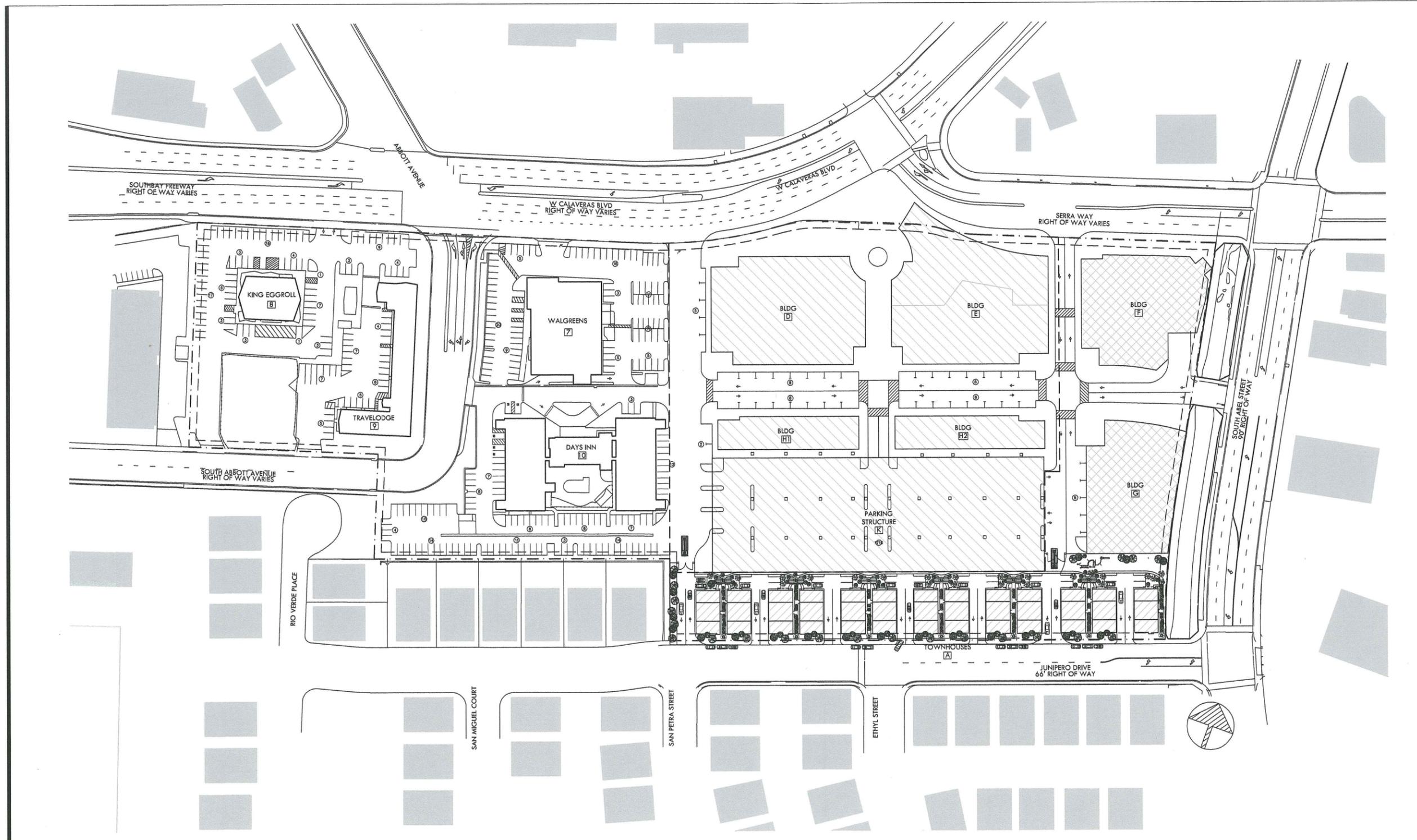
DESIGN BEYOND THE BOX

Revision	Description	Date
1	SUBMITTAL	09.14.12

AS NOTED
AES1011-335-1
09.18.12
LV, CY
GWW

Sheet Title:
PHASE 3 SITE PLAN

Sheet No.: **A1.07**

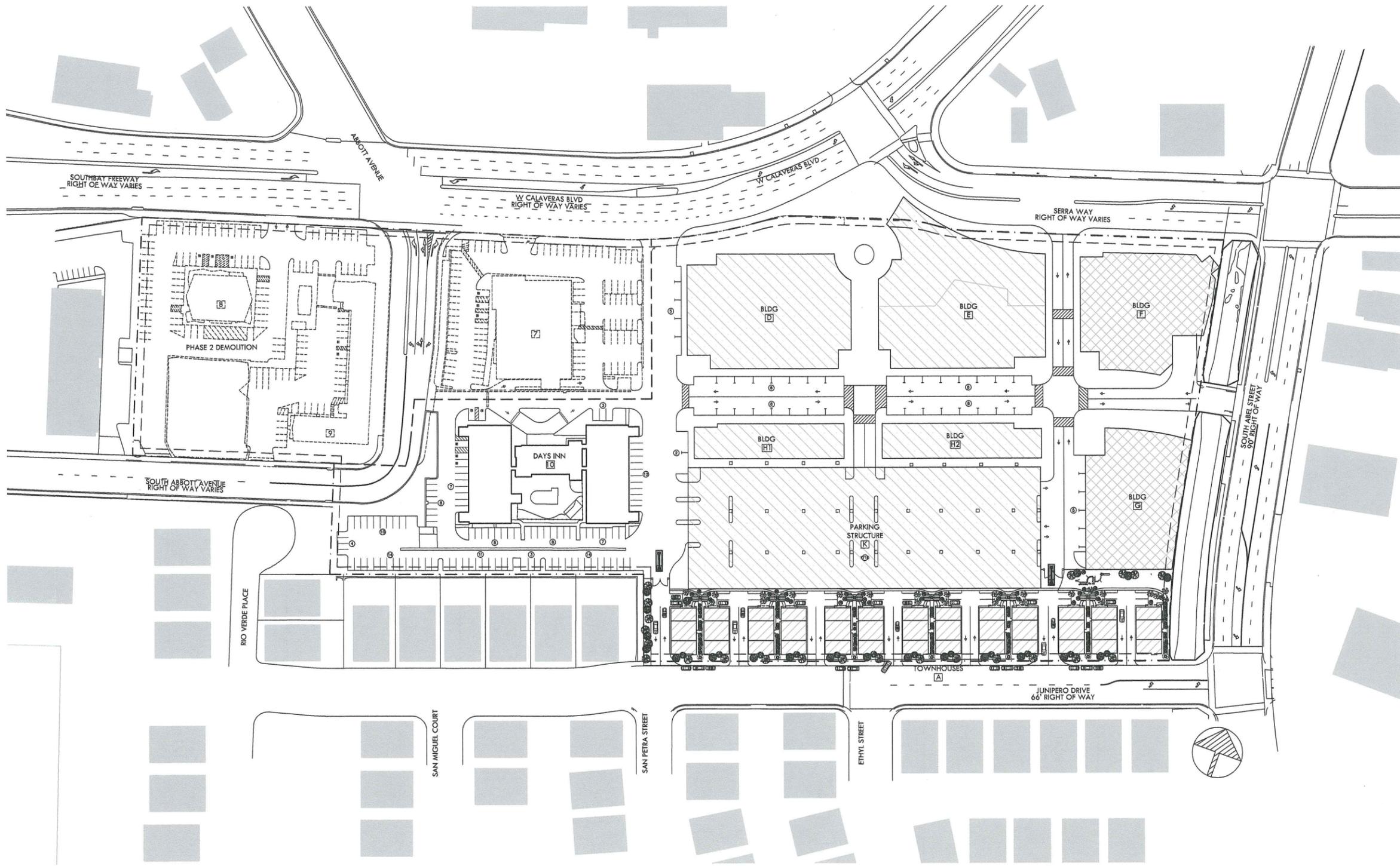


- STRUCTURES MODIFIED (PHASE 3)**
- BLDG D (4 STORIES; 110,000 SF)
 - 1 - RETAIL/RESTAURANT
 - 2 - RETAIL/RESTAURANT
 - 3 - RESIDENTIAL
 - 4 - RESIDENTIAL
 - BLDG G (4 STORIES; 80,000 SF)
 - 1 - RETAIL
 - 2 - RETAIL
 - 3 - OFFICE
 - 4 - OFFICE
 - BLDG H1 (4 STORIES; 44,000 SF)
 - 1 - RETAIL
 - 2 - RETAIL
 - 3 - RETAIL
 - 4 - RETAIL
 - BLDG H2 (4 STORIES; 44,000 SF)
 - 1 - RETAIL
 - 2 - RETAIL
 - 3 - RETAIL
 - 4 - RETAIL
 - PARKING STRUCTURE K (5 STORIES) 1710 STALLS

LEGEND:

	PHASE 1		DEMOLITION
	PHASE 2		PHASE WORK
	PHASE 3		PROP. LINE
	PHASE 4		

PHASE 3 SITE PLAN
1/64" = 1'-0" 4



STRUCTURES MODIFIED (PHASE 4 DEMO)

- BLDG 7
- BLDG 8
- BLDG 9
- PARKING

LEGEND:

- | | | | |
|--|---------|--|------------|
| | PHASE 1 | | DEMOLITION |
| | PHASE 2 | | PHASE WORK |
| | PHASE 3 | | PROP. LINE |
| | PHASE 4 | | |

SERRA CENTER LLC
200 SERRA WAY
MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
200 SERRA WAY, MILPITAS, CA 95035

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GWSC
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Revised	Description	Date
	SUBMITTAL	09.14.12

Sheet Title: **PHASE 4 DEMO PLAN**

Scale: AS NOTED

Project No: AES3011-035-1

Date: 09.18.12

Drawn: LV/CY

Checked: GWW

Sheet No.:

SERRA CENTER LLC
200 SERRA WAY
MILPITAS, CA 95035

SERRA WAY TOWNHOUSE DEVELOPMENT
200 SERRA WAY, MILPITAS, CA 95035

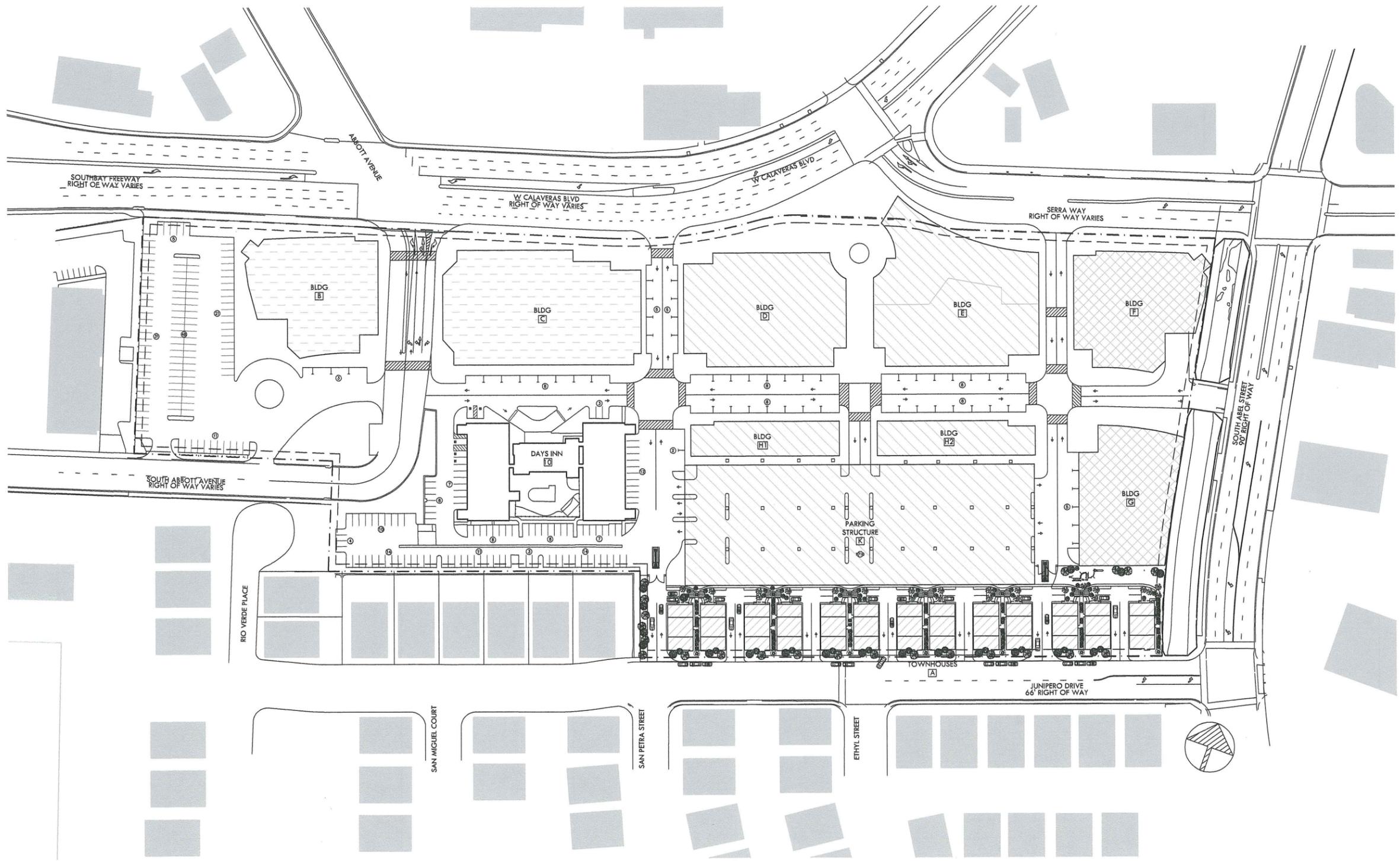

archespace
GWSC
620 S. MAIN STREET, SUITE 200
MILPITAS, CA 95035
408 933 3477
650 618 2694

DESIGN BEYOND THE BOX

Revision:	Description:	Date:
1	SUBMITTAL	09.14.12
Scale:	AS NOTED	
Project No.:	AES2011-035-1	
Date:	09.18.12	
Drawn:	LV/CY	
Checked:	GW	
Sheet No.:		

Sheet Title:
PHASE 4 SITE PLAN

A1.09



STRUCTURES MODIFIED (PHASE 4)

- BLDG B (4 STORIES; 117,000 SF)
 - 1 - RETAIL/RESTAURANT
 - 2 - OFFICE
 - 3 - OFFICE
 - 4 - OFFICE
- BLDG C (4 STORIES; 162,000 SF)
 - 1 - RETAIL/RESTAURANT
 - 2 - RETAIL/RESTAURANT
 - 3 - RESIDENTIAL
 - 4 - RESIDENTIAL
- PARKING
- LANDSCAPE
- HARDSCAPE

LEGEND:

-  PHASE 1
-  PHASE 2
-  PHASE 3
-  PHASE 4
-  DEMOLITION
-  PHASE WORK
-  PROP. LINE

MEMORANDUM

Department of Planning and Neighborhood Services



To: Transportation & Land Use Subcommittee
Through: Felix Reliford, Acting Planning & Neighborhood Services Director
From: Sheldon S. Ah Sing, Senior Planner
Subject: **Transit Area Specific Plan Streetscape Fixtures**
Date: September 25, 2012

Background:

In June 2008, the City Council adopted the Transit Area Specific Plan, which includes the vision for 7,109 dwelling units, 993,843 square feet of office and 287,075 square feet of retail space over a 437 acre area. The plan also anticipates 36 acres of public park land. The transit area is intended to be a cohesive neighborhood with consistent focus towards walking and transit usage. However, the planning area is divided by creeks, roadways, railways and various developed parcels. As a planning strategy, the specific plan created sub-districts with specific planning and vision criteria to take advantage of local characteristics.

While the specific plan contained cross sections of streets identifying the various streetscape elements and fixtures, such as trees, street lighting, trash receptacles, benches, and bicycle racks, only trees and street lighting was specified in detail. Since the City is embarking on utilizing LED technology for street lights within the Transit Area, the street light standards specified were incompatible with the technology. Furthermore, several development projects are in review for building permits and it is important to have a consistent streetscape element plan in place.

Taking into consideration the vision of the specific plan, staff compiled a streetscape element plan (see attachment) that includes LED street lighting that is consistent in design with what was adopted with the specific plan, trash and recycling receptacles, benches, bicycle racks and lighted bollards.

Recommendation:

Recommend approval of the Transit Area Specific Plan Streetscape Fixtures Plan to the City Council.

Attachments:

Conceptual Transit Area Specific Plan Streetscape Fixtures Plan



CONCEPTUAL STREETScape FIXTURES

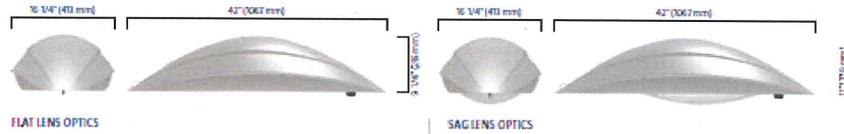
Street Light: Capella Series by Philips Lumec

ASSEMBLY EXAMPLES



LUMINAIRES

Conform to the IES E90 and CSA C22.2 No. 250.0-08 standards

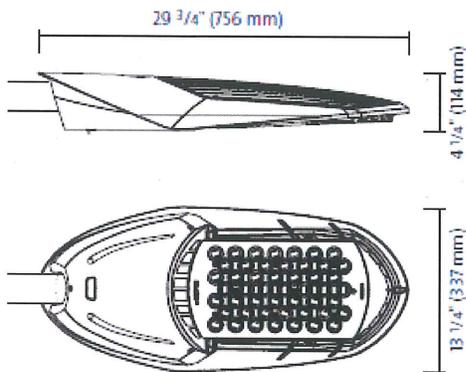




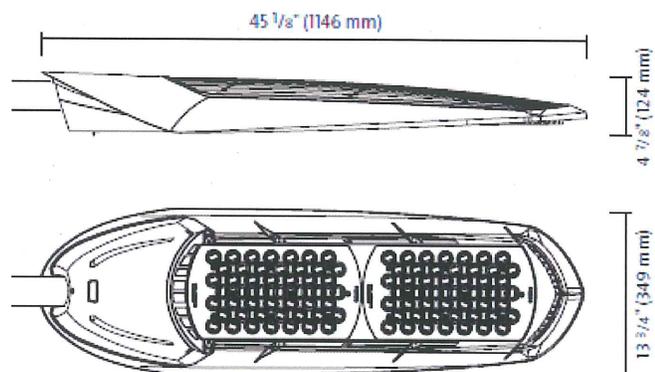
CONCEPTUAL STREETSCAPE FIXTURES

Street Light: Roadstar Series by Philips Lumec

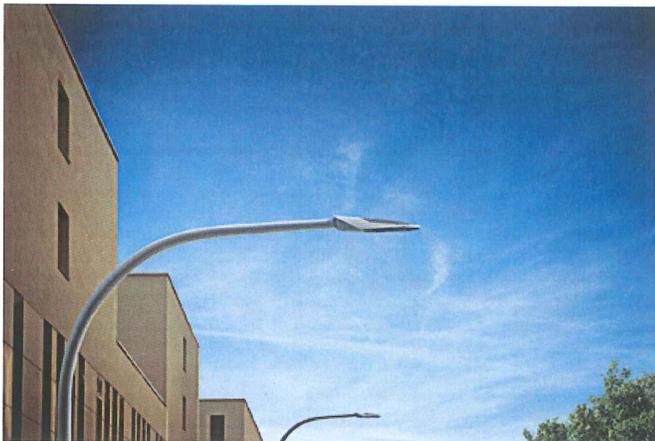
Physical characteristics



GPLS
EPA: 0.76 sq. ft.
Weight: 20 lbs (9.1 kg)



GPLM
EPA: 1.10 sq. ft.
Weight: 31 lbs (14.1 kg)





CONCEPTUAL STREETScape FIXTURES

Litter Container: TimberForm Renaissance by Columbia Cascade

TimberForm Renaissance	Style	Model	Diameter	Height	Mounting Options
Litter Container, Side Empty	Open Top	2815-OT ¹	1' 9" [535mm]	2' 10" [865mm]	-E, -P or -L
	Flat Top	2815-FT	1' 9" [535mm]	2' 10" [865mm]	-E, -P or -L
	Dome Top	2815-DT	1' 9" [535mm]	3' 5" [1040mm]	-E, -P or -L
	Ash/Dome Top	2815-AT	1' 9" [535mm]	3' 4" [1015mm]	-E, -P or -L

Material: Powder-coated steel.

Options: Mounting method and powder-coating color.

Notes: Includes 23-gallon plastic liner. Top matches container unless otherwise specified. Key-locking tops and side opening door are standard on -FT, -DT and -AT models.

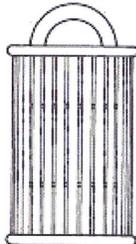
¹ Key-locking top and side opening door not required on Open Top (-OT) model.



2815-OT



2815-FT



2815-DT



2815-AT



Side opening door standard on -FT, -DT and -AT.

"Standard Capacity"





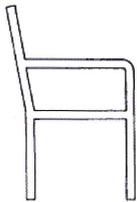
CONCEPTUAL STREETSCAPE FIXTURES

Bench Seats: TimberForm Manor by Columbia Cascade

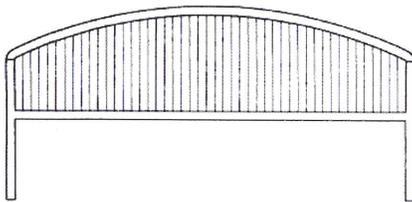
TimberForm Manor	Model	Length	Width	Height	Seat Height	Mounting Options
Arched Back Bench with Armrests	2824-4	4' 2" [1270mm]	1' 11" [585mm]	2' 11" [890mm]	1' 4" [405mm]	-E, -P or -L
	2824-6	6' 2" [1880mm]	1' 11" [585mm]	2' 11" [890mm]	1' 4" [405mm]	-E, -P or -L
	2824-8'	8' 2" [2490mm]	1' 11" [585mm]	2' 11" [890mm]	1' 4" [405mm]	-E, -P or -L

-MP Add this suffix for mounting-plate option (plaque by customer).

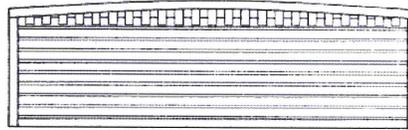
- Material:** Powder-coated steel.
Options: Mounting method, powder-coating color and mounting plate.
Suggestions: Specify matching accessory table 2820, litter container 2831 or 2834 and ash receptacle 2835. Matching planters are available.
Notes: ' Includes intermediate support.



2824



2824-6



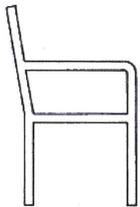


CONCEPTUAL STREETScape FIXTURES

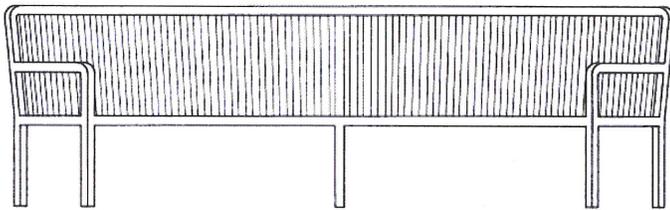
Bench Seats: TimberForm Manor by Columbia Cascade

TimberForm Manor	Model	Length	Width	Height	Seat Height	Mounting Options
Curved Bench with Armrests	2829-8¹	10' 3" [3125mm]	1' 11" [565mm]	2' 11" [890mm]	1' 4" [405mm]	-E, -P or -L

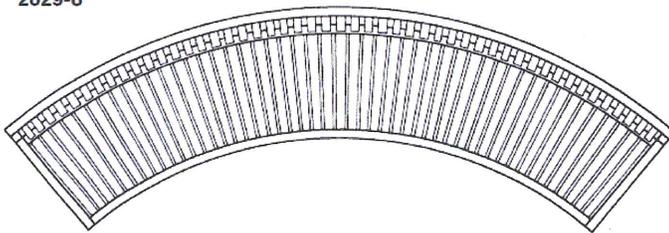
- Material:** Powder-coated steel.
- Options:** Mounting method and powder-coating color. Center armrest available.
- Suggestions:** Specify matching accessory table 2820, litter container 2831 or 2834 and ash receptacle 2835. Matching planters are available.
- Notes:** ¹ Includes intermediate support.



2829



2829-8



Bench Radius Data

The standard inside radius to the front of the 2829-8 bench is 5' 9" [1755mm] and the standard outside radius to the back of the bench is 7' 8" [2335mm].



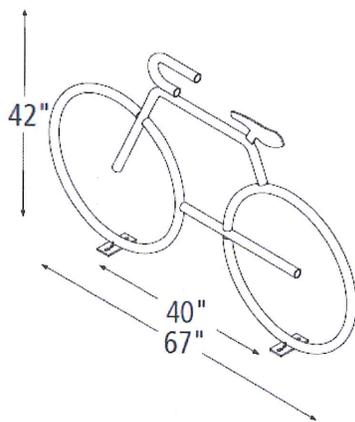


CONCEPTUAL STREETScape FIXTURES

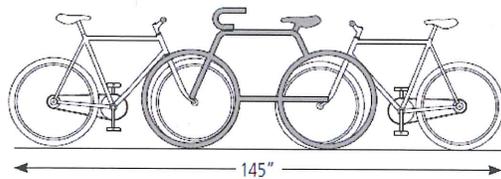
Bicycle Rack: Bike Bike Rack by Dero

BIKE BIKE RACK

Specifications and Space Use



Capacity



Product Dero Bike Bike Rack
As manufactured by Dero Bike Racks

Capacity 2-4 Bikes

Materials 1.5" OD 11 Gauge Tube. All open ends are capped to prevent moisture from entering. All welds are MIG welds around entire circumference of joined pieces.

Finishes An after fabrication hot dipped galvanized finish is our standard option. 250 TGIC powder coat colors, thermoplastic coating, and stainless steel finishes are also available as alternate options.

Our powder coat finish assures a high level of adhesion and durability by following these steps:

1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat

Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.





CONCEPTUAL STREETScape FIXTURES

Light Bollard: SoleCity by Philips Lumec

Assembly Example

